



COMMISSIONERS
THEODORE J. ELDER, PRESIDENT
ERIC J. FIORI, VICE PRESIDENT
CARYN G. ABBOTT
ANTHONY W. BERTINO, JR.
MADISON J. BUNTING, JR.
JOSEPH M. MITRECIC
DIANA PURNELL

OFFICE OF THE
COUNTY COMMISSIONERS

WESTON S. YOUNG, P.E.
CHIEF ADMINISTRATIVE OFFICER
CANDACE I. SAVAGE, CGFM
DEPUTY CHIEF ADMINISTRATIVE OFFICER
ROSCOE R. LESLIE
COUNTY ATTORNEY

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103
SNOW HILL, MARYLAND
21863-1195

PROCLAMATION

WHEREAS, this Economic Development Week, October 20–24, 2025, Worcester County Tourism and Economic Development (WCTED), an active member of the Maryland Economic Development Association, strives to enhance the knowledge and skills of its members, foster partnerships, and promote economic development as an investment in Maryland’s future. WCTED works to attract, retain, and expand businesses and to support tourism, agriculture, and workforce initiatives that strengthen our local economy, and that create growth and investment opportunities; and

WHEREAS, community members are invited to participate in Economic Development Week activities, including a tour of the WCTED office at 107 West Green Street in Snow Hill to meet with Small Business Development Center Director Scott Hines on October 21; a Community Open House at the WCTED office on October 22; and a business networking mixer at Secrets Distillery on October 23.

NOW, THEREFORE, we, the County Commissioners of Worcester County, Maryland, do hereby proclaim **October 20–24, 2025** as **Economic Development Week** in Worcester County and encourage all residents and businesses to learn more about local economic development efforts at www.choosemarylandsc coast.org.

Executed under the Seal of Worcester County, State of Maryland, this 15th day of October, in the Year of Our Lord Two Thousand and Twenty-Five.



Theodore J. Elder, President

Eric J. Fiori, Vice President

Anthony W. Bertino, Jr.

Madison J. Bunting, Jr.

Caryn G. Abbott

Joseph M. Mitrecic

Diana Purnell

Citizens and Government Working Together



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21863-1195

PROCLAMATION

WHEREAS, this October, Domestic Violence Awareness and Prevention Month, we stand with Life Crisis Center professionals to promote “With Survivors, Always,” to highlight ongoing domestic violence issues and rally community support for survivors and the services they need; and

WHEREAS, according to a Center for Disease Control study, 20 United States residents experience intimate partner physical violence every minute. That’s 10 million victims of domestic violence each year. Together we can reinforce a zero-tolerance policy when it comes to abuse, listen to victims, and encourage those in abusive relationships to seek help.

NOW, THEREFORE, we the County Commissioners of Worcester County, Maryland, do hereby proclaim October as **Domestic Violence Awareness and Prevention Month** and commend Life Crisis professionals for offering an array of services to those impacted by domestic violence.

Executed under the Seal of the County of Worcester, State of Maryland, this 21st day of October, in the Year of Our Lord Two Thousand and Twenty-Five.

Theodore J. Elder, President

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ONE WEST MARKET STREET • ROOM 1103
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21863-1195

COMMENDATION

WHEREAS, while in the course of overseeing the care and maintenance of the Herring Creek Nature Park, Parks Worker Steve Byrd rushed to assist Thomas Morrison, an area resident in need of assistance following a fall. When Mr. Byrd arrived in the area and spotted Mr. Morris on the ground, he ran to him, rendered aid, and escorted him to his car; and

WHEREAS, the commissioners join with Mr. Morris and Recreation & Parks staff to honor Mr. Byrd, whose kindness and thoughtful actions highlight his trustworthiness, professionalism, and the value he places on the lives of others. His actions reflect the sort of integrity that is to be most highly valued in those serving the public.

NOW, THEREFORE, we the County Commissioners of Worcester County, Maryland, do hereby commend **Parks Worker Steve Byrd** for intervening quickly to help save a life.

Executed under the Seal of the County of Worcester, State of Maryland, this 21st day of October, in the Year of Our Lord Two Thousand and Twenty-Five.

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Eric J. Fiori, Vice President

Anthony W. Bertino, Jr.

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COUNTY ATTORNEY

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET • ROOM 1103
SNOW HILL, MARYLAND
21863-1195

COMMENDATION

WHEREAS, on the night of Friday, July 4, 2025, Worcester County Emergency Services D Shift Lieutenant Taylor Kitching and Specialists Da'Nesha Cousar, Stacey McManus, and Jordan Taylor demonstrated extraordinary dedication and professionalism, when the 911 Center faced a historic and unprecedented surge in emergency calls; and

WHEREAS, 911 operators are the first to render assistance during emergencies. On July 4 from 9-10 p.m., the D Shift team handled over 700 calls generated by an incident in Ocean City. Despite the overwhelming volume, they remained composed and focused, handled the influx of calls, coordinated active events, and maintained vital radio communications for county first responders.

NOW, THEREFORE, we the County Commissioners of Worcester County, Maryland, do hereby commend the **Worcester County Emergency Services D Shift** for their exceptional performance under extreme pressure to assure the safety of the community and first responders.

Executed under the Seal of the County of Worcester, State of Maryland, this 21st day of October, in the Year of Our Lord Two Thousand and Twenty-Five.



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Eric J. Fiori, Vice President

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Citizens and Government Working Together



OFFICE OF THE
COUNTY COMMISSIONERS

Worcester County

GOVERNMENT CENTER
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DIANA PURNELL

COMMENDATION

WHEREAS, on August 2, 2025, Ocean City Fire Department (OCFD) Fireboat crew Connor Lawrence, Christina Jones, and Jeffery Aperance responded to the Ocean City Inlet to provide life-saving assistance to a juvenile male who was drowning; and

WHEREAS, upon arrival, Lawrence dove into the water and made the rescue, while Jones and Aperance navigated the fireboat through rough conditions and large swells to bring Lawrence and the juvenile male aboard. There is nothing of greater value than human life, and thanks to the acts of courage and cooperation displayed by these highly trained professionals, a young life was saved.

NOW, THEREFORE, we the County Commissioners of Worcester County, Maryland, do hereby commend OCFD Fireboat crew members Connor Lawrence, Christina Jones, and Jeffery Aperance for their heroic actions to save a life.

Executed under the Seal of the County of Worcester, State of Maryland, this 21st day of October, in the Year of Our Lord Two Thousand and Twenty-Five.

Theodore J. Elder, President

Eric J. Fiori, Vice President

Anthony W. Bertino, Jr.

Madison J. Bunting, Jr.

Caryn G. Abbott

Joseph M. Mitrecic

Diana Purnell





Worcester County Recreation & Parks
6030 Public Landing Road | Snow Hill MD 21863 | (410) 632-2144 | www.PlayMarylandsCoast.org

MEMORANDUM

TO: Weston S. Young, Chief Administrative Officer
Candace Savage, Deputy Chief Administrative Officer
FROM: Kelly Rados, Director of Recreation & Parks
DATE: September 29, 2025
SUBJECT: 2026 Worcester County Fair Dates

With the success of the 2024 and 2025 Worcester County Fairs, our Department would like to set the dates for the 2026 Fair. We are proposing the same weekend next year, with the dates August 7 – 9, 2026 at John Walter Smith Park/Worcester County Recreation Center.

Locking in these dates now will allow us to start the planning process earlier and lock-in vendors, entertainment, sponsors, and new attractions and opportunities for next year.

Our Department plans to continue our relationship with the current Fair Board members and work to help strengthen their member/volunteer base. The plan is the Fair Board will become the “Friends of the Worcester County Fair” and will be working towards getting their own 501c3. This group will continue to work in a planning capacity for the Fair and will be directly responsible for the 4H and exhibit components.

cc: Jacob Stephens, Deputy Director of Recreation & Parks
Kyle Jarmon, Special Events & Marketing Manager

Worcester County Sheriff's Office ITEM 3

Matthew Crisafulli
Sheriff



Nathaniel Passwaters
Chief Deputy

October 10, 2025

To: Worcester County Commissioners

From: Sheriff Matthew Crisafulli

RE: FY26 Out-of-State Travel Request

Please accept this request for out-of-state travel:

Out of State Travel Request

WCSC	4	100.1101.030.7000.060
Department	# of Attendees	GL Account Code
Reading PA	11/16/2025	11/21/2025
Destination	Depart	Return

Purpose of Travel: This request is to send 4 STAR Team members to Leadership training in Reading, PA.
11/16/25 will be a travel day, class runs 11/17/25-11/21/25.
Employees will return after class ends on 11/21/2025 to avoid additional night of lodging.

Estimated costs: Airfare: n/a

Lodging: 2,340 (4 x 585, per GSA)

Meals: 1,702 (4 x 351.50, per GSA)

Registration: 2,896 (4 x 724)

Car Rental: n/a (County vehicle)

Other Transportation: n/a

Other: \$200 estimated fuel, tolls, etc.

TOTAL: 7,138



TEL: 410-632-0686
FAX: 410-632-3003

OFFICE OF THE TREASURER

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1105
P.O. Box 248
SNOW HILL, MARYLAND
21863

Vacant
Finance Officer
Ondrea Starzhevskiy
Deputy Finance Officer

TO: Weston Young, P.E., Chief Administrative Officer
FROM: Ondrea Starzhevskiy, Deputy Finance Officer
RE: Tax Credit
DATE: October 6, 2025

I would like to request the County Commissioners authorize 100% County tax credits totaling \$12,553.18 for the three Ocean City Chamber of Commerce properties attached pursuant to Section 9-325 of the Tax Property Code. Included with this request is a copy of the letter from the Chamber requesting the credit.

If you have any questions, please do not hesitate to contact me.



Ocean City, Maryland Chamber of Commerce

☎ 410-213-0144 ✉ info@oceancity.org
🌐 oceancity.org 📍 12320 Ocean Gateway, Ocean City, MD 21842

October 2, 2025

Worcester County Board of County Commissioners
Theodore Elder, President
Room 1103 – Government Center
One West Market Street
Snow Hill, Maryland 21863

Dear President Elder:

I would like to request that the Board of County Commissioners grant property tax credits for the Greater Ocean City, Maryland Chamber of Commerce for account numbers 10-012139, 10-011108, and 10-012147 pursuant to Tax-Property Article §9-325(a)(5) and reissue adjusted bills if necessary. We have not received our bills for this year and request that you forward to us for payment, whatever the outcome of your decision.

If you have any questions or require any additional information, please feel free to contact me at 410-213-0144 x102. Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Amy R. Thompson", with a horizontal line extending to the right.

Amy R. Thompson
President/CEO
Greater Ocean City, Maryland Chamber of Commerce

DETACH AND KEEP THIS PORTION

Worcester County
Office of the Treasurer

Principal Residence or Commercial

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	LEVY PERIOD	LIBER/FOLIO	CHARGES	ASSESSMENT	RATE	AMOUNT
10012147	2025	07/01/25 - 06/30/26	546 / 40	State Real Property	13,833	.112000	15.49
				County Real Property	13,833	.815000	112.74
MAP GRID PARCEL	BILL #	BILL DATE	IF CHECKED CALL (410) 632-0686 EXT. 3				
0026 0006 0392	27898	07/01/25					
CONSTANT YIELD RATE INFORMATION			COUNTY RATE - CONSTANT YIELD = DIFFERENCE				
			\$.8150 - \$.7703 = \$.0447				
			PRIOR YEAR TAXES DUE				
			TAX SALE				

TOTAL TAXES 128.23

PROPERTY DESCRIPTION

OCEAN CITY MD CHAMBER OF
COMMERCE INC THE
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

PARCEL B 833 SQ FT
LANDS OF OCEAN CITY
CHAM OF COMMERCE PR SUR

MAKE CHECK PAYABLE TO WORCESTER COUNTY
P.O. BOX 64390
BALTIMORE, MD 21264-4390

ENCLOSE THIS PORTION WITH
ANNUAL PAYMENT

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10012147	2025	27898	07/01/2025	Jul	-0.56	127.67
PARCEL B 833 SQ FT LANDS OF OCEAN CITY CHAM OF COMMERCE PR SUR				Aug	0.00	128.23
				Sep	0.00	128.23
				Oct	0.64	128.87
				Nov	1.29	129.52
				Dec	1.92	130.15
				Jan	3.20	131.43
				Feb	4.49	132.72
				MAIL WITH FULL ANNUAL PAYMENT		

Payment Enclosed

OCEAN CITY MD CHAMBER OF
COMMERCE INC THE
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

02402082025500027898600000127670

MAKE CHECK PAYABLE TO WORCESTER COUNTY
P.O. BOX 64390
BALTIMORE, MD 21264-4390

ENCLOSE THIS PORTION WITH SECOND
SEMI-ANNUAL PAYMENT

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10012147	2025	27898	07/01/2025	Jul	-0.28	63.83
PARCEL B 833 SQ FT LANDS OF OCEAN CITY CHAM OF COMMERCE PR SUR				Aug	0.00	64.11
				Sep	0.00	64.11
				Oct	0.00	64.11
				Nov	0.00	64.11
				Dec	0.00	64.11
				MAIL WITH SECOND SEMI-ANNUAL PAYMENT		

Payment Enclosed

OCEAN CITY MD CHAMBER OF
COMMERCE INC THE
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

02402082025500027898600000063834

MAKE CHECK PAYABLE TO WORCESTER COUNTY
P.O. BOX 64390
BALTIMORE, MD 21264-4390

ENCLOSE THIS PORTION WITH FIRST SEMI-
ANNUAL PAYMENT

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10012147	2025	27898	07/01/2025	Jul	-0.28	63.84
PARCEL B 833 SQ FT LANDS OF OCEAN CITY CHAM OF COMMERCE PR SUR				Aug	0.00	64.12
				Sep	0.00	64.12
				Oct	0.64	64.76
				Nov	1.29	65.41
				Dec	1.92	66.04
				MAIL WITH FIRST SEMI-ANNUAL PAYMENT		

Payment Enclosed

OCEAN CITY MD CHAMBER OF
COMMERCE INC THE
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

02402082025500027898600000063842

DETACH AND KEEP THIS PORTION

Worcester County
Office of the Treasurer

Principal Residence or Commercial

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	LEVY PERIOD	LIBER/FOLIO	CHARGES	ASSESSMENT	RATE	AMOUNT
10011108	2025	07/01/25 - 06/30/26	6234 / 329	State Real Property	305,667	.112000	342.35
				County Real Property	305,667	.815000	2,491.19
MAP	GRID	PARCEL	BILL #	BILL DATE	IF CHECKED CALL (410) 632-0686 EXT. 3		
0026	0006	0392	27815	07/01/25	PRIOR YEAR TAXES DUE		
CONSTANT YIELD RATE INFORMATION	COUNTY RATE		CONSTANT YIELD - DIFFERENCE				
	\$.8150		= \$.7703		= \$.0447		
TAX SALE							
TOTAL TAXES							2,833.54
PROPERTY DESCRIPTION							
OCEAN CITY MARYLAND CHAMBER OF COM							
12320 OCEAN GATEWAY							
OCEAN CITY, MD 21842							
LOTS 1 37 38 39 40							
S SIDE R-50							
PL C LEWIS FARM							

MAKE CHECK PAYABLE TO WORCESTER COUNTY
P.O. BOX 64390
BALTIMORE, MD 21264-4390

ENCLOSE THIS PORTION WITH ANNUAL PAYMENT

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10011108	2025	27815	07/01/2025	Jul	-12.46	2,821.08
LEVY PERIOD				Aug	0.00	2,833.54
07/01/25 - 06/30/26				Sep	0.00	2,833.54
IF CHECKED CALL (410) 632-0686 EXT. 3				Oct	14.17	2,847.71
PRIOR YEAR TAXES DUE				Nov	28.33	2,861.87
TAX SALE				Dec	42.51	2,876.05
				Jan	70.84	2,904.38
				Feb	99.17	2,932.71
MAIL WITH FULL ANNUAL PAYMENT						
Payment Enclosed						
OCEAN CITY MARYLAND CHAMBER OF COM						
12320 OCEAN GATEWAY						
OCEAN CITY, MD 21842						
02402082025500027815000002821080						

MAKE CHECK PAYABLE TO WORCESTER COUNTY
P.O. BOX 64390
BALTIMORE, MD 21264-4390

ENCLOSE THIS PORTION WITH SECOND SEMI-ANNUAL PAYMENT

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10011108	2025	27815	07/01/2025	Jul	-6.23	1,410.53
LEVY PERIOD				Aug	0.00	1,416.76
07/01/25 - 06/30/26				Sep	0.00	1,416.76
IF CHECKED CALL (410) 632-0686 EXT. 3				Oct	0.00	1,416.76
PRIOR YEAR TAXES DUE				Nov	0.00	1,416.76
TAX SALE				Dec	0.00	1,416.76
MAIL WITH SECOND SEMI-ANNUAL PAYMENT						
Payment Enclosed						
OCEAN CITY MARYLAND CHAMBER OF COM						
12320 OCEAN GATEWAY						
OCEAN CITY, MD 21842						
02402082025500027815000001410539						

MAKE CHECK PAYABLE TO WORCESTER COUNTY
P.O. BOX 64390
BALTIMORE, MD 21264-4390

ENCLOSE THIS PORTION WITH FIRST SEMI-ANNUAL PAYMENT

(410) 632-0686 Ext. 3
www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10011108	2025	27815	07/01/2025	Jul	-6.23	1,410.55
LEVY PERIOD				Aug	0.00	1,416.78
07/01/25 - 06/30/26				Sep	0.00	1,416.78
IF CHECKED CALL (410) 632-0686 EXT. 3				Oct	14.17	1,430.95
PRIOR YEAR TAXES DUE				Nov	28.33	1,445.11
TAX SALE				Dec	42.51	1,459.29
MAIL WITH FIRST SEMI-ANNUAL PAYMENT						
Payment Enclosed						
OCEAN CITY MARYLAND CHAMBER OF COM						
12320 OCEAN GATEWAY						
OCEAN CITY, MD 21842						
02402082025500027815000001410554						

DETACH AND KEEP THIS PORTION

Worcester County Office of the Treasurer Principal Residence or Commercial (410) 632-0686 Ext. 3 www.co.worcester.md.us

PROPERTY ID	BILL YEAR	LEVY PERIOD	LIBER/FOLIO	CHARGES	ASSESSMENT	RATE	AMOUNT
10012139	2025	07/01/25 - 06/30/26	3471 / 564	State Real Property	1,220,767	.112000	1,367.26
				County Real Property	1,220,767	.815000	9,949.25
MAP	GRID	PARCEL	BILL #	BILL DATE			
0026	0006	0392	27897	07/01/25			
CONSTANT YIELD RATE INFORMATION		COUNTY RATE - CONSTANT YIELD DIFFERENCE					
		\$.8150 - \$.7703 = \$.0447					
TOTAL TAXES							11,316.51
PROPERTY DESCRIPTION							
OCEAN CITY MARYLAND CHAMBER OF COMMERCE INC 12320 OCEAN GATEWAY OCEAN CITY, MD 21842				PARCEL A 15965 SQ FT LANDS OF OCEAN CITY CHAM OF COMMERCE PR SUR			

MAKE CHECK PAYABLE TO WORCESTER COUNTY P.O. BOX 64390 BALTIMORE, MD 21264-4390 ENCLOSE THIS PORTION WITH ANNUAL PAYMENT (410) 632-0686 Ext. 3 www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10012139	2025	27897	07/01/2025	Jul	-49.74	11,266.77
				Aug	0.00	11,316.51
				Sep	0.00	11,316.51
				Oct	56.59	11,373.10
				Nov	113.16	11,429.67
				Dec	169.75	11,486.26
				Jan	282.93	11,599.44
				Feb	396.07	11,712.58
MAIL WITH FULL ANNUAL PAYMENT						

Payment Enclosed

OCEAN CITY MARYLAND CHAMBER OF COMMERCE INC
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

02402082025500027897800011266772

MAKE CHECK PAYABLE TO WORCESTER COUNTY P.O. BOX 64390 BALTIMORE, MD 21264-4390 ENCLOSE THIS PORTION WITH SECOND SEMI-ANNUAL PAYMENT (410) 632-0686 Ext. 3 www.co.worcester.md.us

PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10012139	2025	27897	07/01/2025	Jul	-24.87	5,633.38
				Aug	0.00	5,658.25
				Sep	0.00	5,658.25
				Oct	0.00	5,658.25
				Nov	0.00	5,658.25
				Dec	0.00	5,658.25
MAIL WITH SECOND SEMI-ANNUAL PAYMENT						

Payment Enclosed

OCEAN CITY MARYLAND CHAMBER OF COMMERCE INC
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

02402082025500027897800005633383

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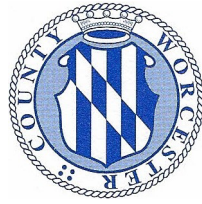
PROPERTY ID	BILL YEAR	BILL #	BILL DATE	IF PAID IN	DISC/INT	PAY THIS AMOUNT
10012139	2025	27897	07/01/2025	Jul	-24.87	5,633.39
				Aug	0.00	5,658.26
				Sep	0.00	5,658.26
				Oct	56.59	5,714.85
				Nov	113.16	5,771.42
				Dec	169.75	5,828.01
MAIL WITH FIRST SEMI-ANNUAL PAYMENT						

Payment Enclosed

OCEAN CITY MARYLAND CHAMBER OF COMMERCE INC
12320 OCEAN GATEWAY
OCEAN CITY, MD 21842

02402082025500027897800005633391

TEL: 410-632-5623
FAX: 410-632-1753
WEB: co.worcester.md.us



Worcester County
DEPARTMENT OF PUBLIC WORKS
6113 TIMMONS ROAD
SNOW HILL, MD 21863

DALLAS BAKER JR., P.E.
DIRECTOR

CHRISTOPHER CLASING, P.E.
DEPUTY DIRECTOR

MEMORANDUM

TO: Weston Young P.E., Chief Administrative Officer
Candace Savage, CGFM, Deputy Chief Administrative Officer
FROM: Dallas Baker Jr., P.E., Director *Dallas Baker Jr*
DATE: October 13, 2025
SUBJECT: Extra Work Order for Strategic Highway Safety Plan

Public Works is requesting Commissioner approval of an extra work order in the amount of \$3,500 for Mead & Hunt for their effort on the Strategic Highway Safety Plan. Mead & Hunt was awarded the development of a Strategic Highway Safety Plan in the amount of \$35,000 in November 2024, at the time \$45,000 was available in the Assigned Fund Balance New World project code "Strategic Hwy PI". The extra work effort includes adding the various municipalities in Worcester County to the GIS system which maps vehicular crashes within the County and allows them to be screened for enforceable activities which the Sheriff and State's Attorney can use for targeted enforcement. Additional stakeholder coordination is also included in the task.

Please let me know if there are any questions.

Attachment

CC: Kim Reynolds



JULY 23, 2025

ATTN: Mr. Dallas Baker Jr., P.E.
Director of Public Works
Worcester County
6113 Timmons Road
Snow Hill, MD 21863

Subject: Transportation Engineering Consulting Services – Strategic Highway Safety Plan: Supplemental Funding Request

Dear Mr. Baker:

Mead & Hunt, Inc. is requesting supplemental funding for Transportation Engineering Consulting Services in support of the development of the Local Roadway Safety Plan for Worcester County.

During the Stakeholder Meeting #1, there were requests from the Worcester County State's Attorney to add crash mapping of the municipalities within the County and create enforcement specific layers. While the underlying data was available within our GIS database, these enforcement related causes needed to be identified, filtered, and created on unique layers for visualization purposes within the GIS application. This required some additional level of effort beyond that initially anticipated, but it did fully satisfy the Worcester County State's Attorney request.

Additionally, there have been some minor delays in scheduling due to stakeholder availability, which have caused the project to extend an additional 2-months longer than the original anticipated schedule of 6-months resulting in additional ongoing management and coordination tasks.

Mead & Hunt is requesting **\$3,500.00** of supplemental funding for this effort.

Thank you for your consideration of this request.

Sincerely,
Mead & Hunt, Inc.

A handwritten signature in blue ink that reads "Kyle Roberts".

Kyle Roberts, PE, PTOE – Department Manager
Transportation Planning

TEL: 410-632-5623
 FAX: 410-632-1753
 WEB: co.worcester.md.us



Worcester County
 DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MD 21863

DALLAS BAKER JR., P.E.
 DIRECTOR

CHRISTOPHER CLASING, P.E.
 DEPUTY DIRECTOR

MEMORANDUM

TO: Weston Young P.E., Chief Administrative Officer
 Candace Savage, CGFM, Deputy Chief Administration Officer
FROM: Dallas Baker Jr., P.E., Director *Dallas Baker Jr*
DATE: October 13, 2025
SUBJECT: Assateague Point Wastewater – Lagoon Aerators Capital Equipment

Public Works is requesting Commissioner approval to purchase two replacement lagoon aerators for the Assateague Point Wastewater Treatment Plant. The total cost for the equipment and labor is \$56,879.28 (see attached quotation document). Funding was included in the approved capital equipment budget (\$60,000) for Assateague Point, account number 520.9010. Public Works is requesting to purchase the equipment from Aqua-Aerobics Systems since they are the local sales rep for similar equipment used at our other wastewater facilities which would assist with standardization. If the proposed equipment is not selected, the wastewater lagoon will suffer from algae growth and additional work will have to be completed for modifications. Please note, freight charges are not included in quote but will be billed at the time of delivery. It is not anticipated the freight charges will exceed the funding available. Public Work will notify the Commissioners if an over expenditure is needed.

The Assateague Point Wastewater Treatment Plant is 36 years old. The existing filters are from 1989 and are no longer supported by the manufacturer. Without these aerators being replaced the wastewater plant will not function as intended and the plant will not be able to meet its permit requirements.

Please let me know if there are any questions.

Attachments

CC: Quinn Dittrich, Enterprise Fund Controller
 Tony Fascelli, Water & Wastewater Superintendent



TO: Assateague Pointe

PROJECT: ASSATEAGUE POINTE MD
BERLIN
MD
USA-MUN

ATN: Shane Odegaard

PROPOSAL DATE: September 17, 2025

If billing and/or shipping address is different, please advise.

Qty	Description
<p>We are pleased to quote, for acceptance within (30) days of this date, prices and terms on equipment listed below. Shipment of equipment will be completed (10-14) weeks* after receipt of purchase order with mutually acceptable terms and conditions, subject to credit approval, or engineer approved submittals, if required. *Notes: Aqua-Aerobic Systems' proposal is based upon supply of equipment models as noted. Actual shipment is dependent on equipment availability at the time of receipt of order.</p> <p>- Equipment will be furnished by Aqua-Aerobic Systems, Inc. with civil work and installation by the purchaser.</p> <p>NOTE: - This Proposal is based on the Aerators using our Stainless Steel Floats. -</p>	
2	25 HP Model SS Endura® Series Aqua-Jet® Aerator. Float is 14 gauge 304 stainless steel skin, filled with closed cell polyurethane foam. Volute and intake cone are 304 stainless steel. Propeller is cast stainless steel. Diffusion head is monolithic casting of 304 stainless steel. Motor will be TEFC, premium efficient, 460 volt, 3 phase, 60 hertz, 1200 RPM with 1.15 Service Factor and Class F nonhygroscopic insulation. Motor shaft is one-piece 17-4 PH stainless steel.
2	- 304 stainless steel anti-erosion assembly for 25HP aerator with liner protection.
950	Feet, 7 X 19 X 1/4" high flex 304 stainless steel mooring cable.
2	Mooring Hardware Kit, part # 2968727 Includes Thimbles, Shackles, Mooring Springs, and Cable Clips
400	Feet, #8 AWG flexible service cable for 460V, 25HP operation. Cable has three power conductors and an insulated ground conductor assembled together with a nonhygroscopic filler material in a hard usage outer jacket.
2	1/2" spiral wrap abrasion protection for power supply cable.
2	3/4" - 1", 2 eye, wire mesh strain relief cord grip assembly.



- 2 Taper lock cord grip fitting(s), 1.0" NPT, to fit power cable with overall diameter of .75" to .875".
- 2 Hex bushing, galvanized 2.00" x 1.00"
- 80 Aerial support electrical cable tie wrap.
- 10 Vinyl electrical/mooring cable float complete with 2 nylon ties.

WARNING:

The Aqua-Jet® Aerator has a high velocity, upwardly directed hydraulic flow directly below the unit. In addition, horizontal surface velocities persist for some distance from the unit. These flow patterns may, in some instances, cause damage to basin bottoms or walls, creating leaking potential. In earthen or lined basins, Aqua-Aerobic Systems recommends the use of a concrete pad on the basin bottom directly below the aerator. If concrete is known to be nonresistant to the waste, other materials should be investigated. Riprapping, or similar means of bank protection can protect basin walls. If basin contains toxic wastes, user is advised to obtain engineering advice as to basin design and construction necessary to prevent possible erosion and leakage. Aqua-Aerobic Systems assumes no liability or responsibility for any damage to basin bottoms or walls, or for any injuries or damages resulting therefrom.

COMMERCIAL NOTES:

- Freight charges are NOT included in this proposal. Freight charges will be prepaid with actual charges to be added to invoice.
- Installation supervision and start-up supervision is included. Aqua-Aerobic Systems' consent to video recording our factory representatives during field services/operator training shall be in accordance with Aqua-Aerobic Systems' "Customer Video Recording Notice" included within our submittal and/or O&M manual(s). Copy available upon request.
- Payable net 30 days from date of shipment subject to credit review; no retainage allowed.
- Unless specifically stated herein, state and/or local taxes are not included in the price but will be charged unless we receive a valid sales exemption certificate, direct pay permit, or other documentation required specifically by the taxing entity prior to shipment.

TARIFF PRICE ESCALATION NOTE: This proposal excludes all tariffs, duties, import/export taxes, and any other government-imposed fees. As such, the proposed goods may be affected by the recent U.S. Government proposed tariffs on imported steel, aluminum and other commodities, including but not limited to reciprocal tariffs. Because of this, Aqua-Aerobic Systems reserves the right to adjust the pricing quoted prior to order acceptance. Any pricing adjustments required due to such impacts will be based on products or materials listed in the Harmonized Tariff Schedule of the United States (HTSUS) as published by the USITC.

SCOPE / EQUIPMENT NOTES:

- The accessory prices quoted herein are only valid with the purchase of the complete units. If accessories are purchased independently, now or at a later date, pricing is void and must be obtained from the Aqua-Aerobic Systems' Aftermarket Sales Department.
- Unless specifically stated herein, control panels, junction boxes, anchors and eyebolts are not included in Aqua's scope of supply and shall be supplied by others. Accessories listed under available options are not included in the 'Total Job Price'.
- Based on the current instability in stainless steel pricing, Aqua-Aerobic Systems, Inc. reserves the right to re-evaluate the pricing quoted prior to order acceptance.



- Aqua-Aerobic Systems' offer is based upon the supply of Aqua-Aerobic Systems' standard equipment as described within this proposal, including the warranty as included within Terms and Conditions of Aqua-Aerobic Systems, Inc., and Aqua-Aerobic Systems' standard factory test(s) prior to shipment. Aqua-Aerobic Systems' scope of supply does not include any process or performance guarantees or warranties or process or performance testing unless specifically detailed within this proposal.

- Aqua-Aerobic Systems is providing this proposal without reviewing the process application requirements. Aqua-Aerobic Systems cannot take responsibility for these requirements. If the review of the application indicates that additional equipment is required, Aqua-Aerobic Systems reserves the right to revise our offering to meet the requirements

TRADEMARKS: Aqua-Jet® Surface Mechanical Aerator, Aqua-Jet II® Contained Flow Aerator, AquaDDM® Direct-drive Mixer, Endura® Series Limited Maintenance Product, OxyMix® Pure Oxygen Mixer, OxyStar® Aspirating Aerator, Fold-a-Float® Self-Deploying Segmented Float, SAF-T-Float® Safe Accessible Float Technology, TurboStar® Directional Mixer, DualStar™ Directional Mixer, Aqua MixAir® Aeration System, Aqua CAM-D® Combination Aerator/Mixer/Decanter, AquaSBR® Sequencing Batch Reactor, AquaNereda®, Aqua MSBR® Modified Sequencing Batch Reactor, AquaPASS® Phased Activated Sludge System, Aqua EnduraTube® Fine-bubble Tube Diffuser, Aqua EnduraDisc® Fine-bubble Disc Diffuser, Aqua CB-24® Coarse-bubble Diffuser, Aqua TruDense™ True Densified Sequencing Batch Reactor, AquaDisk® Cloth Media Filter, AquaDiamond® Cloth Media Filter, AquaDrum® Pressure Series Cloth Media Filter, Aqua MiniDisk® Cloth Media Filter, Aqua MegaDisk® Cloth Media Filter, AquaPrime® Cloth Media Filter, AquaStorm® Cloth Media Filter, OptiComb® Backwash System, OptiFiber® Cloth Filtration Media, OptiFiber PES-13® Cloth Filtration Media, OptiFiber PA2-12® Cloth Filtration Media, OptiFiber PES-14® Cloth Filtration Media, OptiFiber PF-14® Cloth Filtration Media, OptiFiber UFS-9® Cloth Filtration Media, AquaABF® Automatic Backwash Filter, AquaPRS™ PFAS Removal System, Aqua PR-206™ PFAS Removal Sorbent, Aqua MultiBore® P-Series Polymeric Membrane System, Aqua MultiBore® C-Series Ceramic Membrane System, AquaMB Process® Multiple-Barrier Membrane System, Aqua-Aerobic® MBR Membrane Bioreactor System, Aqua ElectOzone® F-Series Ozone Generator, IntelliPro® Monitoring and Control System. The Aqua-Aerobic logo, registered trademarks and pending trademarks are the property of Aqua-Aerobic Systems, Inc. Nereda® is a registered trademark of Royal HaskoningDHV. All other products and services mentioned are trademarks of their respective owners.

SHIPPING NOTES:

To expedite your order, please provide the shipping instructions below:

Earliest acceptable equipment on site date: _____

Ship to address (including zip code):

Driver to provide 24 or 48 or _____ HOURS pre-delivery notice to:

Jobsite contact name: _____

@ telephone number: _____

Deliveries are accepted on the following days of the week:

Monday Tuesday Wednesday Thursday Friday Saturday Sunday

Acceptable hours of delivery ____:____ AM to ____:____ PM

Special instructions to relay to the carrier and/or the driver:

Proposal Date: September 17, 2025**Proposal # 81062****AQUA-AEROBIC
SYSTEMS, INC.**
A Metawater CompanyBILLING NOTES:
Bill To Address:

Purchase Order #:

Pricing Summary

StartUp Supervision (AAS):	Included
Total Job Price:	\$56,879.28

Material and/or services not specifically listed in this proposal are not included in the quoted TOTAL JOB PRICE and are to be supplied by others.

Goods quoted above will be sold subject to the terms and conditions of sale set forth on the face hereof and the following pages entitled "Terms and Conditions of Aqua-Aerobic Systems, Inc. (A MetaWater Company)": Any different or additional terms are hereby objected to.


TERMS AND CONDITIONS OF AQUA-AEROBIC SYSTEMS, INC. (A Metawater Company)

Page 1 of 2

This offer and all of the goods and sales of Aqua-Aerobic Systems, Inc. are subject only to the following terms and conditions. The acceptance of any order resulting from this proposal is based on the express condition that the Buyer agrees to all the terms and conditions herein contained. Any terms and conditions in any order, which are in addition to or inconsistent with the following, shall not be binding upon Aqua-Aerobic Systems, Inc. This proposal and any contract resulting therefrom, shall be governed by and construed in accordance with the laws of the State of Illinois, without regard to conflicts of laws principles.

PAYMENT

Unless specifically stated otherwise, quoted terms are Net 30 Days from shipping date. Past-due charges are 1.5% per month and will apply only on any past-due balance. Aqua-Aerobic Systems, Inc. does not allow retainage of any invoice amount, unless authorized in writing by an authorized representative of our Loves Park, Illinois office.

DURATION OF QUOTATION

This proposal of Aqua-Aerobic Systems, Inc. shall in no event be effective more than 30 days from date thereof, unless specifically stated otherwise, and is subject to change at any time prior to acceptance.

SHIPMENT

Shipping dates are not a guarantee of a particular day of shipment and are approximate, being based upon present production information, and are subject to change per the production schedules existing at time of receipt of purchase order. Aqua-Aerobic Systems, Inc. shall not be responsible for any delay in shipment for causes beyond its control including, but not limited to, war, riots, strikes, labor trouble causing interruption of work, fires, other casualties, transportation delays, modification of order, any act of governmental authorities or acts of God. Quoted shipment dates in this proposal are approximate dates goods will be shipped and, unless agreed to in writing by Aqua-Aerobic Systems, Inc., Buyer may not postpone or delay the dates of shipment of goods from our plant or from our supplier's plants beyond the dates set forth in this proposal.

TITLE AND RISK OF LOSS

All prices and all shipments of goods are F.O.B. Aqua-Aerobic Systems, Inc.'s plant at Loves Park, Illinois unless specifically stated otherwise. Delivery of the goods sold hereunder to the carrier shall be deemed delivery to the Buyer, and upon such delivery, title to such goods and risk of loss or damage shall be upon Buyer.

TAXES

Prices quoted do not include any taxes, customs duties, or import fees. Buyer shall pay any and all use, sales, privilege or other tax or customs duties or import fees levied by any governmental authority with respect to the sale or transportation of any goods covered hereby. If Aqua-Aerobic Systems, Inc. is required by any taxing authority to collect or to pay any such tax, duty or fee, the Buyer shall be separately billed at such time for the amounts Aqua-Aerobic Systems, Inc. is required to pay.

INSURANCE

Unless the goods are sold on a CIF basis, the Buyer shall provide marine insurance for all risks, including war and general coverage.

SECURITY

If at any time the financial responsibility of the Buyer becomes unsatisfactory to Aqua-Aerobic Systems, Inc., or Aqua-Aerobic Systems, Inc. otherwise deems itself insecure as to receipt of full payment of the purchase price from Buyer hereunder, Aqua-Aerobic Systems, Inc. reserves the right to require payment in advance or security or guarantee satisfactory to Aqua-Aerobic Systems, Inc. of payment in full of the purchase price.

LIMITATION OF ACTION

No action shall be brought against Aqua-Aerobic Systems, Inc. for any breach of its contract of sale more than two years after the accrual of the cause of action thereof, and, in no event, unless the Buyer shall first have given written notice to Aqua-Aerobic Systems, Inc., of any claim of breach of contract within 30 days after the discovery thereof.

CANCELLATION CLAUSE

No acceptance of this proposal, by purchase order or otherwise, may be modified except by written consent of Aqua-Aerobic Systems, Inc. nor may it be cancelled except by prior payment to Aqua-Aerobic Systems, Inc. the following sums as liquidated damages therefore: 1) If cancellation is prior to commencement of production and prior to the assumption of any obligations by Aqua-Aerobic Systems, Inc. for any materials or component parts, a sum equal to 15% of the total purchase price; 2) If cancellation is after the commencement of production or after the assumption of any obligations by Aqua-Aerobic Systems, Inc. for any materials or component parts, a sum equal to the total of the direct, out-of-pocket expenses incurred to the date of cancellation for labor, machine time, materials and any charges made to us by suppliers for cancellation, plus 30% of the total purchase price. All charges and expenses shall be as determined by Aqua-Aerobic Systems, Inc. In the event any items are used by Aqua-Aerobic Systems, Inc. to fill a subsequent order, then upon receipt of payment for such order, Aqua-Aerobic Systems, Inc. shall pay the Buyer a sum equal to the direct out-of-pocket expenses previously charged and received from Buyer.

PROPRIETARY INFORMATION

This proposal, including all descriptive data, drawings, material, information and know-how disclosed by Aqua-Aerobic Systems, Inc. to Buyer in relation hereto is confidential information intended solely for the confidential use of Buyer, shall remain the property of Aqua-Aerobic Systems, Inc. and shall not be disclosed or otherwise used to the disadvantage or detriment of Aqua-Aerobic Systems, Inc. in any manner.



Proposal Date: September 17, 2025

Proposal # 81062

TERMS AND CONDITIONS OF AQUA-AEROBIC SYSTEMS, INC. (A Metawater Company)

Page 2 of 2

QUALIFIED ACCEPTANCE AND INDEMNITY

In the event the acceptance of this proposal by Buyer either is contingent upon or subject to the approval by any third party such as, but not limited to, a consulting engineer, with respect to goods, parts, materials, descriptive data, drawings, calculations, or any other matter, then upon such approval by any third party, Aqua-Aerobic Systems, Inc. shall have no liability to Buyer or to any third party so long as the goods sold and delivered by Aqua-Aerobic Systems, Inc. conform to this proposal.

Buyer agrees to indemnify and save harmless Aqua-Aerobic Systems, Inc. from and against all costs and expenses and liability of any kind whatsoever arising out of or in connection with claims by third parties so long as the goods sold hereunder conform to the requirements of this proposal as approved by any third party.

WARRANTY; LIMITATION OF LIABILITY; AND DISCLAIMER

In return for purchase and full payment for Aqua-Aerobic Systems, Inc. goods, we warrant new goods provided by us to be free from defects in materials and workmanship under normal conditions and use for a period of one year from the date the goods are put into service, or eighteen months from date of shipment (whichever first occurs).

OUR OBLIGATION UNDER THIS WARRANTY IS EXPRESSLY AND EXCLUSIVELY LIMITED to replacing or repairing (at our factory at Loves Park, Illinois) any part or parts returned to our factory with transportation charges prepaid, and which our examination shall show to have been defective. Prior to return of any goods or its parts to our factory, Buyer shall notify Aqua-Aerobic Systems, Inc. of claimed defect, and Aqua-Aerobic Systems, Inc. shall have the privilege of examining the goods at Buyer's place of business at or where the goods have otherwise been placed in service.

THE FOREGOING WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, AND OF ALL OTHER LIABILITIES AND OBLIGATIONS ON OUR PART, INCLUDING ANY LIABILITY FOR NEGLIGENCE, STRICT LIABILITY, OR OTHERWISE; AND ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE IS EXPRESSLY DISCLAIMED; AND WE EXPRESSLY DENY THE RIGHT OF ANY OTHER PERSON TO INCUR OR ASSUME FOR US ANY OTHER LIABILITY IN CONNECTION WITH THE SALE OF ANY GOODS PROVIDED BY US.

UNDER NO CIRCUMSTANCES, INCLUDING ANY CLAIM OF NEGLIGENCE, STRICT LIABILITY, OR OTHERWISE, SHALL AQUA-AEROBIC SYSTEMS, INC. BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGES, COSTS OF CONNECTING, DISCONNECTING, OR ANY LOSS OR DAMAGE RESULTING FROM A DEFECT IN THE GOODS. LIMIT OF LIABILITY: AQUA-AEROBIC SYSTEMS, INC.'S TOTAL LIABILITY UNDER THE ABOVE WARRANTY IS LIMITED TO THE REPAIR OR REPLACEMENT OF ANY DEFECTIVE PART.

Final acceptance of this proposal must be given to Aqua-Aerobic Systems, Inc. at their office in Loves Park, Illinois. Please acknowledge acceptance by signing the proposal and returning it to Aqua-Aerobic Systems, Inc.

Accepted by:
Company:
By: Date:

Offer Respectfully Submitted,
Gaby Alvarado
Gaby Alvarado, Sales Assistant, Aeration & Mixing
Aqua-Aerobic Systems, Inc.

TEL: 410-632-5623
 FAX: 410-632-1753
 WEB: co.worcester.md.us



Worcester County
 DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MD 21863

DALLAS BAKER JR., P.E.
 DIRECTOR

CHRISTOPHER CLASING, P.E.
 DEPUTY DIRECTOR

MEMORANDUM

TO: Weston Young P.E., Chief Administrative Officer
 Candace Savage, CGFM, Deputy Chief Administrative Officer
FROM: Dallas Baker Jr., P.E., Director
DATE: October 13, 2025 *Dallas Baker Jr*
SUBJECT: Over Expenditure Request – Newark Water Treatment Plant

Public Works is requesting Commissioner approval to overspend the Buildings and Grounds Maintenance for the Newark Water Treatment Plant, account number 550.6550.020 by \$2,000. Members of the Newark Water & Sewer Advisory Board have requested the exterior of the Water Treatment Plant be cleaned and painted. The Public Works – Maintenance Division is capable of handling the work in-house but the material costs were not included in the FY 26 budget. The current line item for Buildings and Grounds Maintenance is \$1,000. Several pictures of the plant are below for reference. Public Works will attempt to offset the cost of the maintenance by underspending other items in the Newark budget, but other unforeseen expenses may impact the final FY 26 budget.

Please let me know if there are any questions.

Attachments

CC: Tony Fascelli
 Quinn Dittrich





TEL: 410-632-5623
 FAX: 410-632-1753
 WEB: co.worcester.md.us



Worcester County
 DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MD 21863

DALLAS BAKER JR., P.E.
 DIRECTOR

CHRISTOPHER CLASING, P.E.
 DEPUTY DIRECTOR

MEMORANDUM

TO: Weston Young P.E., Chief Administrative Officer
 Candace Savage, CGFM, Deputy Chief Administrative Officer
FROM: Dallas Baker Jr., P.E., Director *Dallas Baker Jr*
DATE: October 14, 2025
SUBJECT: Change Order for Riddle Farm Emergency Bypass

Public Works is requesting Commissioner approval of the attached \$23,500 change order to KCI's contract for the design of the Riddle Farm Emergency Force Main Bypass. The project and change order are funded by a grant from Rural Maryland Economic Development. KCI's original contract is in the amount of \$161,500. The change order will take advantage of unused funds from the West OC Dredging project which had a remaining balance of \$29,800 at the completion of the project. The change order will cover geotech borings and the creation of easement plats along the proposed force main path.

The borings will allow for the collection of information on subsurface conditions which will enable construction contractors to provide more accurate construction bids by knowing the soil types present prior to beginning work. In addition, the preparation of easement plats will assist the County in securing needed easements from private property owner along the path of the proposed force main. Homeowners will be presented with an accurate drawing of the impacts to their property, and the plats will be used to generate the accompanying deeds of easement.

Please let me know if there are any questions.

Attachment

KCI TECHNOLOGIES, INC.
EXTRA WORK AUTHORIZATION
September 29, 2025
KCI Project No 00008502_00001

The purpose of this form is to obtain your authorization for the work verbally requested and to confirm the terms under which these services will be provided. KCI Technologies, Inc. is pleased to provide the services described below as an amendment to the contract previously executed, dated April 2, 2024, for the Project called Riddle Farm Force Main Bypass Design, located in Berlin, Worcester County, MD.

Invoices to: Worcester County
Attention: Dallas Baker
1 West Market, Room 1103
Snow Hill, MD 21863

As provided in the original proposal, KCI will solicit proposals for specialty work not included in the original proposal such as geotechnical work. Additional work is also required to support easements acquisition in the construction area, which was not part of the original proposal. The additional scope of work and associated cost is described below.

Scope of Work

KCI will provide the following services for the above-referenced project in accordance with the Scope of Work shown below:

1. Geotechnical Borings

KCI will subcontract geotechnical services to John. D. Hynes and Associates (Hynes) to provide subsurface explorations to investigate and report ground conditions. The subcontractor will drill 3 test borings along the horizontal directional drill alignment at the following locations.

- Boring 1 – at the HDD Launch point
- Boring 2 – at the HDD mid-point (Ocean Downs Casino crossing point)
- Boring 3 - at the HDD Receiving Point

Locations identified are contingent upon County obtaining permission from property owners for access and drill of the test borings.

The borings will be drilled to a depth of 30 feet. Hynes will perform 2 sieve analysis or Atterberg (Liquid and Plastic) tests. Hynes will sample the borings continuously. Upon completion, Hynes will backfill the boring excavations. Hynes will remove excess soil cuttings and will seed and mulch the boring area. Hynes will replace the “topsoil” at the ground surface prior to seeding. Hynes will report to KCI the boring logs, the laboratory test results and a description of geologic conditions encountered.

KCI will assist in coordination and review of the Geotech results. The results and recommendations of the borings will be incorporated into the construction documents.

Geotechnical Borings: \$10,000

2. Easement Exhibits

KCI will prepare easement exhibits for properties along the alignment needing an easement. This will include an 8.5"x11" exhibit and legal description in Word format.

Fee Per Exhibit: \$1,350.00 (10 Exhibits estimated \$13,500.00)

Fees and Payments for Additional Work:

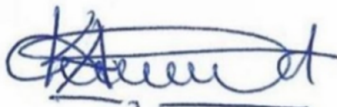
Fees and payments for Additional Work shall be in addition to any fees and payments for the Work described in the Scope of Services above. Fees and Payments for Additional Work will be billed in accordance with the above Fees and Payments section. The following is a summary of the additional work and associated costs.

Item	Service	Cost
1	Geotechnical Borings	\$ 10,000.00
2	Easement Exhibits (Approx. 10)	\$ 13,500.00
	Total	\$ 23,500.00

Extra Work Authorization:

If this Proposal is satisfactory, acceptable and fully set forth the terms of our understanding, please sign the Acceptance and return a copy to KCI's office. This Proposal shall be deemed an ADDENDUM to the Contract previously executed between the parties hereto dated 04/02/2024, and all the terms and conditions set forth in the originating contract aforesaid are hereby by reference thereto.

Respectfully submitted,



Kevin Nyamumbo, P.E.
Project Manager



Daniel String, P.E.
Senior Project Manager

Guarantee: In consideration of the execution of this contract and extension of credits, the signator does hereby unconditionally and personally guarantees the payment of all fees and expenses arriving out of said contract.

Work Authorized by:

(Print or Type Name)

(Title)

(Signature)



Worcester County Department of Environmental Programs
Worcester County Government Center, 1 West Market Street, Rm 1306 | Snow Hill MD 21863
Tel: (410) 632-1220 | Fax: (410) 632-2012

Memorandum

To: Weston S. Young, P.E., Chief Administrative Officer

From: Robert J. Mitchell, LEHS, REHS/RS 
Director, Environmental Programs

Subject: **Bond Waiver Request**
Town of Ocean City
Runway 14-32 RSA Runway Rehab Program

Date: 10/10/25

Attached you will find a memo from David Bradford detailing the letter from Hal Adkins, Public Works Director for the Town of Ocean City, who is requesting a waiver for Stormwater bonding requirements for the above-referenced project. The amount of the stormwater bond for this work is \$1,421,440.00

This request follows similar requests granted by the County including waivers for the Eagles Landing flood project, the OC Airport Runway addition, and the Park and Ride projects in West Ocean City. In those instances, the Town of Ocean City has guaranteed plantings and stormwater infrastructure completion for their projects. I have attached the request letter for your review. We would respectfully recommend the County Commissioners consider the Town's request for relief for the permit fees and bonding requirements from this project as detailed. If the Commissioners require an additional letter detailing the Town's assurances, we trust that can be arranged.

If you have any questions or need additional information, please let me know.

Enclosure

cc: David Bradford



Worcester County Department of Environmental Programs
Worcester County Government Center, 1 West Market Street, Rm 1306 | Snow Hill MD 21863
Tel: (410) 632-1220 | Fax: (410) 632-2012

Memorandum

To: Robert J. Mitchell
Director, Environmental Programs

From: David M. Bradford, Jr. *DMB*
Deputy Director, Environmental Programs

Subject: Stormwater Management Bond Waiver Request
Town of Ocean City - Municipal Airport
Relocate Taxiway A
Runway 14-32 RSA Standards and Rehabilitation Program

Date: 10/6/25

Attached you will find a letter from Hal Adkins, Public Works Director for the Town of Ocean City, requesting a waiver from the Stormwater Management bonding requirements for the relocation of Taxiway A, which is a part of their ongoing Runway 14-32 RSA Standards and Rehabilitation Program. This specific bond amount is \$1,421,440.00.

As you will recall, we have previously granted the Town waivers for both Critical Area and Stormwater Management bonds for numerous projects over the years with the most recent one being for Eagles Landing flood resiliency and renovation work which occurred earlier this year. We also granted a Stormwater Management bond waiver for an earlier phase of the Runway 14-32 RSA work in July of 2020.

Please let me know if you need any additional information.

Enclosure

Cc: Brian Soper, NR Administrator



TOWN OF OCEAN CITY

The White Marlin Capital of the World

October 6, 2025

Mr. Robert Mitchell, LEHS, REHS
Director, Worcester County Department of Environmental Programs
Worcester County Government Center
One West Market Street, Room 1306
Snow Hill, Maryland 21863

Reference: Town of Ocean City - Request for Waiver of Stormwater Bond Requirement
Relocate Taxiway A
Runway 14-32 RSA Standards and Rehabilitation Program
Ocean City Municipal Airport
Berlin, Maryland

MAYOR
Richard W. Meehan

CITY COUNCIL

Matthew M. James
President

Anthony J. DeLuca
Secretary

John F. Gehrig, Jr.
Jacob H. Mltreic
Carol Proctor
Will Savage
Larry R. Yates

CITY MANAGER
Terence J. McGeane, PE

CITY CLERK
Diana L. Chavis, MMC

Dear Mr. ^{BOB}Mitchell:

Please consider this letter as a request for Worcester County to waive the Stormwater bond requirement for the Relocate Taxiway A project as part of the Runway 14-32 RSA Standards and Rehabilitation Program at Ocean City Municipal Airport.

The Town of Ocean City is in process of completing the Runway 14-32 RSA Standards and Rehabilitation Program. The program adheres to Federal Aviation Administration (FAA) standards and improves safety by enhancing the Runway Safety Area (RSA) and Runway Object Free Area (ROFA) of Runway 14-32; maintaining the function, safety, and utility of Runway 14-32 by rehabilitating the pavement; increasing the runway to taxiway separation distance from 200 feet to 300 feet; demolishing direct runway access taxiways from the terminal apron to the runway; and providing for the required wingtip clearances from the terminal apron taxilane to transient parking positions. The relocation of Taxiway A is being completed across two (2) construction projects across calendar years 2025-2027 which will complete the respective program that was initiated with the County in 2019.

All proposed work is located on Airport property owned by the Town of Ocean City at 12724 Airport Road, Berlin, Maryland 21811, portions of which are located within the Atlantic Coastal Bays Critical Area. Per communications with the Department of Environmental Programs, there is a required stormwater bond amount as determined in accordance with Section ZS 1-125 of the Worcester County Zoning and Subdivision Control Article, of which the Town of Ocean City is requesting full exemption similar to past Town projects within the County.

P.O. Box 158, Ocean City, Maryland 21843-0158 | oceancitymd.gov | City Hall: (410) 289-8221 | Fax: (410) 289-8703

Town of Ocean City, Maryland

Page 2

Thank you for your consideration. Should you require additional documentation or have any questions, please contact me directly at 443.235.4440.

Sincerely,



Hal Adkins
Public Works Director

- cc: David Bradford, Worcester County Department of Environmental Programs
Jaime Giandomenico, Airport Manager, Town of Ocean City
Weston Young, Chief Administrative Officer, Worcester County
Joseph Mitrecic, County Commissioner, Town of Ocean City
Derek Hollinger, AECOM



Worcester County Department of Environmental Programs

Worcester County Government Center, 1 West Market Street, Rm 1306 | Snow Hill MD 21863

Tel: (410) 632-1220 | Fax: (410) 632-2012

Memorandum

To: Weston S. Young, P.E., Chief Administrative Officer

From: Robert J. Mitchell, LEHS, REHS/RS 
Director, Environmental Programs

Subject: **Sanitary Service Area Expansion**

Request for Public Hearing

Worcester County Tax Map 26, Parcels 274 – Par 2, 274-Par 3B, 274-Par 1A, 274-Par 1BB, 274 – Par 1C, 274-Par 1-C, 424, 291, 365, 292, 290, 208 – Lot 1, and 208 – Lot 2

West Ocean City Sanitary Service Area

SSA-2025-01

Date: 10/10/25

Attached is a copy of a petition for Sanitary Service Area expansion and connection of the subject property to the sewer system of the West Ocean City Sanitary Area from Hugh Cropper on behalf of the applicants. The petition was received in accordance with § PW 5-305 (b)(1) and is being processed as an expansion of the West Ocean City Sanitary Service Area.

This amendment seeks to expand the West Ocean City sanitary service area for the subject properties. These properties are already within the Mystic Harbour Sewer Planning Area with a designation of S-1/W-1 (immediate to two years) and are adjacent to mapped West Ocean City Planning Area properties on the northern end. Since we are only proposing to extend a Sanitary Area boundary for S-1/W-1 planned properties in adjacent service areas under our local code, we do not have to complete an accompanying amendment to the *Master Water and Sewerage Plan* at this time. If approved, the properties would also be in the Mystic Harbour - West Ocean City overlay area as they would exist within the boundaries of both.

The applicant requested the small expansion of the sanitary area initially to serve a proposed commercial structure on the southernmost property. The subject properties are located on the west side of Maryland Route 611 (Stephen Decatur Highway). They are more specifically identified on Worcester County Tax Map 26, as Parcels 274 – Par 2, 274-Par 3B, 274-Par 1A, 274-Par 1BB, 274 – Par 1C, 274-Par 1-C, 424, 291, 365, 292, 290, 208 – Lot 1, 208 – Lot 2. The owner(s) of these properties will need to seek a transfer of West Ocean City sewer EDUs from unused capacity that private customers in the WOC Sanitary Area are willing to transfer under the policies in County Commissioner Resolution 97-1. While these properties may have some Mystic Harbour sewer capacity allocated or are completely without any Mystic Sewer allocation at this time, they would need additional sewer capacity to build out or intensify existing commercial uses.

The proposed sanitary facilities will consist of construction of connecting infrastructure to adjacent County sewer collection system mains on the east side of Rt 611 at a location to be done with approved by the Department of Public Works. A corresponding allocation of public water will need to be obtained from the Mystic Harbour Sanitary Service Area with a connection to public water on the main located on the west side of Rt 611.

ITEM 10

I have investigated and evaluated the petition to expand the Ocean Pines Sanitary Service Area. In order to evaluate the proposal, I solicited comments from the Departments of Public Works and Finance. If the applicants are willing to construct all the connecting infrastructure, in a manner acceptable to Public Works, and apply for, transfer, and allocate the needed sanitary capacity and pay for said capacity, and provide an acceptable metering arrangement for Finance, then the proposal is feasible from a financial and engineering standpoint. Applicants will need to pay the equity contribution and future capital improvement charges with any water EDU purchases associated with this application. The applicants will still need to go through the West Ocean City allocation process to secure and transfer unutilized West Ocean City sewer capacity they need to serve their needs under the County's policy for such transfers.

After reviewing all of the applicable information, I find the following:

1. The proposed expansion would be desirable for the comfort, convenience, health, safety, and welfare of the people who will, or in the future may be served by the proposed expansion. The existing properties will now have the opportunity to be served by West Ocean City sewer, which will provide the necessary capacity that does not exist currently in the Mystic Sanitary Area for any proposed constructions. The proposed expansion would also not require any new capacity in order to serve the included properties.
2. The construction of this property to the West Ocean City collection and system is certainly feasible from both the engineering and economic standpoints. All costs to operate the conveyance to a public sewer main will be borne by the service area customers with the property owners responsible for the construction of their connections. An acceptable Public Works agreement for construction and turnover of said facilities will also need to be approved and accepted by the County. There are adjacent sewer mains that could be utilized to serve the subject properties.
3. The proposal is in the best interest of the public health, safety, and welfare of the residents of the County. In addition to the findings outlined in number 1 above, the fact that the infrastructure will be approved and operated by the County will permit the orderly development of the subject properties within the area. Public sewer is preferable to septic and capacity provided by transfers of unutilized West Ocean City capacity will enable full development or intensification of these properties.
4. The proposal will not be unduly detrimental to the environment of the County. A public system in this area with the necessary capacity to serve the proposed development should provide for a greater degree of protection of the environment of the County. Public water and sewer are preferable to private wells and septic. These properties are uplands and zoned for commercial uses.
5. The design and operation of the facility will be completed according to State and County guidelines. Plans will be approved by the Department of Public Works and construction work will be inspected and approved prior to turnover of any public components. The applicant is responsible for all costs associated with design and permitting of the infrastructure connections and the West OC sewer EDU capacity transfer(s). The County will be responsible for operations of any transferred public infrastructure components, with the costs being paid for by the applicant.

I would respectfully request that the Commissioners schedule a public hearing to consider the expansion of the West Ocean City Sanitary Area to include this property. I have forwarded a draft advertisement for this hearing to County Administration under separate cover.

ITEM 10

As always, I will be available to discuss this matter with you and the County Commissioners at your convenience. Should you have any questions or require future information in the interim, please do not hesitate to contact me.

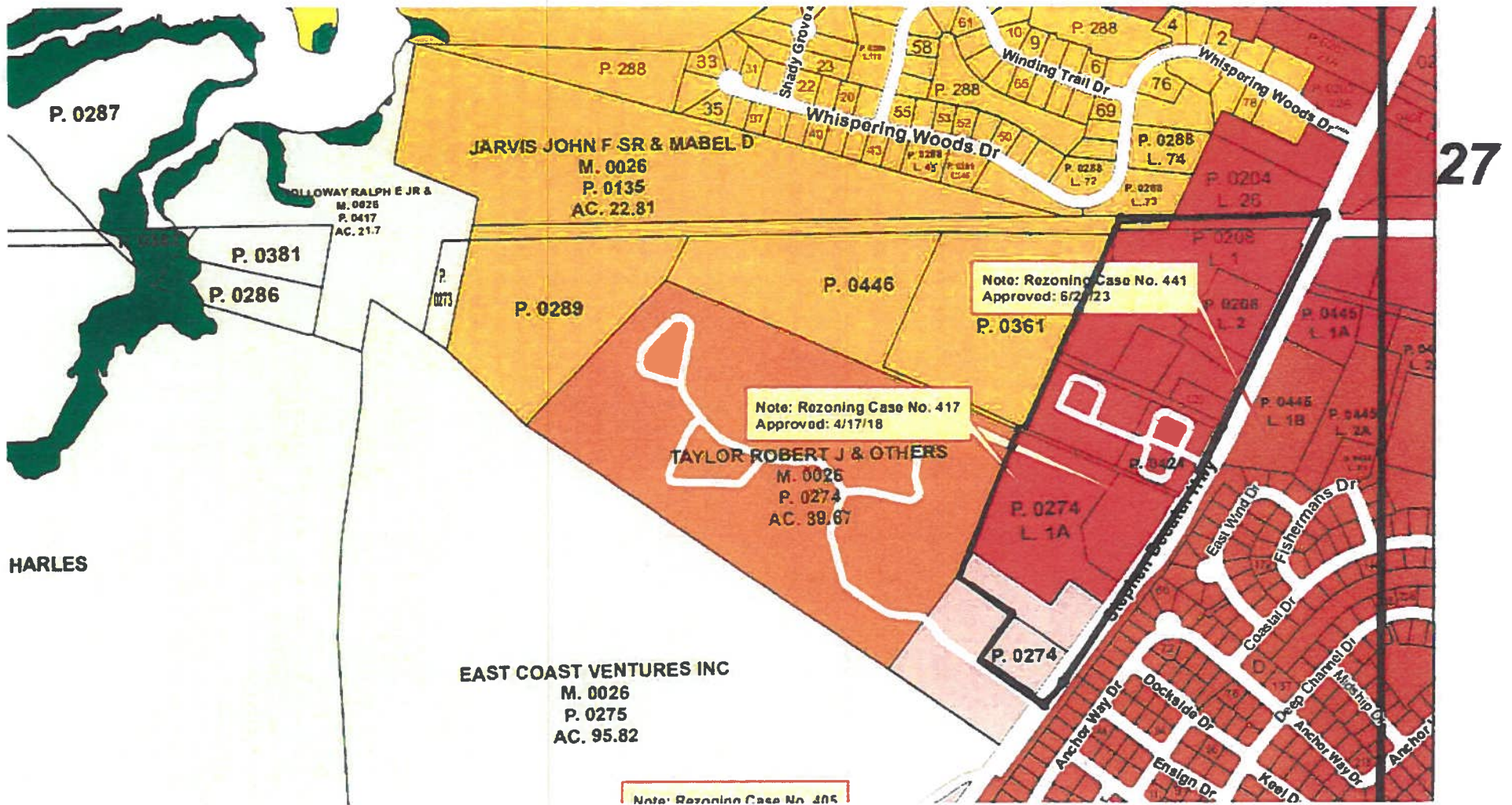
Attachments

1. Application and Petition
2. Maps for the Proposed SSA Addition

cc: West Ocean City Sanitary Area File, SSA-2025-01

Attachment 1

Application and Petition



LAW OFFICES

BOOTH CROPPER & MARRINER

A PROFESSIONAL CORPORATION

CURTIS H. BOOTH
HUGH CROPPER IV
THOMAS C. MARRINER*
ELIZABETH ANN EVINS
LYNDSEY J. RYAN
KRISTINA L. WATKOWSKI

9927 STEPHEN DECATUR HWY., F-12

OCEAN CITY, MARYLAND 21842

(410) 213-2681

FAX (410) 213-2685

EASTON OFFICE

130 N. WASHINGTON ST.
EASTON, MD 21601
(410) 822-2929
FAX (410) 820-6586

WEBSITE

www.bbcmclaw.com

*ADMITTED MD & DC

June 30, 2025

Robert J. Mitchell, LEHS, REHS
Director, Worcester County Department of
Environmental Programs
One West Market Street
Snow Hill, Maryland 21863

RE: West Ocean City Sanitary Service Area Expansion
Worcester County Tax Map 26, Parcel 274

Dear Mr. Mitchell:

Please accept this correspondence as the PETITION on behalf of my client, COF Investment Group, LLC, to expand the West Ocean City Sanitary Service Area (“WOCSSA”) to include the property known as Worcester County Tax Map 26, Parcel 274, Parcel 2, 1.18 acres, located on the west side of Stephen Decatur Highway, in West Ocean City, Worcester County, Maryland.

The property is zoned C-1, Neighborhood Commercial District. The property is designated as Existing Developed Area, or EDA, in the March 7, 2006 Comprehensive Land Use Plan, which accompanies the Comprehensive Plan.

The property owner, COF Investment Group, LLC, Mark and Kathy Clark, own other properties in the WOCSSA which are allocated excess EDU’s. The property owner, through its related entities, would transfer those EDU’s if approved. Therefore, this expansion will **not** require any additional EDU’s.

This Petition also includes the properties along Stephen Decatur Highway to the existing boundary of the WOCSSA, all of which (except for one) are zoned C-2, General Commercial District, and are designated EDA in the Comprehensive Plan.

The properties are currently included in the Mystic Harbour Sanitary Service Area (“MHSSA”), but the subject property is not allocated any EDU’s.

Based upon preliminary soil studies, the property would perc, and would probably be eligible for an onsite septic system.

If granted, the expansion to the WOCSSA will create overlapping services areas, a condition which exists throughout West Ocean City, on the south side of US Route 50.

Pursuant to Public Works, Section 5-305(a) the proposed expansion is necessary for the existing or future health, safety, and welfare of the public in general and it is in the best interest of the County at large, and the proposed expansion is feasible financially and from an engineering standpoint. This will be explained later in this application as part of the individual standards.

The request to expand the WOCSSA is not based upon a specific site plan; rather, the applicant/property owner believes it is good planning to include the property, which will provide flexibility for future growth. Due to the somewhat restrictive Neighborhood Commercial district zoning, the property will not accommodate many EDU's. The owners of COF Investment Group, LLC, Mark and Kathy Clark, own other properties in West Ocean City which are allocated excess EDU's. If the expansion is granted, it will not require any additional EDU's. Mr. and Mrs. Clark will be able to transfer EDU's already allocated to properties in the WOCSSA.

I have also applied to expand the sewer planning area, with inclusion into the Worcester County Comprehensive Water and Sewerage Plan. With respect to that application, as stated, the property is designated as EDA in the Land Use Map. It is zoned Commercial and, as such, the proposed Water and Sewer Plan Amendment is consistent with the Comprehensive Plan. With respect to the other properties, all but one are zoned C-2, General Commercial District, and are also located in an EDA. The majority of those properties are developed with existing commercial uses. Even the surrounding Sea Oaks Townhouse Project was approved as an RPC, with a percentage of commercial uses and development immediately abutting the subject properties along Stephen Decatur Highway.

With respect to individual findings, please consider the following:

1. The proposed expansion would be desirable for the comfort, convenience, health, safety, and welfare of the people who will be served by the proposal.

This request would eliminate complete reliance on using EDU's in the MHSSA. The property owner, through related entities, already owns excess EDU's in the WOCSSA. The expansion will **not** require any additional EDU's. If approved, the applicant/property owner will apply to transfer EDU's, pursuant to Resolution 97-1, that it already owns. The expansion will also address public health and environmental concerns associated with the use of on-site septic systems in the West Ocean City area. The subject property is appropriately zoned for commercial uses. The existing property will now be served by the WOCSSA (as well as the MHSSA), which will provide the necessary capacity that does not exist in the MHSSA. This

will create less reliance on the MHSSA, and will provide Worcester County with the flexibility to serve other properties in this area.

2. The operation and construction is certainly feasible from both the engineering and economic standpoints.

All costs to operate the system will be borne by the Service Area customers with the property owners responsible for the construction of the connections. An acceptable Public Works Agreement for construction and turnover of the Facilities will need to be approved and accepted by Worcester County. WOCSSA infrastructure is nearby, and extending these lines to the property will be feasible. From a financial perspective, if and when the applicant/property owner applies for and transfers EDU's, they will continue to pay the EDU charges.

3. The proposal is in the best interest of the public health, safety, and welfare of all residents in the County.

In addition to the findings outlined in number one above, the fact that the infrastructure will be approved and operated by Worcester County will permit the orderly development of the subject property within the area. The applicant/property owner already has adequate capacity in the WOCSSA from other properties, and they will be eligible for transfer pursuant to Resolution 97-1.

4. The proposal will not be unduly detrimental to the environment of the County.

The provision of public sewer in this area with the necessary capacity to serve any proposed development on the subject property should provide for a greater degree of protection of the environment of Worcester County. The vast majority of the property is uplands, and it is not adjacent to any water bodies. It is not in the Critical Area. Public water and sewer are preferable to private wells and septic.

5. The design and operation of the facility will be completed according to State and County guidelines.

Plans will be approved by the Department of Public Works and construction work will be inspected and approved prior to turnover. The applicant will be responsible for all costs associated with the design and permitting of the infrastructure.

In conclusion, if approved, the applicant/property owner will need to submit a Site Plan to the Planning Commission for approval. Once it is determined whether or not the property can accommodate EDU's, the property owner will apply pursuant to Resolution 97-1 to transfer EDU's in the WOCSSA that it already owns.

A check in the amount of \$500.00 associated with this WOCSSA Expansion is enclosed.

If I can provide any further information, please do not hesitate to contact me. Thank you and have a great day.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Hugh Cropper IV', with a stylized flourish at the end.

Hugh Cropper IV

HC/tgb

Enclosures

CC: Kathy Clark
John W. Salm, III, P.E.
Justin Redding

PETITION

WE, THE UNDERSIGNED PROPERTY OWNERS, DO HEREBY PETITION THE WORCESTER COUNTY COMMISSIONERS, PURSUANT TO PUBLIC WORKS ARTICLE SECTION 5-305(B)(1)A, TO EXPAND THE WEST OCEAN CITY SANITARY SERVICE AREA TO INCLUDE OUR PROPERTIES, LISTED BELOW. WE AUTHORIZE COF INVESTMENT GROUP, LLC, ONE OF THE PROPERTY OWNERS, THROUGH HUGH CROPPER, IV, THEIR ATTORNEY, TO PRESENT THIS PETITION TO THE WORCESTER COUNTY COMMISSIONERS.

- 1. COF Investment Group LLC
Tax Map 26, Parcel 274, PAR 2

By: [Signature] Member
Authorized Member

- 2. The Parkel Irrevocable Non Voting Stock
Tax Map 26, Parcel 274, PAR 3B

[Signature] TRUSTEE
Trustee: Mitchell M. Parker

[Signature] TRUSTEE
William C. Mariner, Trustee

[Signature]
Trustee: Thomas K. Coates

- 3. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PAR 1A

By: [Signature]
Authorized Member

- 4. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PARCEL 1-BB

By: [Signature]
Authorized Member

- 5. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PARCEL 1-C

By: [Signature]
Authorized Member

- 6. WEST O.C. PROPERTIES, LLC
Tax Map 26, Parcel 424

By: [Signature]
Authorized Member

7. Ofir Bouzaglo
Tax Map 26, Parcel 291

Ofir Bouzaglo

8. Ayres Creek Family Farm, LLC
Tax Map 26, Parcel 365

By: _____
Authorized Member

9. Diakonia Inc.
Tax Map 26, Parcel 292

By: _____
President

10. Rados 5, Inc.
Tax Map 26, Parcel 290

By: _____
President

11. SKYWATER-OCEAN CITY, LLC
Tax Map 26, Parcel 208, Lot 2

By: _____
Authorized Member

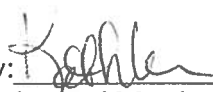
12. STORAGE EQUITY PARTNERS L.P. III
Tax Map 26, Parcel 208, Lot 1

By: _____
General Partner

PETITION

WE, THE UNDERSIGNED PROPERTY OWNERS, DO HEREBY PETITION THE WORCESTER COUNTY COMMISSIONERS, PURSUANT TO PUBLIC WORKS ARTICLE SECTION 5-305(B)(1)A, TO EXPAND THE WEST OCEAN CITY SANITARY SERVICE AREA TO INCLUDE OUR PROPERTIES, LISTED BELOW. WE AUTHORIZE COF INVESTMENT GROUP, LLC, ONE OF THE PROPERTY OWNERS, THROUGH HUGH CROPPER, IV, THEIR ATTORNEY, TO PRESENT THIS PETITION TO THE WORCESTER COUNTY COMMISSIONERS.

- 1. COF Investment Group LLC
Tax Map 26, Parcel 274, PAR 2

By:  Kathleen M. Clark, Member
Authorized Member

- 2. The Parkel Irrevocable Non Voting Stock
Tax Map 26, Parcel 274, PAR 3B

Trustee: Mitchell M. Parker

William C. Mariner, Trustee

Trustee: Thomas K. Coates

- 3. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PAR 1A

By: 
Authorized Member

- 4. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PARCEL 1-BB

By: 
Authorized Member

- 5. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PARCEL 1-C

By: 
Authorized Member

- 6. WEST O.C. PROPERTIES, LLC
Tax Map 26, Parcel 424

By: _____
Authorized Member

7. Ofir Bouzaglo
Tax Map 26, Parcel 291

Ofir Bouzaglo

8. Ayres Creek Family Farm, LLC
Tax Map 26, Parcel 365

By: _____
Authorized Member

9. Diakonia Inc.
Tax Map 26, Parcel 292

By:  _____
President

10. Rados 5, Inc.
Tax Map 26, Parcel 290

By:  _____
President

11. SKYWATER-OCEAN CITY, LLC
Tax Map 26, Parcel 208, Lot 2

By: _____
Authorized Member

12. STORAGE EQUITY PARTNERS L.P. III
Tax Map 26, Parcel 208, Lot 1

By: _____
General Partner

PETITION

WE, THE UNDERSIGNED PROPERTY OWNERS, DO HEREBY PETITION THE WORCESTER COUNTY COMMISSIONERS, PURSUANT TO PUBLIC WORKS ARTICLE SECTION 5-305(B)(1)A, TO EXPAND THE WEST OCEAN CITY SANITARY SERVICE AREA TO INCLUDE OUR PROPERTIES, LISTED BELOW. WE AUTHORIZE COF INVESTMENT GROUP, LLC, ONE OF THE PROPERTY OWNERS, THROUGH HUGH CROPPER, IV, THEIR ATTORNEY, TO PRESENT THIS PETITION TO THE WORCESTER COUNTY COMMISSIONERS.

- 1. COF Investment Group LLC
Tax Map 26, Parcel 274, PAR 2

By: *Stephen M. Clark*, Member
Authorized Member

- 2. The Parkel Irrevocable Non Voting Stock
Tax Map 26, Parcel 274, PAR 3B

[Signature] TRUSTEE
Trustee: Mitchell M. Parker

William C. Mariner TRUSTEE
William C. Mariner, Trustee

[Signature]
Trustee: Thomas K. Coates

- 3. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PAR 1A

By: *[Signature]*
Authorized Member

- 4. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PARCEL 1-BB

By: *[Signature]*
Authorized Member

- 5. BUAS HILL HOUSE, LLC
Tax Map 26, Parcel 274, PARCEL 1-C

By: *[Signature]*
Authorized Member

- 6. WEST O.C. PROPERTIES, LLC
Tax Map 26, Parcel 424

By: _____
Authorized Member

7. Ofir Bouzaglo
Tax Map 26, Parcel 291

Ofir Bouzaglo

8. Ayres Creek Family Farm, LLC
Tax Map 26, Parcel 365

By: _____
Authorized Member

9. Diakonia Inc.
Tax Map 26, Parcel 292

By: _____
President

10. Rados 5, Inc.
Tax Map 26, Parcel 290

By: _____
President

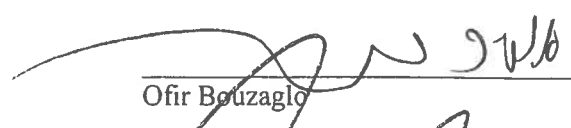
11. SKYWATER-OCEAN CITY, LLC
Tax Map 26, Parcel 208, Lot 2

By: _____
Authorized Member

12. STORAGE EQUITY PARTNERS L.P. III
Tax Map 26, Parcel 208, Lot 1

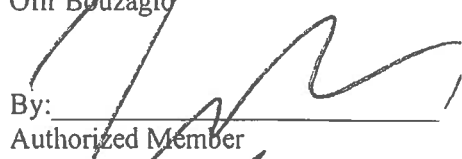
By: _____
General Partner

7. Ofir Bouzaglo
Tax Map 26, Parcel 291



Ofir Bouzaglo

8. Ayres Creek Family Farm, LLC
Tax Map 26, Parcel 365

By: 


Authorized Member

9. Diakonia Inc.
Tax Map 26, Parcel 292

By: 

President

10. Rados 5, Inc.
Tax Map 26, Parcel 290

By: 

President

11. SKYWATER-OCEAN CITY, LLC
Tax Map 26, Parcel 208, Lot 2

By: _____
Authorized Member

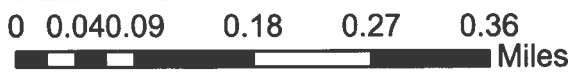
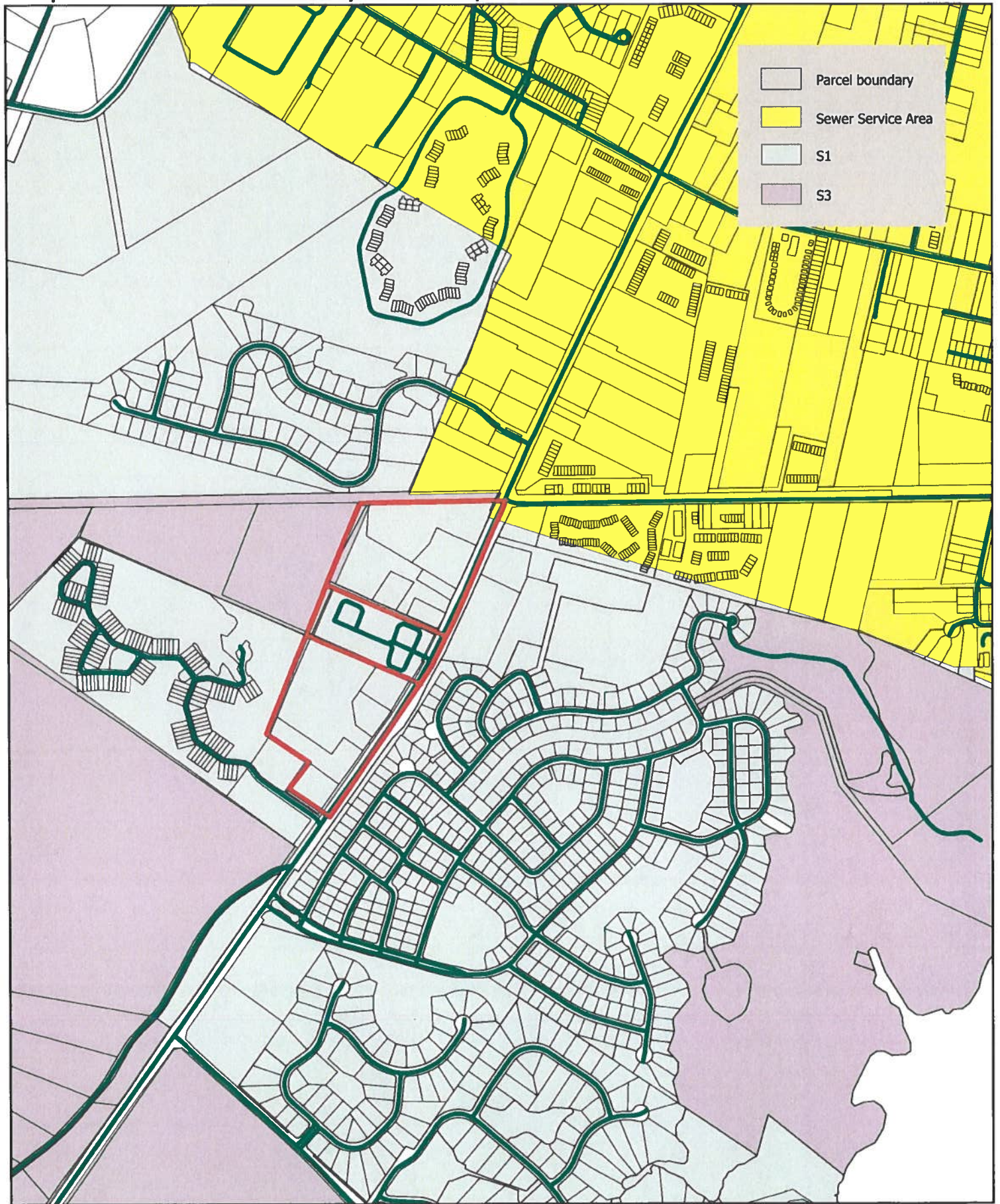
12. STORAGE EQUITY PARTNERS L.P. III
Tax Map 26, Parcel 208, Lot 1

By: _____
General Partner

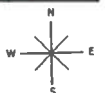
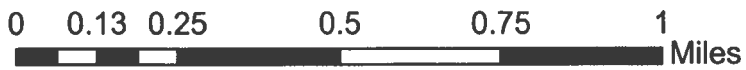
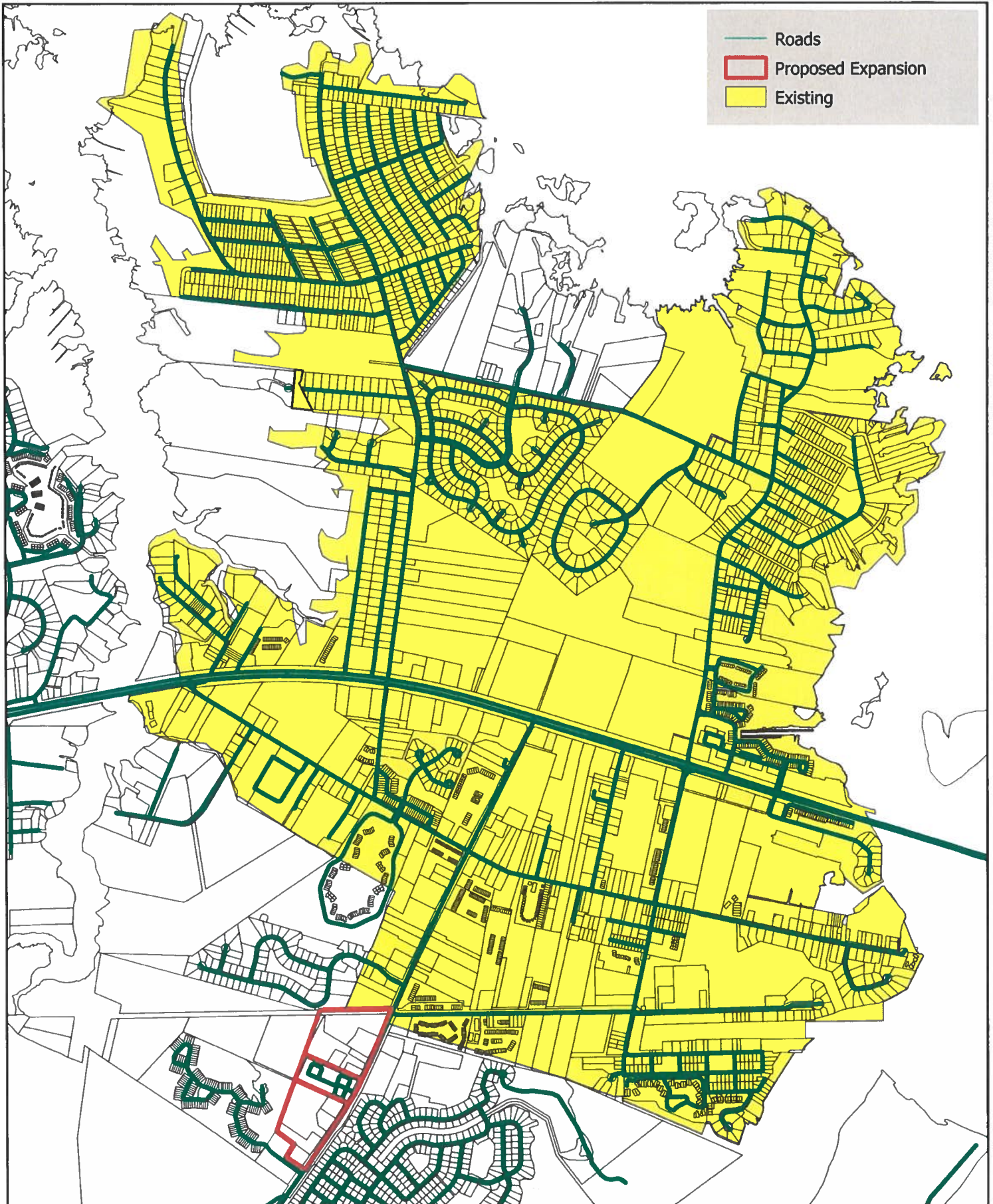
Attachment 2

Maps

Proposed West Ocean City Area Expansion



West Ocean City Sewer Service Area





Worcester County Government
One West Market Street | Room 1103 | Snow Hill MD 21863-1195
(410) 632-1194 | (410) 632-3131 (fax) | admin@co.worcester.md.us | www.co.worcester.md.us

MEMORANDUM

TO: Worcester County Commissioners
FROM: Candace Savage, Deputy Chief Administrative Officer
DATE: October 16, 2025
RE: Draft Resolution to Increase Worcester County Sheriff's Salary

In accordance with attached Worcester County Resolution 22-2, the current salary of the Worcester County Sheriff shall be \$101,200 per year which does not include cost of living increases and has not been updated or addressed since 2022. The Sheriff holds a critical role in ensuring public safety, and it is essential that compensation reflects both the demands of the position and the standards set by comparable counties.

To reflect the degree of responsibility and to adjust for inflation, we are proposing a 16% salary increase for the Sheriff position, raising the current salary from \$101,200 to \$117,392. This adjustment would take effect after the election of November 2026 and apply to the next four-year term.

RESOLUTION NO. 22- 2
RESOLUTION ESTABLISHING SALARY AND ALLOWANCES
FOR THE WORCESTER COUNTY SHERIFF
FOR THE 2022–2026 TERM

Recitals

- A. Maryland Code Cts. & Jud. Proc. § 2-337 provides that the Sheriff of Worcester County must receive an annual salary as set by the County Commissioners of at least \$85,000;
- B. The salaries of elected officials may not be changed during their term in office and must be established for the term before the filing deadline of the term;
- C. 2022 is an election year for all local elected officials and the terms of elected officials will commence after November 2022;

NOW, THEREFORE, BE IT RESOLVED by the County Commissioners of Worcester County, Maryland that the Worcester County Sheriff shall receive such compensation and allowances for the term of office commencing after the election of November 2022 as indicated below:

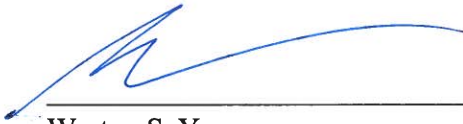
- 1. The Salary of the Sheriff shall be \$101,200 per year.
- 2. The Sheriff may also be entitled to receive an allowance or reimbursement for such other specific extraordinary expenses incurred in the course of his official duties as may have been specifically authorized and approved by the County Commissioners.

AND BE IT FURTHER RESOLVED that this Resolution shall take effect upon the commencement of the 2022–2026 term.

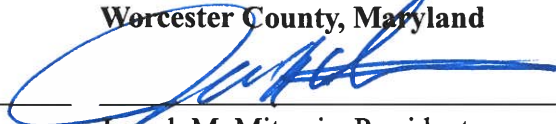
PASSED AND ADOPTED this 11th day of January, 2022:

Attest:

County Commissioners of
Worcester County, Maryland



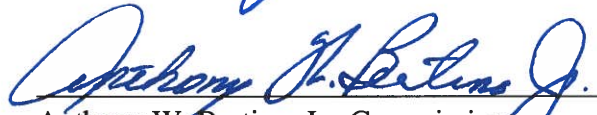
Weston S. Young
Chief Administrative Officer



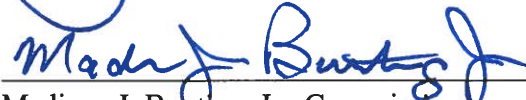
Joseph M. Mitrecic, President



Theodore J. Elder, Vice President



Anthony W. Bertino, Jr., Commissioner



Madison J. Bunting, Jr., Commissioner

ABSENT

James C. Church, Commissioner



Joshua C. Nordstrom, Commissioner



Diana Purnell, Commissioner

RESOLUTION NO. 25-__
RESOLUTION ESTABLISHING SALARY AND ALLOWANCES
FOR THE WORCESTER COUNTY SHERIFF
FOR THE 2026–2030 TERM

Recitals

- A. Maryland Code Cts. & Jud. Proc. § 2-337 provides that the Sheriff of Worcester County must receive an annual salary as set by the County Commissioners of at least \$85,000;
- B. The salaries of elected officials may not be changed during their term in office and must be established for the term before the filing deadline of the term;
- C. 2026 is an election year for all local elected officials and the terms of elected officials will commence after November 2026;

NOW, THEREFORE, BE IT RESOLVED by the County Commissioners of Worcester County, Maryland that the Worcester County Sheriff shall receive such compensation and allowances for the term of office commencing after the election of November 2026 as indicated below:

- 1. The Salary of the Sheriff shall be \$117,392.00 per year.
- 2. The Sheriff may also be entitled to receive an allowance or reimbursement for such other specific extraordinary expenses incurred in the course of his official duties as may have been specifically authorized and approved by the County Commissioners.

AND BE IT FURTHER RESOLVED that this Resolution shall take effect upon the commencement of the 2026–2030 term.

PASSED AND ADOPTED this 21st day of October, 2025:

Attest:

Worcester County Commissioners

Weston S. Young
Chief Administrative Officer

Theodore J. Elder
President

Eric J. Fiori
Vice President

Caryn G. Abbott
Commissioner

Anthony W. Bertino, Jr.
Commissioner

Madison J. Bunting, Jr.
Commissioner

Joseph M. Mitrecic
Commissioner

Diana Purnell
Commissioner

DRAFT

Worcester County Sheriff's Office

Matthew Crisafulli
Sheriff



Nathaniel J. Passwaters
Chief Deputy

October 14, 2025

Mr. Weston Young
Chief Administrative Officer
Worcester County, Maryland

RE: Private School S.R.D. Program Request

Greetings,

On behalf of Sheriff M. Crisafulli, we are respectfully requesting to be placed on the agenda for the Commissioners meeting held on October 21, 2025, This request is regarding to the need for and benefits of assigning School Resource Deputies (SRDs) to private schools, which are identified as Worcester Preparatory School, Seaside Christian Academy, and Most Blessed Sacrament. While public schools in our community have long benefited from the presence of SRDs, private schools are not consistently afforded the same level of safety and security. With the continued increase in school-related safety concerns nationwide, it is critical that we provide a consistent equitable approach to student protection across all educational institutions within Worcester County.

As you know, SRDs provide immediate response capability in the event of an emergency, and their presence would also act as a visible deterrent against any protentional threats. Deputies train regularly in crisis response, deescalation and active-shooter incidents, ensuring a rapid and professional response if needed. As we do for Worcester Public Schools, Deputies assigned to the private schools would proactively work closely with private school administrators educating and identifying any potential risks before they escalate. These Deputies would also serve as role models and liaisons for families and faculty. They would promote trust, mentorship, and guidance, reinforcing a safe learning environment.

Currently, SRDs are primarily assigned to public schools. However, private schools serve a significant portion of our student population and often host community events. These campuses face the same risks as public schools but lack consistent law enforcement presence. A single critical incident at a school can lead to far greater long-term costs in terms of emergency response, liability, and community recovery.

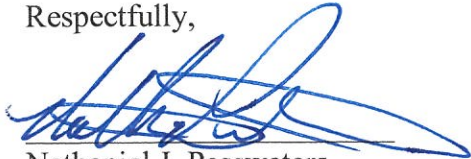
As you know, the Worcester County Sheriff's Office is not immune to the challenges that are happening nationwide regarding recruitment and retention. Although we made considerable progress in the FY26 budget, it still continues to be a challenge retaining and recruiting. Due to various unforeseen circumstances which occurs almost daily, such as, training, court

ITEM 12

appearances, sick leave etc, those schools are backfilled with Deputies on grant overtime. Having four additional Deputies would allow the Sheriff to assign a Deputy to each of the private schools and one additional Deputy to fill in as needed in any of the schools within Worcester County. The first-year cost for each Deputy would be approximately \$210,000.00, which includes salary, vehicle, and all equipment. The total amount to pursue this endeavor would cost approximately \$840,000.00 for the first year. Sheriff Crisafulli and I certainly realize that this request is outside of the budget development period, however, by approving this expenditure prior to January, would allow ample to time to ensure that personnel would be available to start working in the private schools, September of 2026.

In conclusion, Sheriff Crisafulli is recommending that our agency formally extend School Resource Deputy assignments to private schools within Worcester County. All students, regardless of whether they attend public or private schools, deserve a safe and secure educational environment. Expanding the School Resource Deputy program to private schools will strengthen community safety, foster positive relationships, and provide consistent protection for our youth. As always, Sheriff Crisafulli and the members of the Worcester County Sheriff's Office appreciate the commitment of your staff and the Worcester County Commissioners to the Sheriff's Office and the citizens of Worcester County.

Respectfully,



Nathaniel J. Passwaters
Chief Deputy
Worcester County Sheriff's Office



Worcester County Recreation & Parks
6030 Public Landing Road | Snow Hill MD 21863 | (410) 632-2144 | www.PlayMarylandsCoast.org

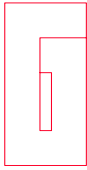
MEMORANDUM

TO: Weston S. Young, Chief Administrative Officer
Candace Savage, Deputy Chief Administrative Officer
FROM: Kelly Rados, Director of Recreation & Parks
Jacob Stephen, Deputy Director of Recreation & Parks
DATE: October 14, 2025
SUBJECT: Worcester County Recreation Center – HVAC Engineering

Recreation & Parks is requesting permission to move forward with the Gipe Associates for mechanical and electrical engineering services of the HVAC systems located at the Worcester County Recreation Center. Gipe Associates has been used for all evaluations and studies so far and we would recommend having them complete the remaining design and construction documents.

Attached you will find the proposal from Gipe Associates which includes all documents and contract administration for the construction and replacement of the HVAC systems. Also, attached you will find the analysis update from June 2025, explaining the recommendations and options to replace the HVAC systems. The recommendation from Gipe Associates is option 4A, Replace the existing gas-fired HVAC equipment serving the gym with new heat pump and gas heating HVAC Equipment. The HVAC equipment currently serving the building was installed in 2005, in the original construction phase of the Recreation Center and had an estimated useful life of 15-18 years. Funding for this project was allocated in the FY24 assigned funds under project code 'Rec Ctr HVAC' and currently has a remaining balance of \$1,493,905.

cc: Dallas Baker, Director of Public Works
Michael Hutchinson, Maintenance Superintendent



Gipe Associates, Inc.
CONSULTING ENGINEERS

PB. #: 25426
Easton Office

August 29, 2025

Mr. Vincent Arillo
Worcester County Government
1 West Market Street, Room 1103
Snow Hill, Maryland 21863

Project: Worcester County Recreation Center – Multipurpose Space – HVAC Replacement
Reference: Mechanical and Electrical Engineering/CA Services Fee Proposal Letter

Dear Vincent:

We are pleased to submit our fee proposal for the performance of mechanical and electrical engineering services on the above referenced project. The project scope will be based on Recommendation 4A from our HVAC Study Report dated June 5, 2025. In addition to Recommendation 4A discussed in the study, we will provide motorized breakers for the 2014 additional electrical loads. This scope of work addresses the systems in the multi-purpose space.

The scope of our work would include mechanical (including heating, ventilation, and air conditioning), electrical (including power, interior lighting, site lighting, fire alarm, telecommunications, security), plumbing, and fire protection system design and contract administration for the Worcester County Recreation Center – Multipurpose Space – HVAC Replacement Project located in Snow Hill, Maryland.

The construction budget is approximately \$1,478,891.00 for the HVAC equipment and \$18,000.00 for the motorized breakers.

The Mechanical and Electrical Systems design are based on a multi-purpose facility of approximately 37,000 square feet.

Design phase services shall include the following:

1. Field investigations which may be necessary for the mechanical and electrical phases of work. Investigations will be based on visual observations and review of existing building drawings provided by the Owner.
2. Preparation of the design plans and specifications for the mechanical and electrical phases of work. Specifications will be prepared utilizing Gipe standard office specifications and format.
3. Demolition and new work drawings in AutoCAD format. Our fee also assumes that electronic backgrounds in shall be provided for our use in the preparation of the Construction Documents.

1220 East Joppa Road
Suite 223
Towson, Maryland 21286
TEL 410.832.2420
FAX 410.832.2418

8719 Brooks Drive
Post Office Box 1147
Easton, Maryland 21601
TEL 410.822.8688
FAX 410.822.6306

4. Front End/Bidding Documents.
5. Preparation of an estimate of probable cost associated with the work we design.

Bidding phase services shall include the following:

1. Prepare addendums if needed during the bidding phase.
2. Respond to Contractor RFIs during the bidding phase.
3. Review of bids for the portion of work we design.
4. Preparation of Owner/Contractor Agreement.

Contract Administration phase services shall include the following:

1. Review of shop drawing submittals for the portion of work we design. We shall review and take appropriate action on shop drawings, product data, samples, and other submittals required by the Contract Documents. Such review shall be only for general conformance with the design concept of the project and general compliance with the information given in the Contract Documents and does not include review of quantities, dimensions, weights or gauges, fabrication processes, sequence of work, construction methods, coordination with the work of other trades, or construction safety precautions, all of which are the responsibility of the Contractor. Review of submittals shall be conducted with reasonable promptness consistent with sound professional practice. Review of a specific item shall not indicate acceptance of an assembly of which the item is a component. We shall not be required to review and shall not be responsible for any deviations from the Contract Documents not clearly noted by the Contractor, nor shall we be required to review partial submissions or those for which submissions for correlated items have not been received. We will be entitled to additional compensation for review of submittals which require in excess of two submissions.
2. Consultation during the construction phase concerning the work we design.
3. Periodic observation of the construction work as related to M/E/P work. This would include an appropriate amount of site visits during the construction phase inclusive of pre-construction meeting, pre-installation meetings, and site visits for project punch-out/close-out.
4. Review Applications for Payment related to M/E/P work.
5. Perform a substantial completion inspection of the M/E/P work
6. Create a Certificate of Substantial Completion for the project.
7. Perform final completion inspection of the M/E/P work.

8. Review of close-out documents, test/balance reports, and O&M manuals.

Our fee for the work as outlined above would be for the following lump sum amounts:

Schematic Design Phase	Five Percent (5%)	\$4,550.00
Design Development Phase	Twenty-Five Percent (25%)	\$22,750.00
Construction Document Phase	Fifty-Five Percent (55%)	\$50,050.00
Bidding and Negotiation Phase	Two Percent (2%)	\$1,820.00
Contract Administration Phase	Thirteen Percent (13%)	\$11,830.00
Lump Sum Fee	One Hundred Percent (100%)	\$91,000.00

In addition to our above fee, we would be reimbursed for direct out-of-pocket expenses plus 10%, for expenses such as travel, outside reproductions, overnight/messenger deliveries, include in-house printing per drawing at \$0.60 each for 18 x 24, \$1.20 each for 24 x 36, \$1.75 each for 30 x 42, plotting at \$5.00 per Plot, 8-1/2 x 11 copy-work at \$0.10 per copy, and 11 x 17 copy-work at \$0.15 per copy. We estimate our reimbursables would not exceed **\$2,000.00**. If we approach this estimated fee, we would advise you of any expected additional cost and obtain approval before proceeding.

If the basic services covered by this Agreement have not been completed within eighteen (18) months of the date hereof, through no fault of the consultant for this part of the project, extension of the consultant services beyond that time shall be considered additional services and Gipe Associates, Inc. shall be compensated based on the hourly rates listed under extra services.

The following items are exclusions of the M/E/P scope of services. If it is determined that any of the following exclusions are needed or desired, then the design of the same shall be treated as additional services and shall either be billed at a mutually agreed upon lump sum or on a flat hourly basis at the following billing rates which include personnel salaries, overhead and profit. In addition, we would be reimbursed for direct out-of-pocket expenses.

<i>Role</i>	<i>Rate</i>
Principals	\$265.00/hour
Project Managers	\$175.00/hour
Project Engineers	\$125.00/hour
Design Engineers	\$90.00/hour
Clerical	\$75.00/hour

- A. Alternates:
Alternate designs and bids are not included in the Engineer’s basic scope of services.
- B. Audio/Video Systems:
Audio and video systems design is not included in our scope of services.
- C. BIM:
Building Information Modeling (BIM) is not included in Gipe Associates, Inc.’s Basic fee.

- D. Commissioning:
The basic service does not include commissioning. However, we will provide commissioning specifications.
- E. Communications Systems:
Telephone, data, cable television, media distribution, and similar communications systems design is not included in our scope of services.
- F. Conformed Set:
Gipe Associates Inc.'s basic fee does not include providing a conformed set of documents. A conformed set generally consists of an update of the bid set documents to include all addendums and/or value engineering items.
- G. Contract Administration Services beyond the following limits:
1. Up to two (2) reviews of each Shop Drawing, Product Data item.
 2. Up to one (1) inspection for Mechanical/Electrical portions of the Work to determine whether such portions of the work are substantially complete in accordance with the requirements of the Contract Documents.
 3. Up to one (1) inspection for Mechanical/Electrical portions of the Work to determine final completion.
- H. Cost Estimating:
Cost estimating is included in Gipe Associates, Inc.'s scope of services and fee.
- I. Destructive investigations and investigations of hidden conditions is not included in our scope of services.
- J. Energy Modeling:
Energy Modeling is not included in our scope of services since this was performed in our HVAC Study dated June 5, 2025.
- K. Extensive survey and verification of as-built conditions is not included in our scope of services.
- L. Fire Alarm Systems:
Fire Alarm system design related to duct smoke detectors only is included in our scope of services.
- M. Fire Pump/Fire Protection System:
The scope of services shall not include the design of a fire pump or fire protection system.
- N. Front End/Bidding Documents:
The responsibility for overall project coordination, preparation of bidding requirements, preparation of General Conditions, Supplemental Conditions, bid forms, etc. and preparation of Division 01 shall be the responsibility of Gipe Associates, Inc.

- O. **Future Additions:**
The Engineer's scope of services does not include the design of mechanical, electrical, plumbing, fire protection system design for future additions unless otherwise agreed upon in writing.
- P. **Hazardous Materials:**
The Engineer shall not be responsible for any known or unknown hazardous materials, asbestos, on or under the existing site including underground tank identification and removal, or environmentally related deficiencies in the building related to existing excess moisture. If hazardous materials, underground tanks, asbestos, or environmental deficiencies are encountered, no part of its examination, removal or confinement shall fall within the services of this Contract. Owner shall defer to the services of a hazardous material, underground tanks specialist and/or industrial hygienist if needed. If Engineer knows or learns of hazardous materials, underground tanks, or environmentally related deficiencies on-site, he will notify Owner of such materials.
- Q. **LEED:**
The LEED Green Building Rating System, Version 4.0, Leadership in Energy and Environment Design, published by the US Green Building Council will be excluded from this design. Should the Owner desire to pursue "Green Building Design", then Gipe Associates, Inc. reserves the right to renegotiate our fee.
- R. **Life Cycle Cost Analysis:**
Due to Life Cycle Cost Analysis already being performed in our HVAC Study dated June 5, 2025, Life Cycle Cost Analysis shall not be performed related to mechanical system selection.
- S. **Lighting Design:**
The scope of services shall not include the design of lighting systems, including luminaire selection, lighting calculations, lighting controls, etc.
- T. **Modular/Portable Facilities:**
Gipe Associates, Inc.'s fee and scope does not include MEP work associated with Modular/Portable facilities.
- U. **Phasing:**
The Engineer's scope of services includes the quantity of inspections. Should the project require phasing necessitating the need for multiple substantial completion and final completion inspections, the Owner shall compensate the Engineer hourly.
- V. **Preliminary studies, reports, or feasibility analysis are not included in our scope of services.**
- W. **Preparation of Operation and Maintenance Manuals:**
The preparation of Operation and Maintenance Manuals is the responsibility of the Contractor and is not in our scope of services. However, we will review the Operation and Maintenance Manuals.

- X. Record Drawings:
The drawing of Record Drawings is included in Gipe Associates, Inc.'s scope of services and fee. Preparation of record drawings shall be based on Contractor's red-line markups. Upon completion of the construction, we shall compile for, and deliver to, the Owner a set of Record Drawings conforming to the construction records of the Contractor as provided to us. This set of documents shall consist of corrected plans showing the reported location of the Work. The information submitted by the Contractor and incorporated by us into the Record Drawings will be assumed to be reliable, and Gipe Associates will not be responsible for the accuracy of this information, nor the any errors or omissions which may appear in the Record Drawings as a result. We will deliver these drawings in AutoCAD (.dwg) format and PDF format via electronic file transfer and/or electronic media, e.g. USB flash drive.
- Y. Reproduction of plans, specifications, or other contract documents for review or for bidding purposes unless covered under reimbursable expenses is not included in our scope of services.
- Z. Security Systems:
Security systems including but not limited to access control, intrusion detection, and video surveillance systems design is not included in our scope of services.
- AA. Site/Civil Engineering:
The scope of services shall not include civil engineering or site work related to mechanical/electrical systems, including but not limited to grading, fencing, etc. If it is determined that civil engineering is needed or desired, then civil engineering services shall be treated as additional services and Gipe Associates, Inc. shall engage a civil engineer for providing such additional services.
- BB. Site Lighting Design:
The scope of services shall not include the design of site lighting systems, including luminaire selection, lighting calculations, pole base design, etc.
- CC. Structural Engineering:
The scope of services shall not include structural engineering. If it is determined that structural engineering is needed or desired, then structural engineering services shall be treated as additional services and Gipe Associates shall engage a structural engineer for providing such additional services.
- DD. State/Government Document Submissions:
Document Submissions to the State and/or Government entities is not included in Gipe Associates, Inc.'s scope of services or fee.
- EE. Substitutions:
The review of Contractor initiated and proposed substitutions during the Bidding Phase or Contract Administration Phase shall not be included in Engineer's basic services. Should the Owner request in writing that the Engineer review a proposed substitution, then the Engineer shall be compensated hourly in accordance with the rates as set forth. Engineer shall record time required by Engineer and Engineer's consultants in evaluating substitution proposed or submitted

by Contractor. The Supplementary Conditions, if prepared by the Engineer, shall require the Contractor to reimburse Owner for Engineering and Engineer's consultants for evaluating such proposed substituted item.

- FF. Tax/Utility Rebate Assistance:
Gipe Associates, Inc.'s basic fee does not include providing assistance in obtaining tax credits or utility rebates.
- GG. Temporary Power:
The scope of services shall not include the design of a temporary power supply system to provide temporary power during planned outages for tie-ins or to accommodate phasing.
- HH. Utility Locating:
Utility locating is not included in our scope of services. All underground utilities shall be located by the Owner. Utility locations shall be provided to Gipe Associates, Inc. in a timely manner.
- II. Utility Service Applications:
We include design coordination with the utilities for gas and electric services (if required) including submitting the initial service applications for said services during design. We are not responsible for the utility's lack of response or delayed response to service requests or costs associated with any of their delays in responding in a timely fashion. Once the project goes to construction, it is the Contractor's responsibility, not Gipe Associates', to follow-up with the utility companies to coordinate the timely installation of said utilities.
- JJ. Value Engineering:
Value engineering and/or value management is not included in the Engineer's scope of services.
- KK. Water Meters:
The scope of services does not include the design or specification of a building water meter which shall be the responsibility of the Civil Engineer.

Fees would be due and payable monthly based on our invoices showing the percentage of work completed. Gipe Associates, Inc. reserves the right to stop work on this project if payment is not received within 45 days of billing. Payments not received within 45 days of invoice date would be subject to an additional charge of 1-½ percent per month (18% per annum).

Additional site visits during the construction phase and punch-out/close-out would be performed on call and at the rate of \$500.00 per person per trip, plus reimbursable expenses.

This Agreement may be terminated by either party after giving thirty days written notice of the intent to terminate to the other party and by payment of the balance due to Gipe Associates, Inc. This balance will be arrived at by an estimate by Gipe Associates, Inc. of the percentage completion of the project at the time of termination plus any reimbursable expense due to termination.

If you are not a corporation and subsequent to the making of this Agreement you incorporate your business with or without the knowledge of Gipe Associates, Inc., you agree to be jointly and severally liable to Gipe

Associates, Inc. for any indebtedness incurred by or transferred to such corporation. If you are a corporation or partnership and you are not a general partner, your signing this letter warrants that you are duly authorized to do so and you agree to be jointly and severally liable with the corporation or partnership for any indebtedness owing by them to Gipe Associates, Inc.

In the event that your account with Gipe Associates, Inc. becomes delinquent and past due, and Gipe Associates, Inc. engages the services of an attorney to collect the account, then, subject to the applicable law, you and any person jointly and severally liable with you, agree to reimburse to Gipe Associates, Inc. attorneys' fees in an amount equal to 20% of the amount due, whether or not litigation is commenced and court costs.

Ownership of plans, maps, drawings and all other documents, including original drawings, field notes and data are to remain the property of Gipe Associates, Inc. as instruments of service. Upon payment of all services billed, the Owner may at his expense obtain a set of reproducible record prints and drawings and copies of other documents in consideration of which the Owner will use them solely in connection with this project and no other project.

Neither this contract nor any rights or duties hereunder may be assigned or delegated to any other person or entity without the express written consent of Gipe Associates, Inc.

We appreciate the opportunity of submitting this proposal. If these terms are agreeable, please sign and return one copy for our files.

Sincerely,

GIPE ASSOCIATES, INC.



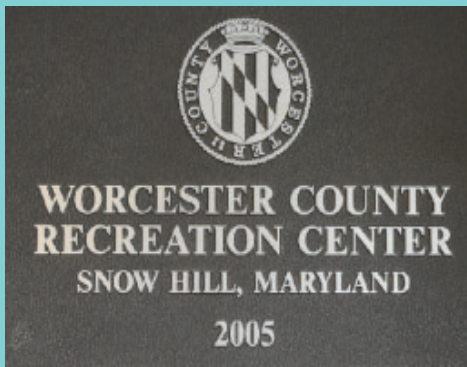
David R. Hoffman, P.E., LEED AP
President

DRH/pvm

WORCESTER COUNTY GOVERNMENT

Accepted: _____

Date: _____



**WORCESTER COUNTY RECREATION CENTER
HVAC SYSTEMS ANALYSIS UPDATE
JUNE 5, 2025**



Gipe Associates Inc.
Consulting Engineers
8719 Brooks Drive
Easton, Maryland 21601
Phone (410) 822-8688
Fax (410) 822-6306

PROJECT NO.: 24065

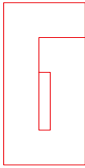


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- Appendix A: Ground Mounted Rooftop Unit Submittal Data
- Appendix B: Original Mechanical Specifications
- Appendix C: Original Test and Balance Report
- Appendix D: Ventilation Calculations
- Appendix E: Heating and Cooling Load Coil Calculations
- Appendix F: Life Cycle Cost Analysis
- Appendix G: Construction Cost Estimates

June 5, 2025

Mr. William Bradshaw, P.E. Building Administrator / County Engineer
Worcester County Government
1 West Market Street
Snow Hill, MD 21863

Project: Worcester County Recreation Center – Snow Hill, MD
Reference: HVAC Systems Analysis - UPDATE

Dear Bill:

Thank you for the opportunity to assist you with evaluating the heating, ventilating, and air conditioning (HVAC) systems and supporting electrical systems at the Worcester County Recreation Center Building (Approximately 54,000 square feet) located in Snow Hill, Maryland. This report is an update to a study performed in 2018 related to the ground mounted packaged roof units #1 and #2 that serve the Multi-Purpose portion of the building.

The following report has been expanded to review all of the HVAC systems serving the Worcester County Recreation Center and supporting electrical systems. A focus of the study will be to review eliminating the use of fossil fuels on-site to comply with the future requirements of the Maryland Building Energy Performance Standard.

INTRODUCTION

The Worcester County Recreation Center was originally constructed circa 2004. Since the original construction there have been three additions to the facility.

1. Addition #1: 2007 Storage Room
2. Addition #2: 2014 Fitness Center / Multi-purpose Area
3. Addition #3: 2023 Storage Room

A 60 KW Solar Photovoltaic system was installed circa 2012 and connected to the buildings electrical system.

Figure #1 indicates the Worcester Recreation Center additions and areas served by the HVAC (heating, ventilating and air conditioning) equipment.

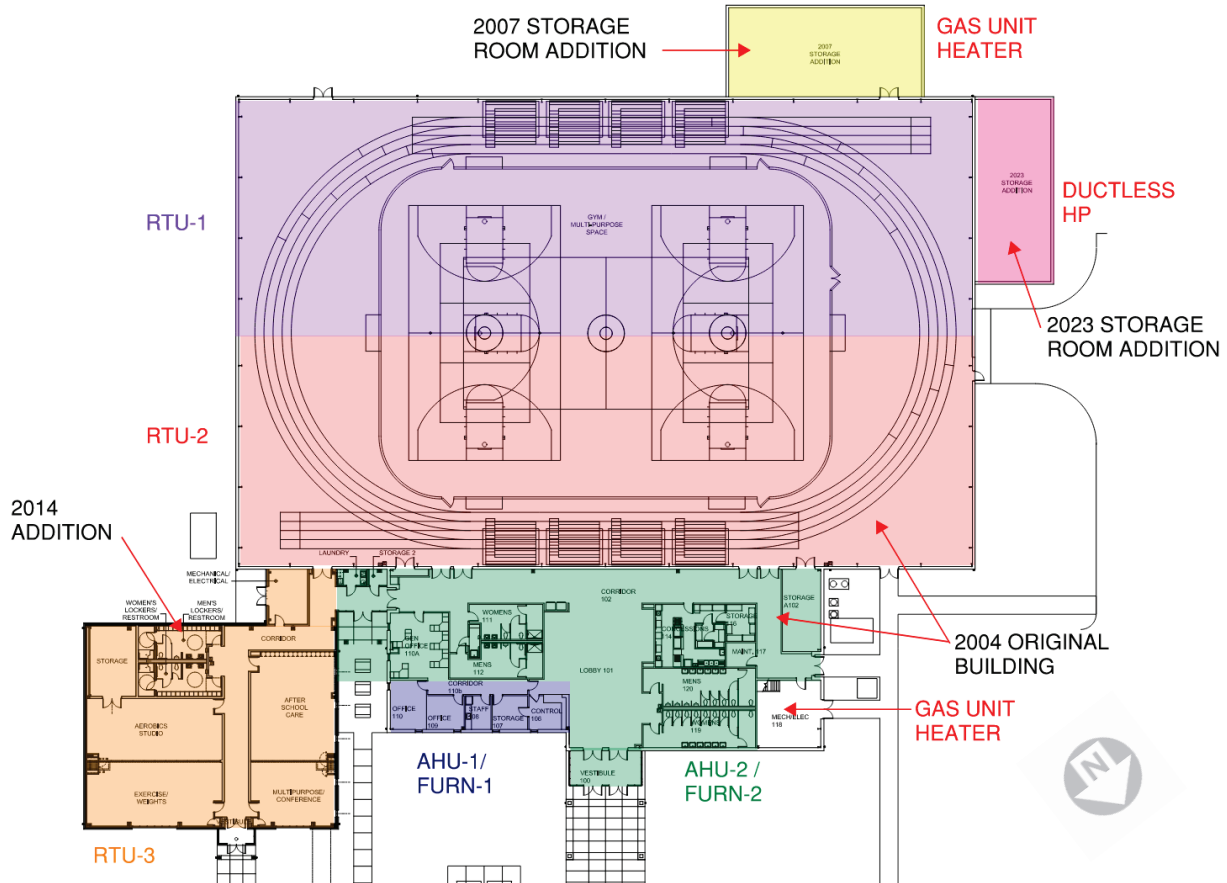


Figure #1 – Building Keyplan and HVAC Zoning Diagram (Not to Scale)

The major HVAC systems serving the Worcester Recreation center are as follows:

1. RTU-1 & RTU-2: Packaged grade mounted (rooftop type) air handling units with gas heat, direct expansion (DX) cooling and enthalpy wheel.
2. AHU-1/Furnace-1 & AHU-2/Furnace-2: Split system air handling units with gas furnaces for heating and remote condensing units for DX cooling.
3. Variable Volume and Temperature (VVT) Dampers are provided for AHU-1 to provide individual zone temperature control.
4. ERV-1: Energy recovery ventilator serving AHU-1 and AHU-2 to provide tempered fresh air ventilation.
5. RTU-3: Packaged grade mounted (rooftop type) variable air volume air handling unit with series mounted VAV boxes with electric re-heat coils.
6. ERV-2: Energy recovery ventilator serving RTU-3 to provide tempered fresh air ventilation
7. Miscellaneous Gas unit heaters and Ductless Split Systems for Mech. Rooms and Storage Rooms.

The original HVAC systems were installed in 2004 and are approximately 21 years old. All of the existing cooling systems contain R-22 refrigerant, which is currently being phased out of use in refrigerant systems in the United States due to ozone depletion in the atmosphere. Therefore, due to the age and condition of

the existing HVAC systems and type of refrigerant in the installed cooling systems, the time is ideal to consider either equipment upgrades or system replacements.

The following report will review the existing HVAC equipment, provide ventilation calculation analysis, cooling/heating load calculation analysis and evaluate options for improving the HVAC systems based on the results of our analysis. First, we will spend some time evaluating and describing the existing HVAC systems.

EXISTING HVAC SYSTEMS

As shown, the Multi-Purpose portion of the Worcester Recreation Center is served by the following types of equipment:

TAG	EQUIPMENT TYPE	DESCRIPTION	REFRIGERANT TYPE
RTU #1	Packaged Ground Mounted Rooftop Unit	Constant volume rooftop unit with direct expansion cooling and propane gas heat	R-22
RTU #2	Packaged Ground Mounted Rooftop Unit	Constant volume rooftop unit with Direct Expansion cooling and propane gas heat	R-22

Table #1 – Existing HVAC System Types

EXISTING GROUND MOUNTED PACKAGED ROOFTOP UNITS 1 & 2

The majority of the Worcester County Recreation Center is heated and cooled with packaged ground mounted rooftop HVAC units located outside on grade as shown in Photograph #1 and #2.

Both Rooftop units are direct expansion rooftop units utilizing R-22 refrigerant for cooling and propane gas furnaces for heating. As shown in Figure #1 above, each unit serves half of the gym/multi-purpose space. We were able to obtain a portion of the original submittal data and the same has been included in Appendix A.



Photograph #1 – Existing RTU #1



Photograph #2 – Existing RTU #2

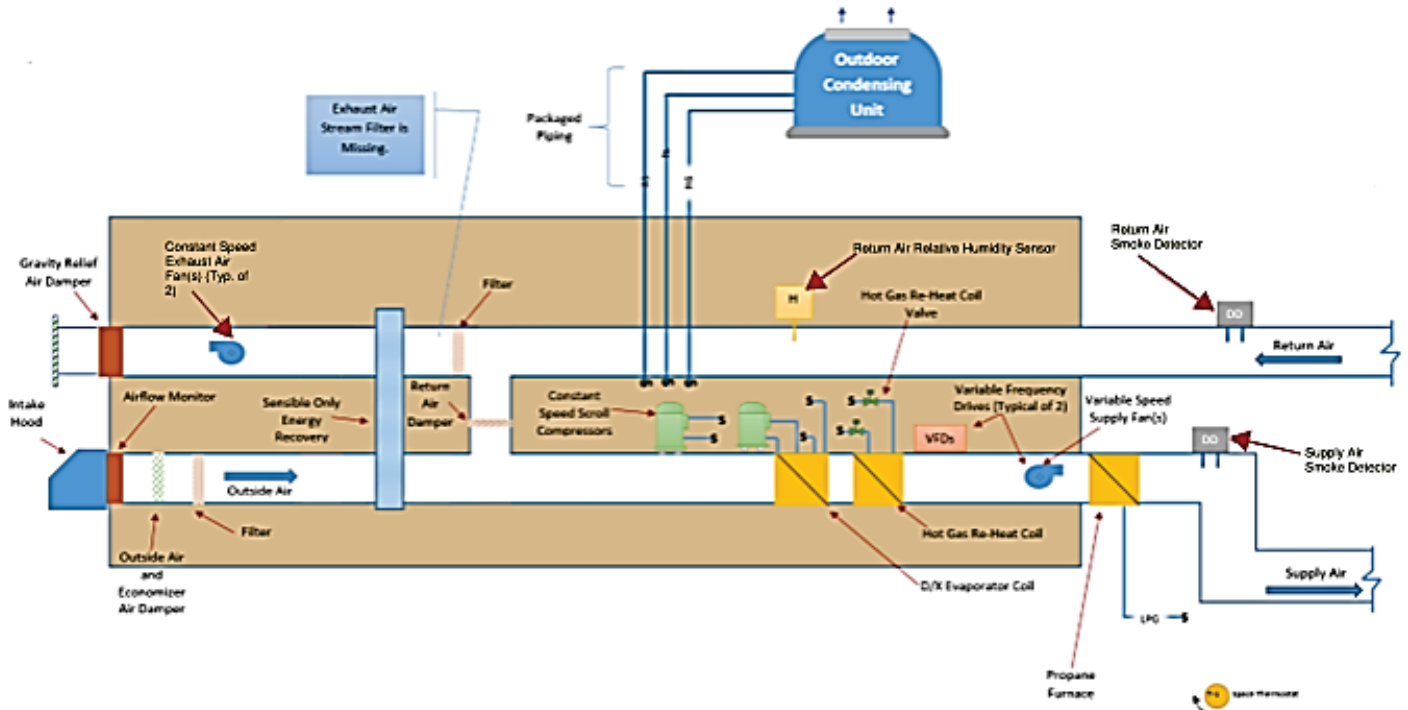


Figure #2 – Typical Ground Mounted Packaged Rooftop Unit Schematic

The existing units have the following characteristics/capacity data as shown in Table #2:

UNIT	MODEL #	SERIAL #	AIR FLOW RATE (PER TAB REPORT)	NOMINAL COOLING CAPACITY	NOMINAL HEATING CAPACITY	OUTSIDE AIR FLOW RATE
RTU#1	RN04030AB04-72	200408-ANGV00467	15,000 cfm	40 tons	437,000 btu/hr	5,150 cfm
RTU #2	RN05030AB04-72	200408-ANGW00468	14,000 cfm	50 tons	437,000 btu/hr	5,150 cfm

Table #2 – RTU Data

In addition as shown in Figure #2, both ground mounted rooftop units include the following components:

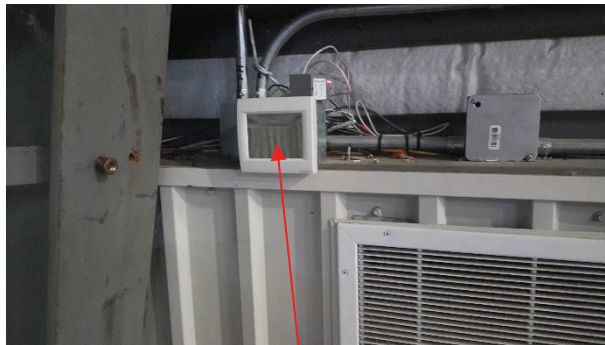
1. Economizer damper with enthalpy control.
2. Multiple Power Exhaust Air Fans.
3. Duct Smoke Detectors (supply and return duct streams).
4. Multiple Scroll Compressors.
5. Multiple Condenser Fans.
6. Multiple Supply Air Fans with Variable Frequency Drives.
7. Hot gas re-heat coils and return air humidity sensors.
8. Outside air/return air dampers.
9. Sensible heat energy recovery wheels.
10. Programmable thermostats.

11. Ductsox for air distribution.

Next, we will review items we noted during our field survey.

The existing thermostats are typical Honeywell touch screen Residential Type thermostats. As shown in Photograph #3, the thermostats are not protected with guards. We would highly recommend that wire guards be installed on the thermostats to protect the same against projectiles such as balls from hitting and damaging the same.

In addition, the existing thermostats are standalone thermostats and we would highly recommend that the HVAC equipment in the Worcester County Recreational Center be connected to a web based direct digital control system to allow remote monitoring, scheduling, and set point adjustment. Next, we will discuss the sequence of operation.



Photograph #3 – Existing Space Thermostats

The original contract documents did not include a control diagram. However, the specifications did include a sequence of operation which has been copied below for convenience:

A. VVT System

1. *Provide control panel for a space temperature zoning system that will allow for automatic system changeover from heating to cooling and the reverse from any zone. Control shall be for two stages heat and two stages cooling. Purge timer between heating and cooling changeovers shall be adjustable from two to three and a half minutes. Auto changeover time shall be field selected as five or ten minutes. LED lights shall indicate system operation and damper movement.*

B. Control Sequence of Operation:

1. *Control sequences of operation shall be as follows:*
 - i. *Multipurpose/Gym: Space thermostat program function shall energize RTU-1 and 2 in stages. First stage heat or cool shall energize RTU-1, second stage heat or cool shall energize RTU-2. Space temperature setpoints shall be 68°F heating*

(adjustable) and 80°F cooling (adjustable). RTU's shall control their heating, cooling, dehumidification, and outdoor air functions by their factory furnished controls. When in heating mode, ceiling fans shall be energized. Provide space CO2 sensor to energize RTU outdoor air dampers to maintain setpoint (1000 ppm, adjustable).

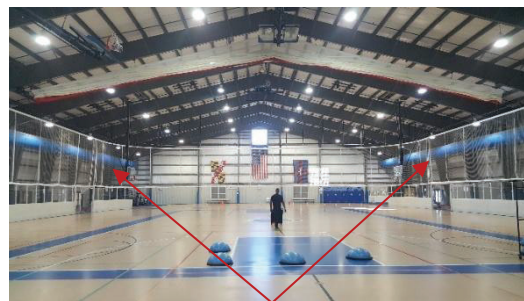
As indicated, the sequence of operation is very minimal and reviewing the same indicates the existing ground mounted packaged rooftop units have the following automatic temperature control strategies:

1. Staged capacity control for cooling using the rooftop units in a lead/lag fashion.
2. 2 Stages minimum for heating/cooling at each unit.
3. Active Dehumidification utilizing hot gas re-heat.
4. Demand Controlled Ventilation
5. Automatic changeover from cooling to heating and vice versa.
6. Economizer cooling.

In addition, as indicated in the control sequence the space temperature setpoints in heating/cooling were indicated to be 68°F and 80°F, respectively. These setpoints are extremely low for heating and extremely high for cooling. In fact, the cooling set point of 80°F is so high that proper relative humidity control was likely a problem with the existing units due to poor part load performance when trying to maintain such a high temperature in cooling mode.

Furthermore, while we were onsite performing our survey we did **not** find the units properly staging in a lead/lag fashion. There were only about 25 people in the track area of the Multipurpose space and both rooftop units were operating. Due to the size of the space and potential high occupancy load we would recommend that a single zone VAV control strategy be implemented for the Multi-Purpose portion of the building. We will further discuss this strategy later in the report.

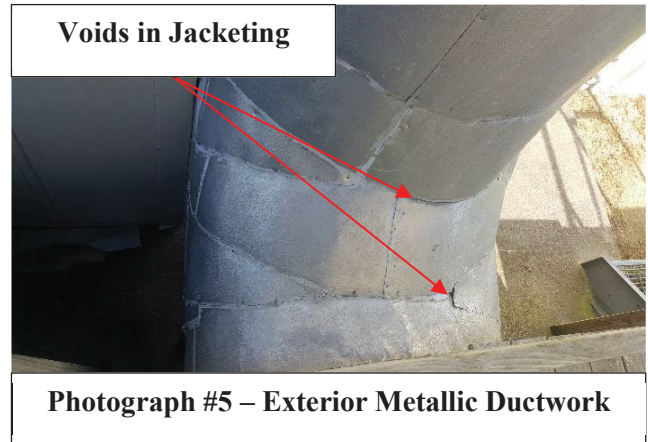
As previously mentioned, the interior ductwork is a non-metallic duct system as shown in Photograph #4. The non-metallic ductwork was manufactured by ductsox and we feel the same is in good shape and was a very good choice for the application. We find the existing ductsox to be quiet and we did not notice any condensation, so regardless of what HVAC options are considered, we would recommend re-use of the same and if additional ductwork is required incorporate additional non-metallic ductwork.



Photograph #4 – Non-Metallic Duct System with Blue DuctSox

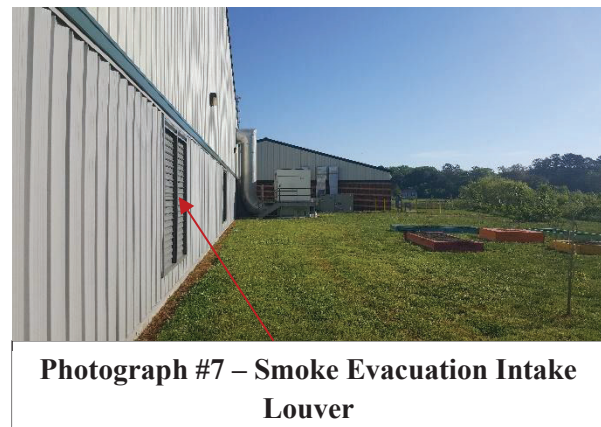
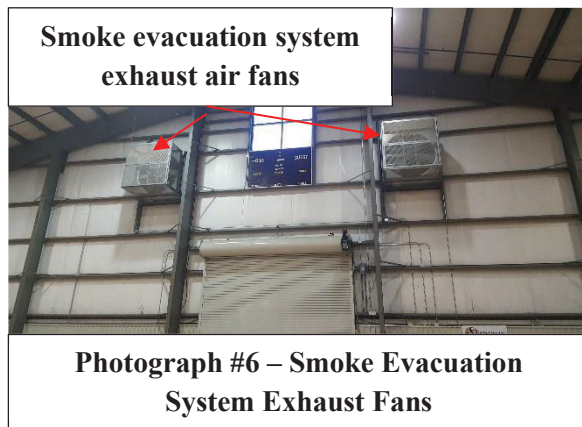
The exterior ductwork is metallic ductwork with an exterior insulation system as shown in Photograph #5.

As shown in Photograph #5, the exterior ductwork does have a metallic jacket, but the same has numerous openings in the supply and return ductwork. We would recommend that all tears, voids, and openings in the exterior duct jacketing be repaired and sealed to prevent the entry of water.



SMOKE EVACUATION SYSTEM

While we are discussing the air distribution system we thought we should also mention the smoke evacuation system. The smoke evacuation system is not directly related to the ground mounted rooftop units. However, as shown in Photograph #6 and #7, the smoke evacuation exhaust fan and intake louvers are very large creating a path for infiltration at the dampers. We would recommend that these dampers include seals on the damper blades to reduce leakage which would impact the facilities climate control systems and operating costs.



Next, we will review specific ground mounted packaged rooftop unit deficiencies.

Due to the ground mounted packaged rooftop units #1 and #2 being the primary focus of our study, we thought it prudent to dedicate a section of our report just to rooftop unit deficiencies noted during our field work as follows:

Condenser Coil Fins

As shown in Photograph #8, the existing condenser coil fins on both units are damaged beyond repair.

It is our understanding that the condenser coil fins were accidentally cleaned with a caustic cleaner that was not intended to be left on the fins for a prolonged time, but was accidentally applied and remained on the fins for too long resulting in complete deterioration of the fins. We just “touched” the fins during our survey and the same crumbled immediately. The condenser coils and all tubing would need to be replaced completely to provide proper heat transfer during the cooling season. This is the most severe deficiency and the highest cost deficiency and the only way to correct the same would be evacuation of the refrigerant, replacement of all condenser coil parts and re-testing of the same. Due to the age of the existing equipment and difficulty in performing this corrective action, we recommend the units be replaced in their entirety.



Photograph #8 – Damaged Condenser Coil Fins

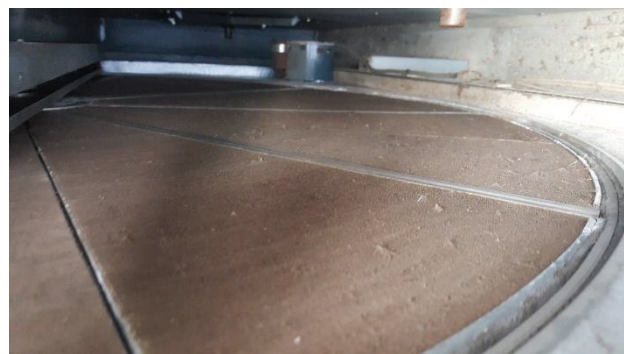
Energy Recovery Wheels

The original drawings do not indicate energy recovery wheels on the schedules. We do not have the specifications so we could not verify if the existing units were specified with energy recovery wheels, nonetheless, both ground mounted packaged rooftop units do contain sensible only energy recovery wheels as indicated in the original submittal (Appendix A). The original sequence of operation does not mention the control of the same. However, we found that at both ground mounted rooftop units the sensible only energy recovery wheels were “off” and the exhaust fans were “off”. We suspect the reasons for the sensible only energy recovery wheels being turned “off” are as follows:

1. The sensible energy recovery wheels were found to be severely fouled preventing proper energy recovery.
2. The inlet side of the exhaust portion of the sensible energy recovery wheels were found to be not filtered which explains item #1 above.

The typical sensible energy recovery wheel is shown in Photograph #9 below.

Upon close inspection you will see that the heat transfer fins are very dirty and fouled. Currently, the existing ground mounted rooftop units are not providing fresh air to the building, which violates ASHRAE 62.1 – Ventilation for Acceptable indoor Air Quality Requirements!



Photograph #9 – Existing Energy Recovery Wheel

The deficiencies associated with the damaged condenser coils and the inoperable and dirty sensible energy recovery wheels were the most severe deficiency items noted that essentially render the existing units ineffective in conditioning and properly ventilating the building. In addition, to these two major deficiency items we noted the following minor deficiency items summarized in Table #3.

MINOR DEFICIENCY	IMPACT/IMPORTANCE
Economizer Cycle disabled on both units	Results in higher energy consumption during times of the year when cooling is required and ambient air is cold enough to provide “free” cooling.
Condensate traps serving cooling coils are too small (i.e. 3/4”)	The existing traps were only 3/4” in size. The condensate traps for equipment of this size should be 1-1/4” minimum. We would recommend two (2) traps per unit to provide proper condensate removal.
Relief/exhaust air fans were disabled.	This is related to the economizer control. Without proper relief/exhaust air when fresh air is provided the space will over-pressurize.
Outside air dampers on both units where closed even during occupied periods.	Prevents code required ventilation from being provided to the breathing zone of occupants.
The relief/exhaust dampers are barometric type not motor operated.	Barometric or gravity dampers do not relieve air at partial economizer or when outside air is lowered during demand control ventilation mode.
Constant speed exhaust fans.	The use of constant speed exhaust fans results in higher noise levels, poor capacity control, and higher than needed fan speeds. We would recommend variable speed exhaust fans.
Service platforms are only on one side of the units.	Makes it difficult to service the rear side of each unit. We would recommend that the units service platforms be extended to serve both sides of the units when they are replaced.
The fan wheel on RTU #1 that is closest to the access door is wobbling.	This indicates a mass imbalance of the fan wheel likely due to dirt. This would require analysis by a vibration consultant or test and balance engineer.
The original sequence indicates the outside air dampers should remain closed until the carbon dioxide level gets the 1,000 ppm.	This does not meet code (i.e. <u>ASHRAE 62.1 Ventilation for Acceptable Indoor Air Quality</u>) requirements. The outside air must be provided at all times. The only value that can deviate during occupied periods is the “people component” of the ventilation air flow rate which is directly related to space CO ₂ levels.

Table #3 – Rooftop Unit Deficiencies/Impacts

The ground mounted packaged rooftop Units serve the main Multi-purpose area of the facility and it is our understanding that the original expected peak people load for this space was expected to be substantial. We will further discuss this later in the report when we review the engineering calculations. However, it is worth noting that the original control portions of the mechanical specifications (See Appendix B – Mechanical Specifications) indicated that both units were supposed to be provided with space carbon dioxide sensors (CO₂) that would modulate the outside air flow rate to maintain the space CO₂ level at 1,000 parts per million (ppm) by modulating the outside air damper to the minimum position when less people were in the room. We feel that this was a good intent of the original design, but we doubt if the same is operating as intended because there is no mention of the same being tested in the original Test and Balance Report. If the CO₂ sensors were installed we highly recommend that the same be calibrated and the sequence of operation along with outside air flow measurement be verified.

Due to its importance to comfort and performance, Gipe Associates took a considerable amount of time to review the original Test and Balance (TAB) Report from when the project was first “turned over” to the Worcester County Department of Public Works. We were able to obtain a copy of the 2007 TAB Report and we feel that we should review the same because many of the findings are very interesting and need to be addressed. The next section of our report reviews the 2007 TAB Report and provides recommendations based on our review.

REVIEW OF THE ORIGINAL TEST AND BALANCE REPORT

The original Test and Balance Report dated August 2007 was obtained by Gipe Associates, Inc. from Worcester County for our use in preparing our study and the same is enclosed in Appendix C. We are not confident that this was the final Test and Balance Report, but it was the only data we were able to obtain after contacting multiple sources. Due to testing/balancing’s importance to the performance of heating, ventilating, and air conditioning (HVAC) systems, we feel it was prudent to review the same and note any observations. Our observations from the Test and Balance Report (Refer to Appendix C) are found in Table #4 below.

TEST AND BALANCE REPORT OBSERVATIONS	RECOMMENDATIONS
1. Duct detectors were not tested.	Test fan shut-down and record results.
2. No coil temperature readings were taken in heating or cooling mode.	Dry bulb and wet bulb temperatures of all coils and across all energy recovery devices should be tested and recorded in both heating mode and cooling mode to verify performance.
3. Page #1: Rooftop Unit #1 air flow rate was below design by 6%.	This tolerance is acceptable in the HVAC industry.
4. Page #1: RTU #1: VFD output could not be increased to achieve the design air flow rate.	This would require investigation of drives/motor BHP. However, it does explain why the total air flow rate was below design.
5. Page #5: RTU #1 exhaust air flow rate was found to be 8% high.	We would recommend slowing fan down to within 5% of design air flow rate.
6. Page #7: RTU#2 supply air flow rate is 14% below design air flow rate.	Investigate duct leakage, seal openings, and re-test air flow rates.
7. Page 11: RTU#2 exhaust air fans are 6% high.	This tolerance is acceptable in the HVAC industry.

Table #4 – Summary of Test and Balance Report Observations

We hope that based on our review of the Test and Balance Report, it is obvious that the original testing and balancing work was not complete nor, to the best of our knowledge, were any of the noted issues actually addressed.

Next, we will review the split system air handling units and gas furnaces (AHU-1/FURN-1 & AHU-2/FURN-2).

EXISTING SPLIT SYSTEM AIR HANDLING UNITS 1 & 2, GAS FURNACES-1 & 2, AND ERV-1

AHU-1/FURN-1 & AHU-2/FURN-2 currently serve the original portion of the building constructed in 2004. AHU-1 serves the office portion and AHU-2 serves the remaining portion including Lobby, Corridor, Bathrooms, Storage Room, Concessions and Interior Office Space. Figure #3 indicates a schematic diagram for AHU-1 and Gas Furnace-1.

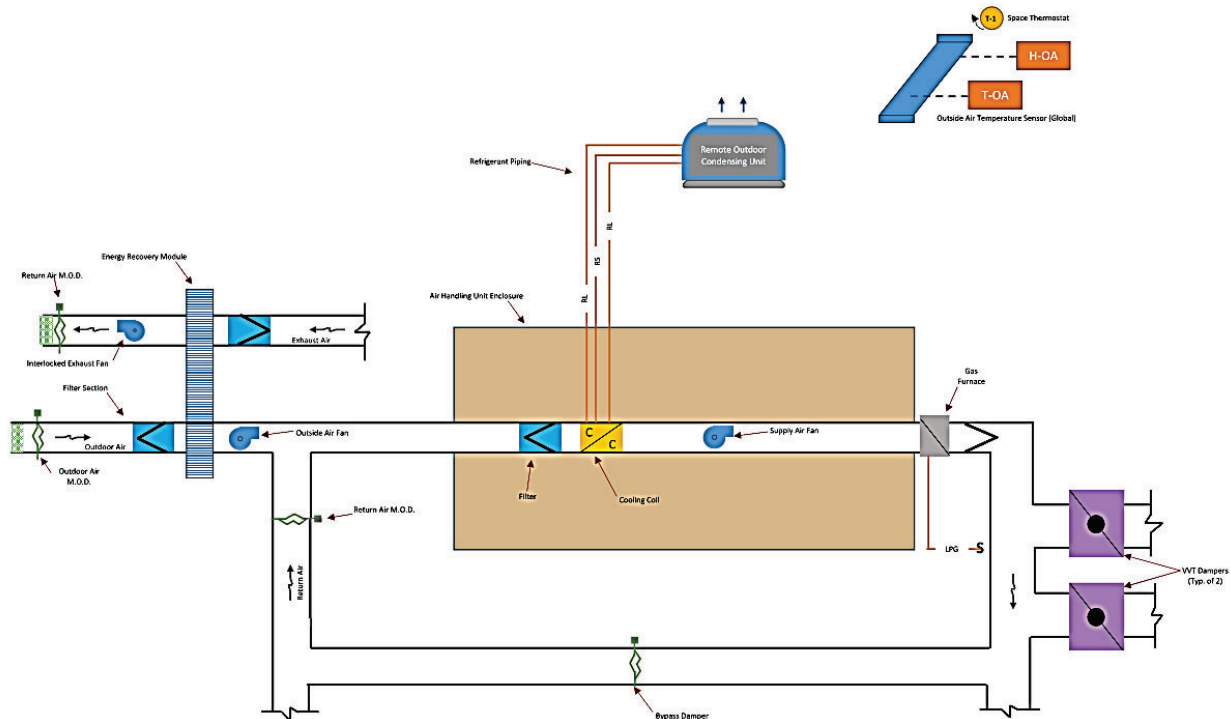


Figure #3 – Typical Split System Unit Schematic

AHU-1 and Furnace-1 have the following properties based on the original drawings:

1. Supply Airflow Rate = 1,000 CFM
2. Outside Airflow Rate = 100 CFM
3. Total Cooling Capacity = 26,100 Btuh (2.2 Tons of Cooling)
4. Total Heating Capacity (Furnace) = 55,000 Btuh
5. Refrigerant = R-22.
6. Outside Air is pre-treated by ERV serving AHU-1 and AHU-2.
7. System utilizes VVT (Variable Volume and Temperature) zone dampers and bypass damper.

Noted Deficiencies:

1. VVT dampers and bypass ductwork do not maintain outside air (ventilation airflow) during periods when dampers are throttled, and bypass damper is open.

2. VVT dampers do not provide proper zone temperature control since units are not provided with means for re-heat.
3. System utilizes R-22 refrigerant which is being phased out due to its ozone depletion characteristics.
4. Refrigerant piping is not fully insulated and requires jacketing for exterior piping insulation.
5. Unit is 20+ years old and is at the end of its useful service life.

AHU-2 and Furnace-2 are similar to AHU-1/FURN-1 with a few exceptions:

1. AHU-2 is a constant volume system without VVT dampers.
2. AHU-2 outside air is provided with additional pre-treatment by a Desert Aire IH-500 dehumidifier after the energy recovery ventilator.

Photograph #10 indicates AHU-2 and the Desert Aire dehumidifier.



Photograph #10 – AHU-2 and Dehumidifier

The dehumidifier was not indicated on the original contract drawings but was included in the Test and Balance Report. The dehumidifier was likely added to avoid high relative humidity issues during cooling season.

AHU-2, Furnace-2 and the Dehumidifier have the following properties based on the original drawings:

1. AHU-2 Supply Airflow Rate = 6,000 CFM
2. Outside Airflow Rate = 1,800 CFM
3. Total Cooling Capacity = 178,000 Btuh (14.8 Tons of Cooling)
4. Total Heating Capacity (Furnace) = 280,000 Btuh

5. Refrigerant = R-22.
6. Outside Air is pre-treated by ERV and Dehumidifier serving AHU-1 and AHU-2.
7. Dehumidifier Airflow Rate = 1,800 CFM.

Noted Deficiencies:

1. System utilizes R-22 refrigerant which is being phased out due to its ozone depletion characteristics.
2. Refrigerant piping is not fully insulated and requires jacketing for exterior piping insulation.
3. Unit is 20+ years old and is at the end of its useful service life.

ERV-1 is a constant volume energy recovery ventilator that pre-treats the outside airflow being delivered to air handling units #1 and #2. ERV-1 utilizes exhaust air energy recovery through an enthalpy wheel. Outside airflow is delivered at a constant rate during occupied periods. Photograph #11 indicates ERV-1 as installed in the mechanical mezzanine above the bathroom groups.



Photograph #11 – Energy Recovery Ventilator-1

Utilizing an energy recovery ventilator was appropriate to reduce heating/cooling loads associated with ventilation airflow and reduce issues with relative humidity. We would recommend that the ERV unit be de-coupled from the air handling equipment and deliver the outside air direct to the spaces. De-coupling the ventilation airflow allows for a 20% reduction in outside airflow volume. De-coupling the ERV also allows demand controlled ventilation to be implemented to further reduce outside airflow rates when occupancy is less than the peak occupancy.

Next we will review the 2014 Addition's HVAC systems.

EXISTING PACKAGED ROOFTOP TYPE VAV AIR HANDLING UNIT -3:

The 2014 addition is served by a single variable air volume (VAV) air handling unit. The VAV unit is a packaged rooftop (grade mounted) type air handling unit with energy recovery (ERV) unit utilized for pre-treatment of outside airflow. Figure #4 indicates a schematic diagram of the unit serving the 2014 addition.

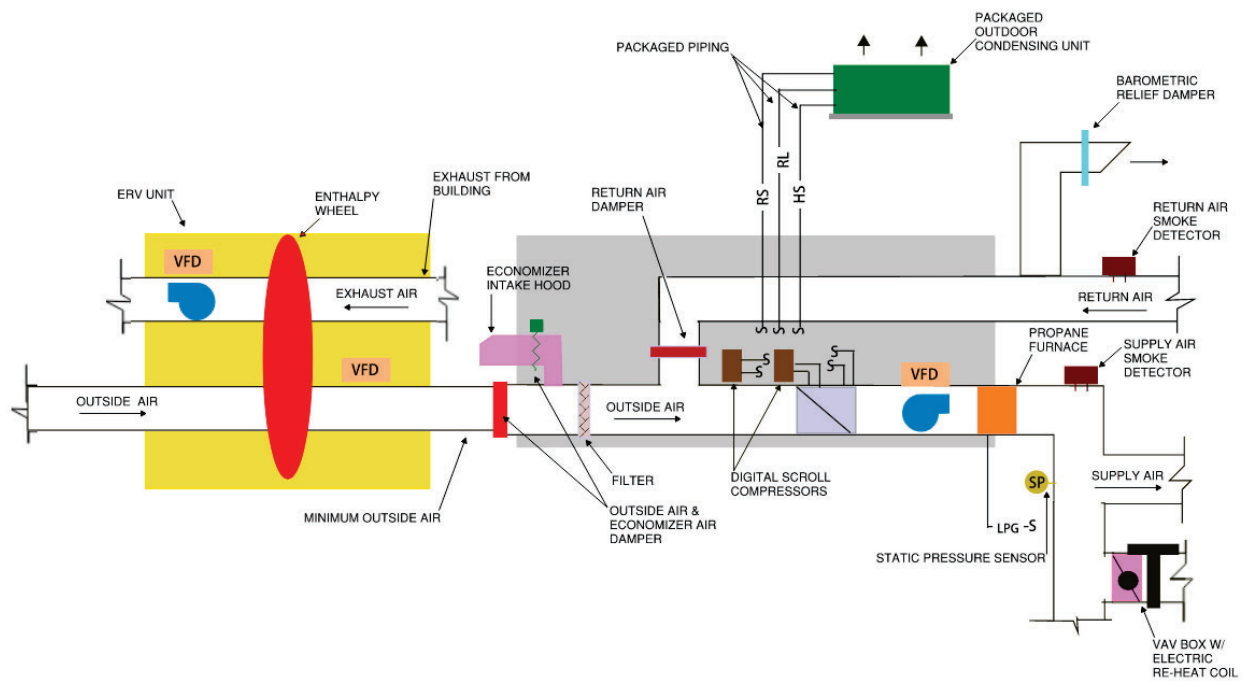


Figure #4 – Packaged VAV Unit with ERV



Photograph #12 – RTU-3 and ERV Serving 2014 Addition

RTU-3 and the ERV have the following properties based on the original drawings:

1. RTU-3 Supply Airflow Rate = 6,885 CFM
2. Outside Airflow Rate = 2,695 CFM
3. Total Cooling Capacity = 246,900 Btuh (20.5 Tons of Cooling)
4. Total Heating Capacity (Furnace) = 284,000 Btuh
5. Refrigerant = R-22.
6. Outside Air is pre-treated by ERV.
7. ERV Outside Airflow Rate = 2,695 CFM.
8. ERV Exhaust Airflow Rate = 2,430 CFM.

Noted Deficiencies:

1. System utilizes R-22 refrigerant which is being phased out due to its ozone depletion characteristics.
2. Unit is 10+ years old and is nearing the end of its useful service life.

Similar to ERV-1, we would recommend that the ERV unit be de-coupled from the RTU-3 air handling equipment and deliver the outside air direct to the spaces.

Series VAV boxes with electric re-heat coils provide zone temperature control for the individual spaces in the 2014 addition.

In addition to the major HVAC components just described there are other gas fired unit heaters serving the main mechanical room and 2007 storage addition. A ductless split system heat pump serves the 2023 storage addition.

Next, we will review the existing electrical system/service.

EXISTING ELECTRICAL SYSTEMS

Electrical Service

Electrical energy is provided to the Worcester County Recreation Center at 480Y/277-volts AC, three-phase, four-wire from a 300kVA pad mounted transformer, which is owned by the electric utility company, Delmarva Power & Light (DPL). There is a current transformer (C/T) type electricity meter located on the side of the transformer as shown in Photograph #13.



Photograph #13 – DPL Transformer with CT Metering

We assume that the secondary conductors provided from the utility transformer to the main distribution panelboard are sized properly for the service, but Delmarva Power didn't have a record of the conductor size or quantity.

Normal Power Supply System

The secondary service conductors from the transformer terminate at a main distribution panelboard in the main electrical room, shown in Photographs #14 and #15. The main distribution panelboard is a Square D Company, Model HCM I-Line distribution panelboard, which is rated for a system voltage of 480Y/277-volts AC, three-phase, four-wire. The main overcurrent protection device in the distribution panelboard is a 600-ampere thermal-magnetic main circuit breaker, which is rated for 80% continuous load. Circuit breakers rated for 80% can support their full nameplate current for periods of time less than 3 hours and can only support 80% of their nameplate rating continuously. This means the 600-ampere circuit breaker can continuously support 480-amperes of load.



Photograph #14 – Main Distribution Panelboard



Photograph #15 – MDP Nameplate

The distribution panelboard (Photograph #13) appears to have been installed during the original construction of the building and is in fair condition. The distribution panelboard has circuit breakers to feed the branch panelboards throughout the building as well as the roof-top units. The 480V branch panelboards throughout the building are Square D type NF panelboards as shown in Photograph #16.



Photograph #16 – Typical 480Y/277V Branch Panelboard

Most of the 208Y/120VAC panelboards (shown in Photograph #16) throughout the building are Square D type NQOD which are now obsolete, but replacement circuit breakers are available. Two (2) panelboards as shown in Photograph #17 were installed in 2014 and are Square D type NQ and are in good condition.



Photograph #17 – Typical 208Y/120V Branch Panelboards

Most of the electrical distribution equipment in the building except for what was installed in 2014 as part of the addition appears to have been installed in 2005 and is 20 years old. The electrical equipment installed in 2014 is shown in Photograph #18 below, and is in good condition. We would estimate that the electrical distribution equipment has an additional life expectancy of 15-20 years.



Photograph #18 – Electrical Gear in 2014 Addition

Emergency/Standby Power Supply System

There is a 400kW diesel generator and 600A service-entrance automatic transfer switch (ATS) that are installed outside next to the transformer. The transfer switch is installed between the transformer and the main distribution panel to provide backup power to everything in the building except for the equipment in the building served from panelboards H3 and L3. Panelboards H3 and L3 serve most of the lights, receptacles and HVAC equipment in the 2014 addition. The circuit breaker in the main distribution panelboard that serves panelboards H3 and L3 has a handle motor operator that will open when/if the generator runs. The transformer, generator and automatic transfer switch, as shown in Photograph #19, all appear to have been installed in 2005 and are 20 years old and in fair condition.



Photograph #19 – Generator and Automatic Transfer Switch

The generator also serves an automatic transfer switch/fire pump controller that is in the main mechanical room. This ATS/controller is manufactured by Metron, and the model number is MTS100. It is our understanding that Metron has been acquired by Hubbell and the controller is now obsolete which may make it challenging to obtain replacement parts.

Riser Diagram

A riser diagram of the existing electrical distribution system, including the normal power supply system, emergency/standby power supply system, and the equipment installed for the 2014 addition, is shown in Figure #5 below.

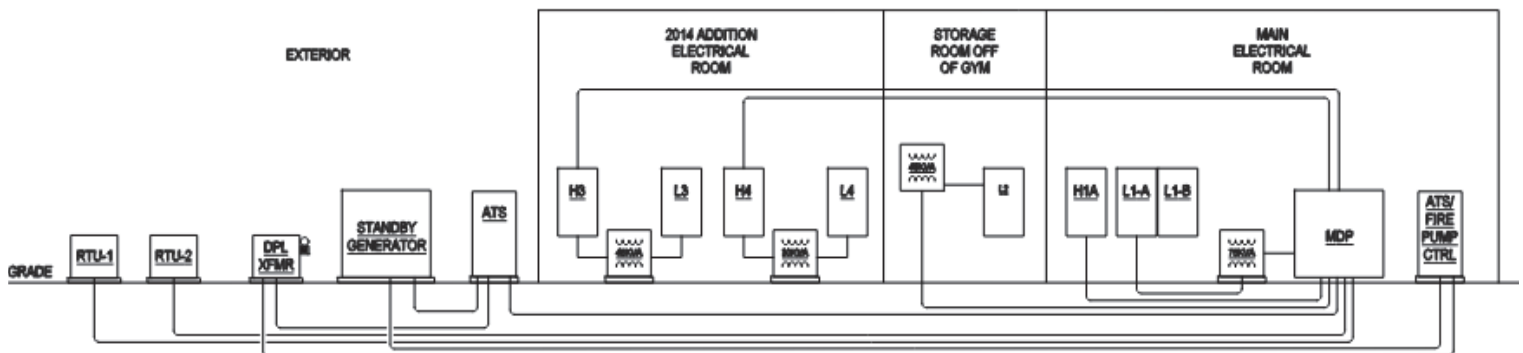


Figure #5 – Electrical Distribution System Riser Diagram

Code Deficiencies

1. The existing mechanical room contains gas-fired equipment but lacks carbon monoxide (CO) detection per NFPA 72: National Fire Alarm & Signaling Code.
2. The existing mechanical room does not have emergency off switches at the exit doors to shut down all gas-fired equipment per ASME CSD-1.

Electrical Load Analysis – Existing Service

In accordance with the 2023 National Electrical Code, Article 220.87 - *Determining Existing Loads*, Gipe Associates, Inc. conducted a review of electrical demand information obtained from Delmarva Power as summarized in Table #5. Our evaluation is based on the peak electrical demand for any given month from June 2023 – September 2024 as provided by Delmarva Power. The peak demand over the evaluation period is shown in red text.

Month/Year	Demand (kW)
June 2023	163
July 2023	170
Aug 2023	176
Sep 2023	165
Oct 2023	163
Nov 2023	110
Dec 2023	117
Jan 2024	120
Feb 2024	93
Mar 2024	112
Apr 2024	133
May 2024	178
June 2024	175
July 2024	186
Aug 2024	176
Sep 2024	169

Table #5 – Peak Electrical Demand

Based on the above data, the peak demand for the electrical service was 186kW during the month of July 2024. To evaluate if the existing electrical service is adequately sized, we will need to convert this kW value to amperes. The following relationships are used to calculate amperes from kilowatts:

- Kilowatts (kW) divided by power factor equals kilovolts-amperes (kVA).
- Kilovolt-amperes (kVA) multiplied by 1000 equals volt-amperes (VA).
- For a three-phase service, volt-amperes (VA) divided by the product of volts (V) multiplied by the square root of three (3) equals amperes (A).

The above formulas, expressed mathematically, are $VA = \frac{kW*1000}{PF}$, and $A = \frac{VA}{(V)(\sqrt{3})}$.

We can combine these two (2) formulas to determine amperage (A) as: $A = \frac{kW*1000}{(PF)(V)(\sqrt{3})}$

The only variable in the above equation that we do not have is the power factor (PF). The power factor is a measure of how efficiently electrical power is used and is defined as the ratio of real power (kW) to apparent power (kVA). A power factor of 1 indicates optimal efficiency, and a lower power factor means the electric utility must supply more power to the service. Delmarva Power & Light (DPL) has confirmed that they do not record power factors for electrical services that fall under the *Small General Service* classification, meaning they are rated 300kW or less, but that they typically see power factors of 0.85 during summer months on similar services. We will assume a power factor of 0.85 for our calculations.

Therefore, the peak electrical load in amperes on the existing service can be determined as:

- $$A = \frac{186 \times 1000}{(0.85)(480)(\sqrt{3})} = \frac{186,000}{706.7} = 263.2$$

Therefore, the existing service has a peak load of 263.2A, which we will round to 263A.

One additional factor we need to consider is that there is a solar photovoltaic (PV) array on-site, which is connected to the electrical service at the utility transformer secondary bushings. Since the electrical meter utilizes current transformers at the transformer secondary bushings, the electrical demand (kW) measured by the utility will be the difference between the kW consumed by the building loads and any kW produced by the solar PV array. This means that the building demand could be higher than the demand values on the utility bills if the solar PV system is de-energized.

Based on the existing drawings, the existing solar PV array is rated 60kWac, with a maximum output current of 72A. If we add this value to our calculated load current of 263A, it yields a worst-case connected load of 335A on the existing electrical service.

Therefore, the 600-ampere electrical service is adequately sized for the current loads. Next, we will review if the existing electrical service can support the proposed HVAC equipment.

OWNER'S PROJECT REQUIREMENTS

Prior to performing detailed engineering calculations we felt it was important to document the Owner's Project Requirements regarding the peak occupancy and temperature set points for the gym/multipurpose portion of the building.

During our previous discussions with staff and the Worcester County Department of Public Works it was mutually agreed upon to use 1,000 people as the peak design occupancy. Therefore, the engineering calculations for determining ventilating loads and subsequent cooling loads (For RTU-1&2) were both based on a peak occupancy of 1,000 people.

As indicated in Table #6 below the interior design temperature for heating is 68°F and the interior design temperature for cooling during track meets is 68°F. However, track meets occur in the winter months so for cooling load calculations we utilized 72°F as the cooling design temperature. These values were utilized for the heating and cooling loads and also for the preliminary selections of the replacement units.

Gymnasium Thermostat Setpoint Temperatures and Schedules in Heating Mode		
Daytime Occupied Mode Temperature	68°F	
Night Time Unoccupied Mode Temperature	65°F	
Track Meets	68°F	
Tournaments	68°F	
Monday – Thursday	On: 5:00am	Off: 9:00pm
Friday	On: 5:00am	Off: 7:00pm
Saturday	On: 8:00am	Off: 3:00pm
Sunday	On: 8:00am	Off: 3:00pm
Gymnasium Thermostat Setpoint Temperatures and Schedules in Cooling Mode		
Daytime Occupied Mode Temperature	72°F	
Night Time Unoccupied Mode Temperature	75°F	
Track Meets	68°F	
Tournaments	68°F	
Monday – Thursday	On: 5:00am	Off: 9:00pm
Friday	On: 5:00am	Off: 7:00pm
Saturday	On: 8:00am	Off: 3:00pm
Sunday	On: 8:00am	Off: 3:00pm

Table #6 - Space Setpoint Temperatures/Occupied/Unoccupied Mode Schedules

The schedule of operation for the remainder of the facility will follow the same hours of operation as Gym.

Next, we will review our engineering calculations.

ENGINEERING CALCULATIONS

Ventilation Calculations

Due to its contribution to load calculations and the health and well-being of the staff and visitors to the Worcester County Recreation Center, we have calculated the ventilation or fresh air flow rates needed to properly ventilate the building. One of the most important criteria for determining the ventilation air flow rates besides the square footage of each room is the expected peak people density. Gipe Associates utilized the following people count (See Table #7 below) for our use in ventilation calculations and load calculations.

Room Name/Number	Square Footage	Occupancy for Load Calculations
A-100 Fitness Arena – Multipurpose (1/2) – RTU #1 – South	18,630	500 (Seated at Rest)
A-100 Fitness Arena – Multipurpose (1/2) – RTU #2 – North	18,630	500 (Seated at Rest)
Office Area – AHU-1	945	5
Bath/corr./stor. – AHU-2	6,700	7
2014 Addition – RTU #3	5,900	70

Table #7 - Occupancy per Area

Based on ASHRAE 62.1- Ventilation for Acceptable Indoor Air Quality criteria, we calculated the ventilation requirements (See Appendix D) for each HVAC system as shown in Table #8 below:

HVAC System	Original Ventilation Air Flow Rate	Calculated Ventilation Air Flow Rate	% difference
RTU # 1	5,150 CFM	4,450 CFM	-15%
RTU # 2	5,150 CFM	4,450 CFM	-15%
RTU #3	2,695 CFM	2,029 CFM	-24%
AHU-1	100 CFM	100 CFM	+0%
AHU-2	1,800 CFM	386 CFM	-78%

Table #8 - Ventilation Airflow Rate Summary

As indicated, the original ventilation air flow rates are slightly higher than what we calculated. Please note that for AHU-2 the large discrepancy is due to the make-up outside airflow required for make-up for the large bathroom group exhaust airflow. For AHU-2 the outside airflow rate needed to be increased to meet the higher exhaust airflow requirement.

Now that we have determined the correct amount of ventilation air for each HVAC system we can calculate the cooling and heating loads utilizing the same.

Heating and Cooling Load Calculations

Prior to making recommendations relative to the existing HVAC improvements/replacement, we feel it is prudent to verify the capacities and total air flow rates of the existing HVAC systems.

The existing HVAC units serve various spaces as previously illustrated in Figure #1. We have utilized an hourly analysis load program (Carrier HAP Version 5.1) to determine the capacities, air flow rates, and ventilation air flow rates.

The capacity or heating/cooling load calculations are based on the following assumptions in Table #9 for RTU-1 & RTU-2:

Heating Coil Leaving Air Condition	95°F DB
Cooling Coil Leaving Air Conditions	53°F DB, 52°F WB
Wall U-Value =	0.081 Btu/hr/s.f./°F
Roof U-Value =	0.049 Btu/hr/s.f./°F
Window U-Value =	0.766 Btu/hr/s.f./°F
Lighting Power Density Average =	2.0 watts/ft ²
Interior Plug Load Average Density =	0 watts/ft ²
Space Interior Design Temperature Condition Heating =	68°F DB
Space Interior Design Temperature Condition Cooling =	72°F DB, 60%RH (max)
Infiltration Air Flow Rate =	0.1 CFM/s.f.
Ambient Design Temperature Condition Heating =	10°F DB
Ambient Design Temperature Condition Cooling =	95°F DB 78°F WB

Table #9 - Heating/Cooling Load Calculation Assumption-RTU-1&2

The capacity or heating/cooling load calculations are based on the following assumptions in Table #10 for AHU-1,2 & RTU-3:

Heating Coil Leaving Air Condition	95°F DB
Cooling Coil Leaving Air Conditions	55°F DB, 54°F WB
Wall U-Value =	0.055 Btu/hr/s.f./°F
Roof U-Value =	0.045 Btu/hr/s.f./°F
Window U-Value =	0.5 Btu/hr/s.f./°F
Lighting Power Density Average =	2.0 watts/ft ²
Interior Plug Load Average Density =	1.0 watts/ft ²
Space Interior Design Temperature Condition Heating =	72°F DB
Space Interior Design Temperature Condition Cooling =	75°F DB, 60%RH (max)
Infiltration Air Flow Rate =	0.1 CFM/s.f.
Ambient Design Temperature Condition Heating =	10°F DB
Ambient Design Temperature Condition Cooling =	95°F DB 78°F WB

Table #10 - Heating/Cooling Load Calculation Assumption

Based on the above assumptions the heating/cooling load coil calculations were performed (See Appendix E) and compared to the original HVAC units’ performance data as follows in Table #11:

		Original Scheduled Coil Data	Calculated Coil Load Values	% Difference
RTU #1	Heating Capacity	437,000 btu/hr	366,929 btu/hr	+16%
	Cooling Sensible Capacity	363,840 btu/hr	488,858 btu/hr	-26%
	Cooling Total Capacity	521,240 btu/hr	706,418 btu/hr	-26%
	Supply Air Flow Rate	16,000 cfm	17,500 cfm	-9%
RTU #2	Heating Capacity	437,000 btu/hr	366,929 btu/hr	+16%
	Cooling Sensible Capacity	421,060 btu/hr	488,858 btu/hr	-14%
	Cooling Total Capacity	664,440 btu/hr	706,418 btu/hr	-6%
	Supply Air Flow Rate	16,000 cfm	17,500 cfm	-9%
RTU #3	Heating Capacity	284,000 btu/hr	198,720 btu/hr	+42%
	Cooling Sensible Capacity	171,200 btu/hr	142,830 btu/hr	+19%
	Cooling Total Capacity	246,900 btu/hr	209,590 btu/hr	+18%
	Supply Air Flow Rate	6,885 cfm	5,750 cfm	+20%
AHU #1	Heating Capacity	55,000 btu/hr	23,625 btu/hr	+57%
	Cooling Sensible Capacity	23,600 btu/hr	19,850 btu/hr	+19%
	Cooling Total Capacity	26,100 btu/hr	30,320 btu/hr	-14%
	Supply Air Flow Rate	1,000 cfm	875 cfm	+14%
AHU #2	Heating Capacity	280,000 btu/hr	132,030 btu/hr	+112
	Cooling Sensible Capacity	137,000 btu/hr	101,220 btu/hr	+35%
	Cooling Total Capacity	178,000 btu/hr	152,200 btu/hr	+17%
	Supply Air Flow Rate	6,000 cfm	4,075 cfm	+47%

Table #11 - Heating/Cooling Coil Load Calculation Summary

Please note, the calculations above, also include the heating and cooling load for the ventilation airflow rate calculated in the previous section of the report. The loads are based on the use of an enthalpy (total) energy recovery wheel for pre-treatment of outside air with a minimum energy recovery efficiency of 70%.

As indicated in Table #10, the installed equipment capacities for RTU-1 & 2 are below the calculated required capacities for each of the HVAC systems. The major contributors to this scenario are as follows:

1. The actual people counts result in higher space latent loads requiring lower leaving coil air temperatures than the original HVAC units can produce on peak days.
2. The original design relative humidity setpoint was much higher than the 60% value we utilized.

Also noted in Table #10, the equipment capacities meet or exceed the calculated capacities for AHU-1, AHU-2 and RTU-3.

The next section of the report will review HVAC options based on the results of our calculations.

HVAC OPTIONS

As previously stated, the main goals of evaluating the HVAC systems at the Worcester County Recreation Center are as follows:

1. Prolong the life of replacement HVAC equipment.
2. Incorporate energy recovery if possible.
3. Improve the temperature/relative humidity in the building.
4. Improve ventilation in the building.
5. Provide automatic temperature controls that allow monitoring, trending, scheduling, and remote adjustments of set points.
6. Improve reliability of the HVAC systems.
7. Incorporated variable supply and outside air flow rates due to varying loads/people.
8. Reduce service/maintenance costs.
9. Improve overall efficiency.
10. Explore the feasibility of electrification options for the HVAC Systems.

Based on these goals, Gipe Associates recommends four (4) reasonable HVAC options that should be considered for the entire building as follows:

- Option #1 – Replace existing HVAC equipment with hot water heating and DX cooling. New central hot water boiler system shall be provided. Ventilation airflow shall be decoupled for all areas except for the main gym area.
- Option #2 – Replace existing HVAC equipment with electric heat pump heating and DX cooling. Auxiliary electric heating coils will be required for supplemental/back up heat and defrost heat. Ventilation airflow shall be decoupled for all areas except for the main gym area.
- Option #3 – Replace existing HVAC equipment with gas fired heating and DX cooling. Ventilation airflow shall be decoupled for all areas except for the main gym area.
- Options #4- Replace existing HVAC equipment with electric heat pump heating and DX cooling. Auxiliary gas fired furnaces will be required for supplemental/back up heat and defrost heat. Ventilation airflow shall be decoupled for all areas except for the main gym area.

The next portion of our report will review the Life Cycle Cost Analysis.

MECHANICAL LIFE CYCLE COST ANALYSIS

As previously discussed in the report there are multiple potential options for the HVAC systems that can serve the Worcester County Recreation Center, but to be of maximum benefit, any HVAC system must meet the following criteria:

1. High energy efficiency;
2. Must be easy to maintain;
3. Must provide code required amount of ventilation airflow for people and spaces;
4. Have the capability to maintain temperature and relative humidity levels in the space required for comfort and maintain good indoor air quality;
5. Must be able to adjust capacity based on widely varying occupancies, outside ambient conditions, and event functions.
6. Have low life cycle cost;
7. Have long useful service life.

We have evaluated four (4) potential HVAC Options for incorporation into the Worcester County Recreation Center based on the following criteria:

- Availability of cooling/heating energy sources;
- Required mechanical space;
- Installation costs (first costs);
- Service and maintenance costs (annual costs);
- Annual energy costs;
- Fuel Types;
- Maintenance involvement;
- Utility costs.

Based on the above criteria, the following four (4) Options were analyzed for a Life Cycle Cost Analysis for the Worcester County Recreation Center. They are as follows:

- Option #1 – Replace existing HVAC equipment with hot water heating and DX cooling. New central hot water boiler system shall be provided. Ventilation airflow shall be decoupled for all areas except for the main gym area.
- Option #2 – Replace existing HVAC equipment with electric heat pump heating and DX cooling. Auxiliary electric heating coils will be required for supplemental/back up heat and defrost heat. Ventilation airflow shall be decoupled for all areas except for the main gym area.
- Option #3 – Replace existing HVAC equipment with gas fired heating and DX cooling. Ventilation airflow shall be decoupled for all areas except for the main gym area.
- Options #4- Replace existing HVAC equipment with electric heat pump heating and DX cooling. Auxiliary gas fired furnaces will be required for supplemental/back up heat and defrost heat. Ventilation airflow shall be decoupled for all areas except for the main gym area.

The following sections outline the basic elements of each Option.

OPTION #1 – Hot Water Heating and DX Cooling:

A central hot water heating system would be provided as indicated in Figure #6.

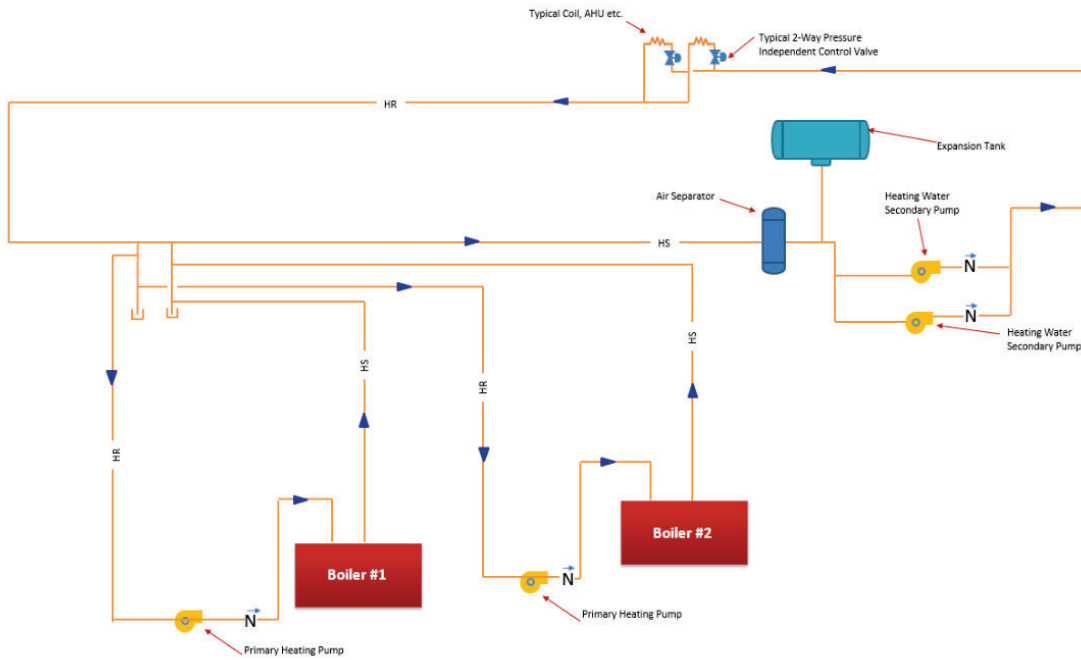


Figure #6 – Typical Central Hot Water Heating System

The central hot water heating system would provide the heating source for all HVAC equipment. Option #1 would utilize decoupled ventilation systems including a hot water/dx cooling energy recover ventilator as seen in Figure #7.

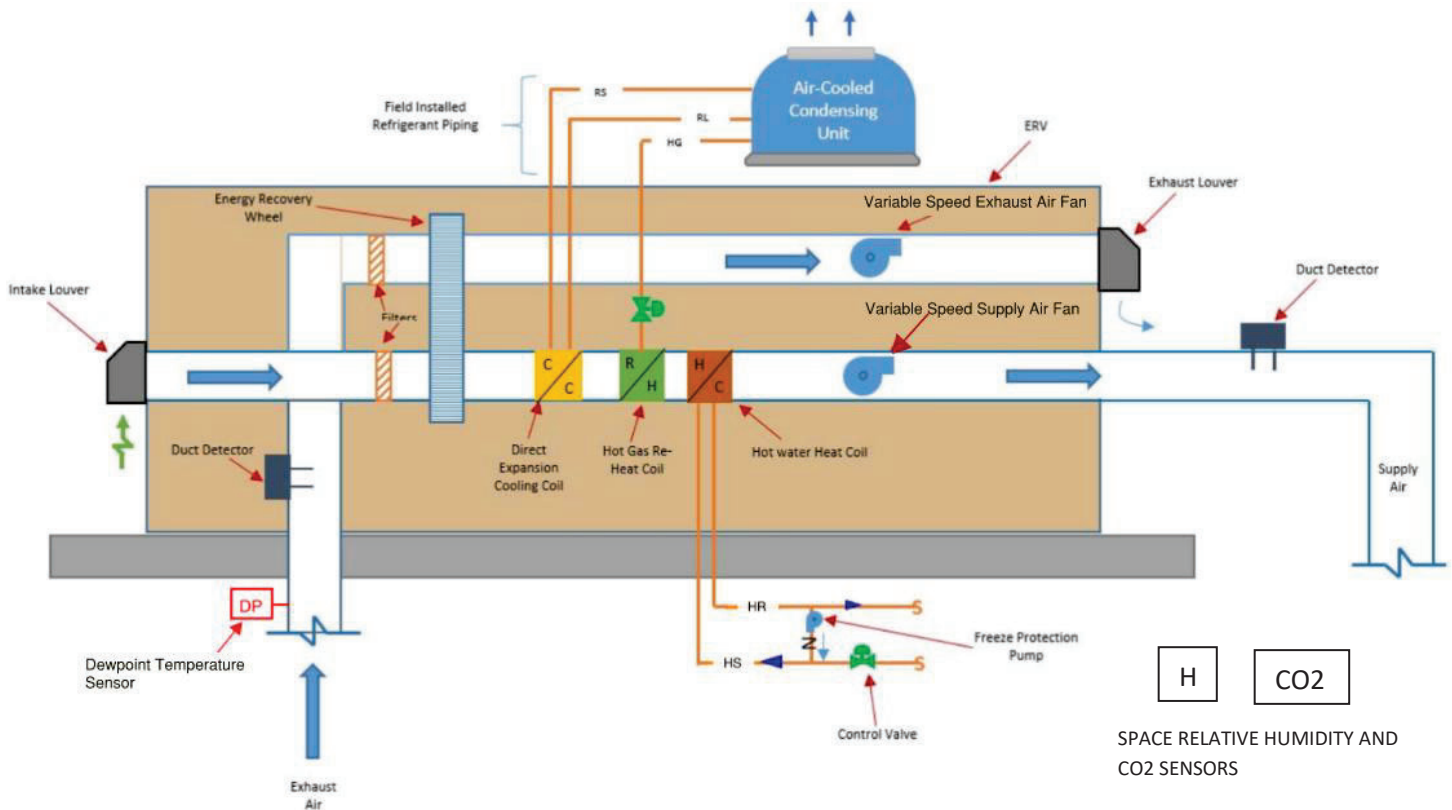


Figure #7 – Energy Recovery Ventilator

The Gym/Multi-purpose single zone variable air volume (SZVAV) units would be similar to the ERV units. However, the SZVAV units will be provided with a return duct. In addition to modulating outside airflow rates, the SZVAV units will vary the supply airflow rate and ventilation airflow rate to the space to conserve energy during non-peak periods.

The terminal equipment providing heating and cooling for the individual zone would be split system air handling units with hot water coils as indicated in Figure #8.

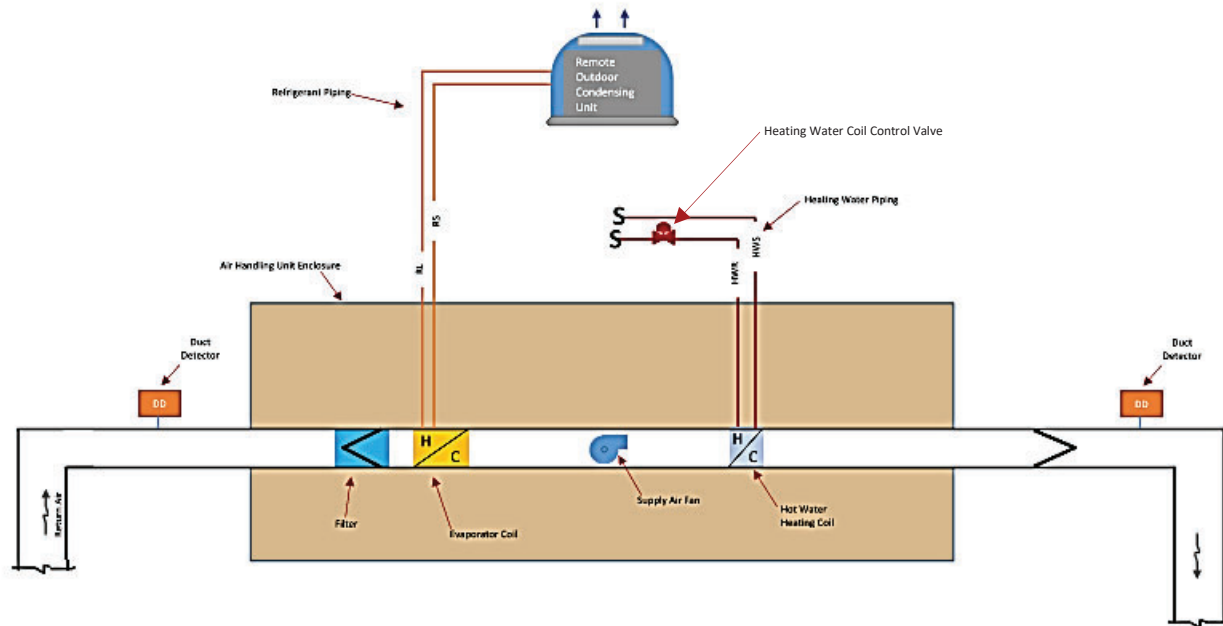


Figure #8 – DX Split Systems with Hot Water Coils

Option #1 has the following advantages and disadvantages:

ADVANTAGES:

1. Long system useful service life due to hydronic hot water heating.
2. Lowest operating cost when compared to Option #2 & #3.
3. Low service and maintenance cost.
4. Equipment is less expensive than gas fired or electric heating equipment.
5. Option does not require an electrical service upgrade.
6. All carbon monoxide producing equipment is located in a separate mechanical space.
7. Excellent temperature control in heating mode due to the use of hot water control valves.

DISADVANTAGES:

1. Highest first cost when compared to Option #2 and #3.

OPTION #2 – Electric Heat Pumps with Auxiliary/Supplemental Electric Heat.

Option #2 would also utilize decoupled energy recovery ventilators for ventilation and exhaust airflow. However, the heat source would be air side heat pumps with auxiliary electric heat for supplemental heat and defrost cycle. Figure #9 indicates the typical ERV heat pump components.

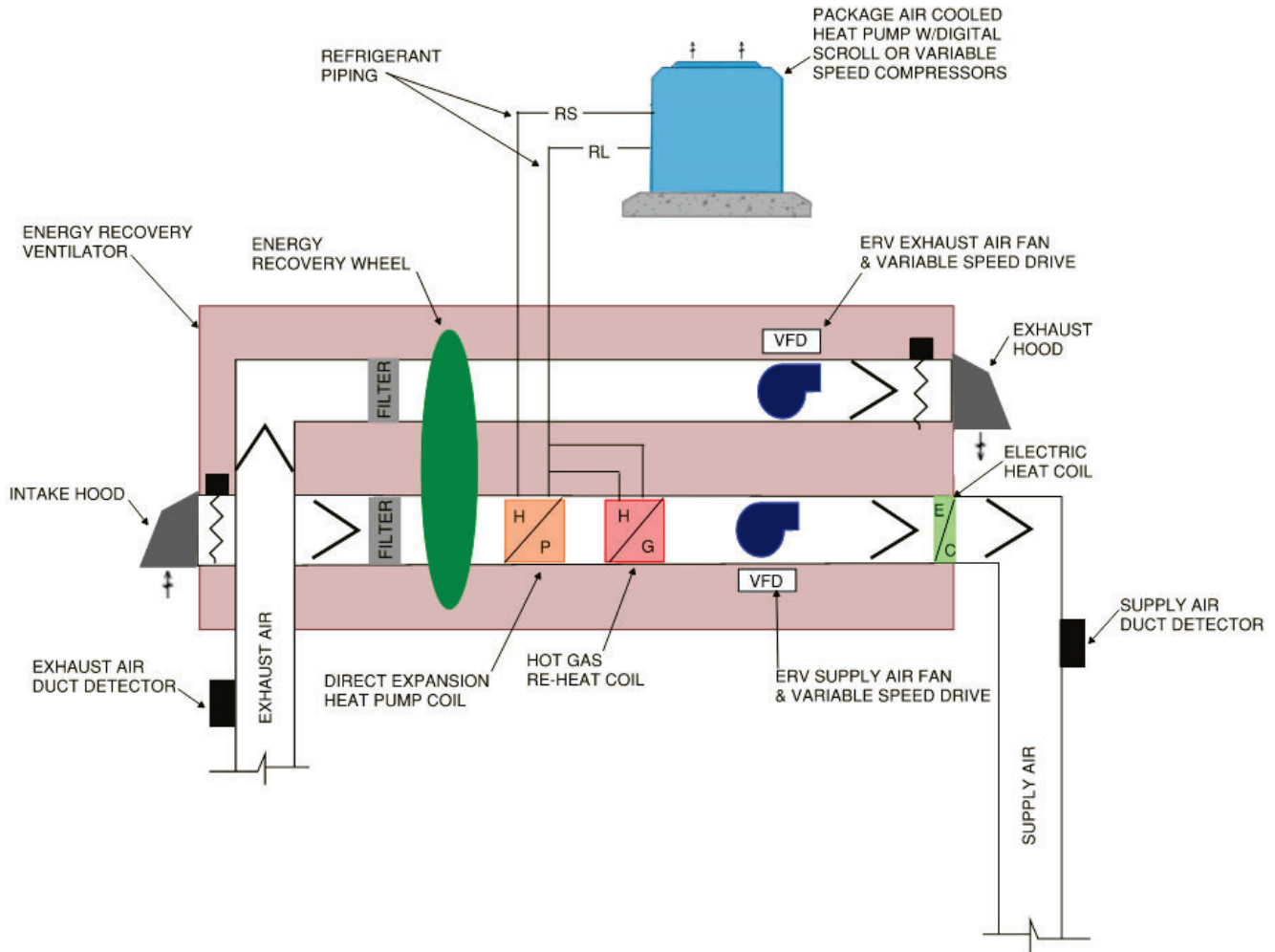


Figure #9 – Heat Pump ERV Unit

The Gym/Multi-purpose single zone variable air volume units would be similar to the ERV units. However, the SZVAV units will be provided with a return duct. In addition to modulating outside airflow rates, the SZVAV units will vary the supply airflow rate and ventilation airflow rate to the space to conserve energy during non-peak periods.

The terminal equipment for the individual HVAC zones shall be split system air source heat pump units with auxiliary electric heat. Figure #10 indicates the typical components for the terminal units.

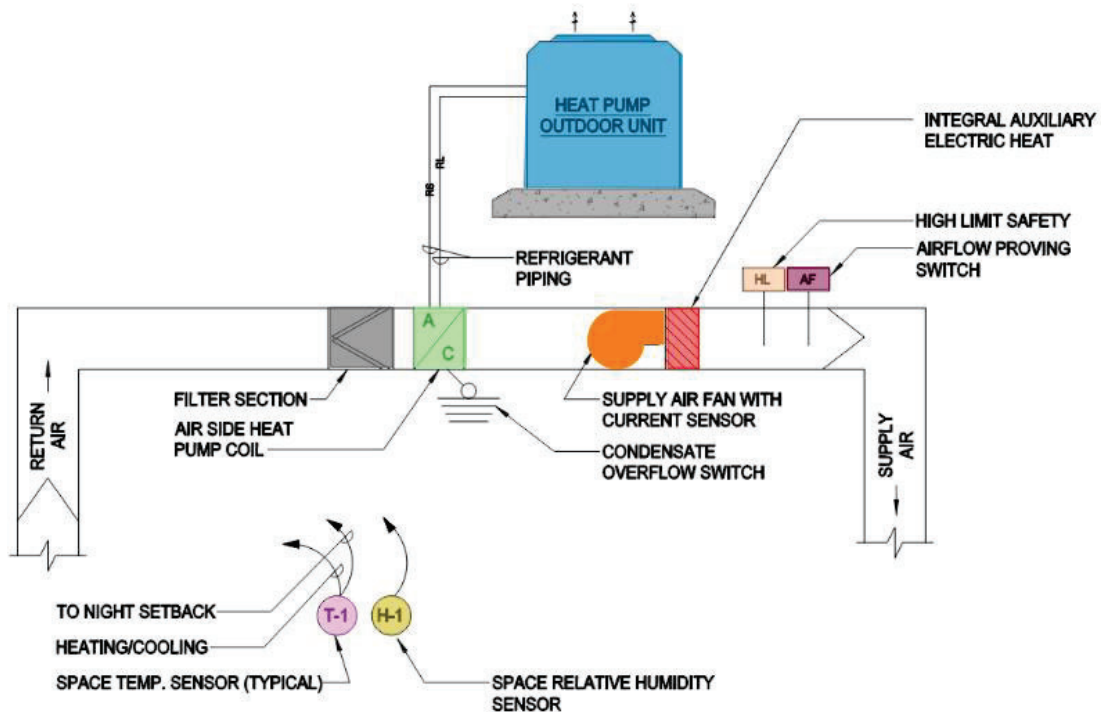


Figure #10 – Split System Heat Pump Terminal Unit

Option #2 has the following advantages and disadvantages:

ADVANTAGES:

1. Lowest service and maintenance cost when compared to Option #1 & #3.
2. Does not utilize fossil fuels on-site.
3. No central plant equipment to maintain or service.
4. Temperature control in heating mode is limited due to compressor modulation versus hot water coil control in Option #1.
5. System does not contain any carbon monoxide producing equipment.

DISADVANTAGES:

1. Highest operating cost when compared to Option #1 and #3.
2. Requires electrical service upgrade.
3. Electric resistance heating coils have shorter useful service life when compared to hydronic hot water coils.
4. Requires electric defrost in heating mode increasing demand/energy costs in winter.

OPTION #3 – Gas Heat and Electric DX Cooling.

Option #3 would include ERV units to provide decoupled ventilation airflow to the facility and would utilize indirect fired gas heat with electric DX cooling. The terminal units for the offices, fitness areas and common spaces would be split system air handling units with gas furnaces. The gas furnaces would be high efficiency condensing gas furnaces.

Finally, the Gym/Multi-Purpose space would be served by a single zone variable air volume unit with gas heat, DX cooling, enthalpy wheel, economizer cooling and demand controlled ventilation controls.

Option #3 has the following advantages and disadvantages:

ADVANTAGES:

1. Lowest first cost when compared to Option #1 & #2.
2. No central plant equipment to maintain or service.
3. Phasing of installation is easier due to no central plant or electrical service upgrade.

DISADVANTAGES:

1. High operating cost when compared to Option #1 and Option #4.
2. Utilizes fossil fuels on site.
3. Gas fired equipment has shorter useful service life than hydronic or electric.
4. Gas fired equipment has limited modulating capacity when compared to hot water coils.
5. Carbon monoxide is produced at the furnaces, risking introducing the same into the spaces in the event of a gas furnace heat exchanger rupturing.

OPTION #4 – Electric Heat Pumps with Auxiliary/Supplemental Gas Heat.

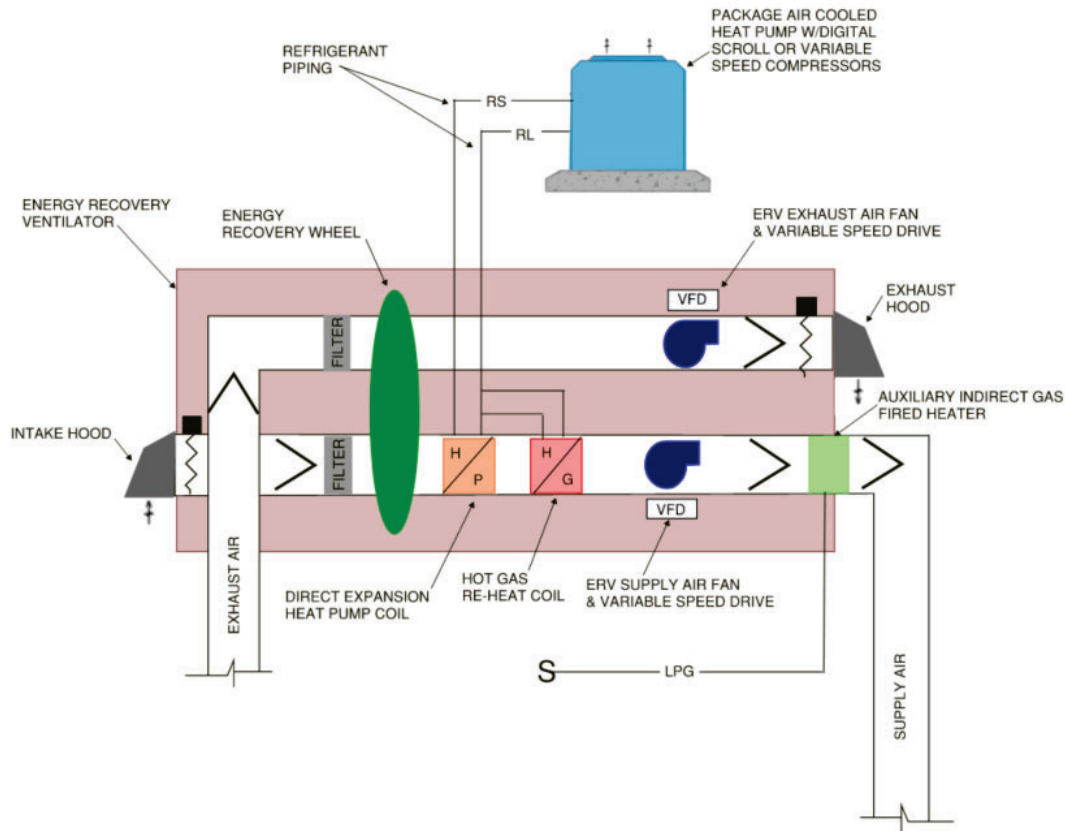


Figure #11 – Heat Pump ERV Unit

Option #4 would also utilize decoupled energy recovery ventilators for ventilation and exhaust airflow. However, the heat source would be air side heat pumps with auxiliary gas furnace for supplemental heat and defrost cycle. Figure #11 indicates the typical ERV heat pump components.

The terminal equipment for the individual HVAC zones shall be split system air source heat pump units with auxiliary gas heat.

Finally, the Gym/Multi-Purpose space would be served by a single zone variable air volume unit with electric heat pump with gas heat back up, DX cooling, enthalpy wheel, economizer cooling and demand controlled ventilation controls.

Option #4 has the following advantages and disadvantages:

ADVANTAGES:

1. No central plant equipment to maintain or service.
2. Lower operating costs when compared to Option #2 & #3.
3. Phasing of installation is easier due to no central plant or electrical service upgrade.
4. Allows the use of electric heat pumps.

DISADVANTAGES:

1. High operating cost when compared to Option #1.
2. Utilizes fossil fuels on site.
3. Gas fired equipment has shorter useful service life than hydronic or electric.
4. Gas fired equipment has limited modulating capacity when compared to hot water coils.
5. Carbon monoxide is produced at the furnaces, risking introducing the same into the spaces in the event of a gas furnace heat exchanger rupturing.

Electrical Load Analysis – Proposed HVAC Systems – Entire Building

Table #12 below shows the existing HVAC equipment that is being evaluated as part of this study. For each piece of equipment, the table shows the minimum circuit ampacity (MCA) and maximum overcurrent protection (MOP) for the following conditions:

1. Existing - Gas-fired HVAC equipment.
2. Option #1 – Replacing the existing gas-fired HVAC equipment with new hot water heating & DX Cooling HVAC equipment.
3. Option #2 – Replacing the existing gas-fired HVAC equipment with new all electric HVAC equipment.
4. Option #3 – Replacing the existing gas-fired HVAC equipment with new gas-fired heating & DX Cooling HVAC equipment.
5. Option #4 – Replacing the existing gas-fired HVAC equipment with new heat pump and supplemental gas heating HVAC equipment.

Equipment Designation	Existing	Option #1 Hot Water / DX	Option #2 Heat Pump/Electric	Option #3 Gas-Fired / DX	Option #4 Heat Pump/Gas
SZVAV-1	123A@ 480V 125A MOP	203A@480V 225A MOP	299A@480V 300A MOP	203A@480V 225A MOP	191A@480V 200A MOP
SZVAV-2	131A@ 480V 150A MOP	203A@480V 225A MOP	299A@480V 300A MOP	203A@480V 225A MOP	191A@480V 200A MOP
RTU-1	56A@ 480V 70A MOP	56A@480V 70A MOP	76A@480V 100A MOP	56A@480V 70A MOP	56A@480V 70A MOP
AHU-1	7A@120V	2.9A@480V 15A MOP	2.9A@480V 15A MOP	2.9A@480V 15A MOP	2.9A@480V 15A MOP
CU-1	18.5A@ 208V 30A MOP	6A@480V 15A MOP	6A@480V 15A MOP	6A@480V 15A MOP	6A@480V 15A MOP
AHU-2	9.5A @480V	8A @480V 15A MOP	8A@480V 15A MOP	8A@480V 15A MOP	8A@480V 15A MOP
CU-2	32.5A@480V 45A MOP	28A @480V 45A MOP	28A@480V 45A MOP	28A@480V 45A MOP	28A@480V 45A MOP
Boiler #1	--	5A@120V	--	--	--
Boiler #2	--	5A@120V	--	--	--
Primary Pump #1	--	1HP 2.1A@480V	--	--	--
Primary Pump #2	--	1HP 2.1A@480V	--	--	--
Secondary Pump #1	--	7.5HP 11A@480V	--	--	--
Secondary Pump #2	--	7.5HP 11A@480V	--	--	--
Total Load	300.2 kVA 361 A	444.47 kVA 535 A	597.7 kVA 719 A	421.4 kVA 507A	401.4 kVA 482A
Load Increase	N/A	144.3 kVA 174 A	297.5 kVA 358 A	121.2 kVA 146 A	101.2 kVA 122 A

Table #12 – HVAC Equipment Electrical Loads – Entire Building

Option #1 – Replace All Existing Gas-Fired HVAC Equipment with New Hot Water / DX HVAC Equipment

As previously determined in this analysis, the peak electrical load on the existing service is approximately 335A.

Based on Table #12, the new hot water/DX HVAC equipment will yield an additional load of 174A, increasing the overall electrical load to 509A. This exceeds the continuous rating of the 600A circuit breaker by approximately 6%. However, we can expect some electrical diversity to reduce the connected load, meaning not all equipment will be running at their maximum capacity simultaneously, and we can also expect the equipment to cycle and not run continuously. Therefore, the existing electrical service could possibly support the proposed additional load, but it would be at maximum capacity and would not support any additional load.

We evaluated if the existing 80% rated 600A circuit breaker in the main distribution panelboard could be replaced with a 100% rated 600A circuit breaker, which would support up to 600A of continuous load under utility power. We have confirmed with the distribution panelboard manufacturer that a 100% rated 600A circuit breaker is available, but the manufacturer is not able to confirm if the 100% rated circuit breaker can fit in with the existing panelboard since the existing circuit breaker is obsolete. Therefore, we cannot recommend this solution.

The HVAC BMS system shall send a signal upon loss of utility power so that only one of the proposed SZVAV units will operate since the generator doesn't have the capacity for both SZVAV units to operate at the same time. In addition, the circuit breakers for the proposed SZVAV units would also need to be motor operated and interlocked with the ATS/Fire pump controller so that during utility outages if the fire pump needs to start, both circuit breakers open automatically so that the fire pump will start. We do not have adequate information to determine the starting kVA of the generator, and if the existing building loads and proposed HVAC equipment loads exceed that value.

As a result of the service being at maximum capacity, we would recommend upgrading the existing electrical service, which we will elaborate further under the *Electrical Recommendations* section of this analysis.

Option #2 – Replace Existing Gas-Fired HVAC Equipment with New Electric HVAC Equipment

Based on Table #12, the new all-electric HVAC equipment will yield an additional load of 358A, increasing the overall electrical load to 693A. This exceeds the continuous rating of the 600A circuit breaker by approximately 44%. This significantly exceeds the capacity of the existing electrical service, which would not be able to support new all-electric HVAC equipment. The existing generator would also not be capable of supporting the proposed all-electric HVAC equipment. Please refer to the *Electrical Recommendations* section of this analysis for additional information.

Option #3 – Replace All Existing Gas-Fired HVAC Equipment with New Gas Heat and Electric DX Cooling

Based on Table #12, the new Gas Heat and Electric DX Cooling HVAC equipment will yield an additional load of 146A, increasing the overall electrical load to 481A. This exceeds the continuous rating of the 600A circuit breaker by approximately 1%. However, based on anticipated electrical diversity, the existing electrical service could support the proposed additional load, but it would be at maximum capacity and would not support any additional load. The electrical service should be considered for replacement/upgrade prior to any other significant building modifications impacting electrical loads.

The HVAC BMS system shall send a signal upon loss of utility power so that only one of the proposed SZVAV units will operate since the generator doesn't have the capacity for both SZVAV units to operate at the same time. In addition, the circuit breakers for the proposed SZVAV units would also need to be motor operated and interlocked with the ATS/Fire pump controller so that during utility outages if the fire pump needs to start, both circuit breakers open automatically so that the fire pump will start. We do not have adequate information to determine the starting kVA of the generator, and if the existing building loads and proposed HVAC equipment loads exceed that value.

Option #4 – Replace All Existing Gas-Fired HVAC Equipment with New Heat Pump and Gas Heating

As previously determined in this analysis, the peak electrical load on the existing service is approximately 335A.

Based on Table #12, the new Heat Pump and Gas Heating HVAC equipment will yield an additional load of 122A, increasing the overall electrical load to 457A. This is below the continuous rating of the 600A circuit breaker by approximately 5%. While the existing electrical service can support the proposed additional load, it would be at maximum capacity and would not support any additional load. The circuit breakers for the proposed SZVAV units would also need to be motor operated and interlocked with the ATS/Fire pump controller so that during utility outages if the fire pump needs to start, both circuit breakers open automatically so that the fire pump will start.

Please refer to the *Electrical Recommendations* section of this analysis for additional information.

Electrical Load Analysis – Proposed HVAC Systems – Replace Gym HVAC Units Only

In addition to evaluating the four whole-building HVAC replacement options, we evaluated if the existing electrical service could support just replacing the two (2) SZVAV units serving the gym. Table #13 below shows the existing HVAC equipment that is being evaluated if only the gym SZVAV units are replaced. For each piece of equipment, the table shows the minimum circuit ampacity (MCA) and maximum overcurrent protection (MOP) for the following conditions:

1. Existing - Gas-fired HVAC equipment.
2. Option #1A – Replacing the existing gas-fired HVAC equipment serving the gym with new hot water & DX HVAC equipment. This would also require the addition of boilers and primary/secondary pumps.
3. Option #2A – Replacing the existing gas-fired HVAC equipment serving the gym with new all electric HVAC equipment.
4. Option #3A – Replacing the existing gas-fired HVAC equipment serving the gym with new gas-fired & DX HVAC equipment.
5. Option #4A – Replacing the existing gas-fired HVAC equipment serving the gym with new heat pump and gas heating HVAC equipment.

Equipment Designation	Existing	Option #1A Hot Water / DX	Option #2A Heat Pump/Electric	Option #3A Gas-Fired / DX	Option #4A Heat Pump/Gas
SZVAV-1	123A@ 480V 125A MOP	203A@480V 225A MOP	299A@480V 300A MOP	203A@480V 225A MOP	191A@480V 200A MOP
SZVAV-2	131A@ 480V 150A MOP	203A@480V 225A MOP	299A@480V 300A MOP	203A@480V 225A MOP	191A@480V 200A MOP
RTU-1	56A@ 480V 70A MOP	Existing	Existing	Existing	Existing
AHU-1	7A@120V	Existing	Existing	Existing	Existing
CU-1	18.5A@ 208V 30A MOP	Existing	Existing	Existing	Existing
AHU-2	9.5A @480V	Existing	Existing	Existing	Existing
CU-2	32.5A@480V 45A MOP	Existing	Existing	Existing	Existing
Boiler #1	--	5A@120V	--	--	--
Boiler #2	--	5A@120V	--	--	--
Primary Pump #1	--	1HP 2.1A@480V	--	--	--
Primary Pump #2	--	1HP 2.1A@480V	--	--	--
Secondary Pump #1	--	7.5HP 11A@480V	--	--	--
Secondary Pump #2	--	7.5HP 11A@480V	--	--	--
Total Load	300.2 kVA 361 A	446.8 kVA 538 A	583.4 kVA 701 A	423.8 kVA 509A	403.8 kVA 486A
Load Increase	N/A	146.6 kVA 177 A	283.2 kVA 340 A	123.6 kVA 148 A	103.6 kVA 125 A

Table # 13 – HVAC Equipment Electrical Loads – Replace Gym HVAC Units Only

Option #1A – Replace Two (2) Existing Gas-Fired SZVAV Units serving the Gym with New Hot Water / DX SZVAV Units

As previously determined in this analysis, the peak electrical load on the existing service is approximately 335A.

Based on Table #13, the new hot water / DX HVAC equipment for the gymnasium will yield an additional load of 177A, increasing the overall electrical load to 512A. This exceeds the continuous rating of the 600A circuit breaker by approximately 6.7%. Similar to Option #1, we would recommend upgrading the electrical service as outlined in the *Electrical Recommendations* section of this analysis.

Option #2A – Replace Two (2) Existing Gas-Fired SZVAV Units Serving the Gym with New All-Electric SZVAV Units

Based on Table #13, the new all-electric HVAC equipment for the gymnasium will yield an additional load of 340A, increasing the overall electrical load to 675A. This exceeds the continuous rating of the

600A circuit breaker by approximately 41%. Similar to Option #2, neither the existing electrical service nor the existing generator would be able to support new all-electric HVAC equipment for the gymnasium. Please refer to the *Electrical Recommendations* section of this analysis for additional information.

Option #3A – Replace Two (2) Existing Gas-Fired SZVAV Units Serving the Gym with New Gas-Fired DX SZVAV Units

As previously determined in this analysis, the peak electrical load on the existing service is approximately 335A.

Based on Table #13, the new Gas-Fired DX HVAC equipment will yield an additional load of 148A, increasing the overall electrical load to 483A. This exceeds the continuous rating of the 600A circuit breaker by approximately 1%. Similar to Option #3, the existing electrical service could support the proposed additional load, but it would be at maximum capacity and would not support any additional load. The circuit breakers for the proposed SZVAV units would also need to be motor operated and interlocked with the ATS/Fire pump controller so that during utility outages if the fire pump needs to start, both circuit breakers open automatically so that the fire pump will start.

Option #4A – Replace Two (2) Existing Gas-Fired SZVAV Units Serving the Gym with New Heat Pump and Gas Heating

As previously determined in this analysis, the peak electrical load on the existing service is approximately 335A.

Based on Table #13, the new Heat Pump and Gas Heating HVAC equipment will yield an additional load of 125A, increasing the overall electrical load to 460A. This is below the continuous rating of the 600A circuit breaker by approximately 4%. Similar to Option #4, the existing electrical service could support the proposed additional load, but it would be at maximum capacity and would not support any additional load. The circuit breakers for the proposed SZVAV units would also need to be motor operated and interlocked with the ATS/Fire pump controller so that during utility outages if the fire pump needs to start, both circuit breakers open automatically so that the fire pump will start.

LIFE CYCLE COST ANALYSIS

Because each system has unique advantages and disadvantages, a life cycle cost analysis was performed on each system which evaluates initial cost, operating costs, and maintenance costs associated with each system over a 30 year period.

The initial mechanical installation costs for the four options are tabulated below in Table #14.

Option	Mechanical Construction Cost	Cost/Square Foot
Option #1: Hot water & DX HVAC equipment	\$5,609,039	\$103.87/S.F.
Option #2: Heat Pump and Electric Heating HVAC Equipment	\$4,657,706	\$86.25/S.F.
Option #3: Gas Fired and DX HVAC Equipment	\$4,373,291	\$80.99/S.F.
Option #4: Heat Pump and Gas Heating HVAC Equipment	\$4,405,451	\$81.58/S.F.
<i>Note: Mechanical Construction costs indicated above include supporting electrical connection costs. Mechanical construction costs do not include costs associated with plumbing systems, future additions, or architectural renovations beyond supporting mechanical installation.</i>		

Table #14: Estimated Initial Mechanical Installation Costs

The next step of the life cycle analysis is to identify the annual operating cost based on energy, service, and maintenance costs. The estimated costs for each of these are summarized below in Table #15.

Option	Annual Energy Cost (\$)	Annual Service Cost (\$)	Annual Maintenance Cost (\$)	Total Annual Operating Cost (\$)
Option #1: Hot water & DX HVAC equipment	\$91,086	\$10,250	\$8,400	\$109,736
Option #2: Heat Pump and Electric Heating HVAC Equipment	\$101,131	\$9,700	\$8,650	\$119,481
Option #3: Gas Fired and DX HVAC Equipment	\$98,812	\$10,450	\$9,150	\$118,412
Option #4: Heat Pump and Gas Heating HVAC Equipment	\$94,604	\$10,950	\$9,650	\$115,204

Table #15: Estimated Annual Operating Cost

The final step in the life cycle analysis is to apply a present worth factor to these costs as appropriate for a 30 year life. This factor accounts for escalation in cost of utilities and discount (interest rate) over a 30 year period. Applying the factor to the costs summarized previously yields a total estimated life cycle cost for each system as summarized below.

The total 30-year life cycle cost for Option #1, Option #2, Option #3, and Option #4 are as follows:

- Option #1(Hot Water/DX) – 30 year life cycle cost = \$9,440,606
- Option #2 (Heat Pump/Electric) – 30 year life cycle cost = \$8,829,532
- Option #3 (Gas/DX) – 30 year life cycle cost = \$8,507,792
- **Option #4 (Heat Pump/Gas) – 30 year life cycle cost = \$8,427,940**

From this data the recommended Option based on a life cycle cost analysis is Option #4 (Replacement of HVAC Equipment with Heat Pump and Gas Fired Heating Backup). Option #4 appears to be the overall optimal system due to its low first cost and competitive operating cost. The full Life Cycle Cost Analysis can be found in the Appendix F.

In addition to the cost estimates for the whole building HVAC system replacement we created separate estimates for the breakout cost for providing just the Gym/Multi-Purpose are units as Phase #1.

The estimated construction costs for only addressing the Gym units for each option are as follows:

- Option #1A (Gym Unit Hot Water/DX) = \$2,657,488
- Option #2A (Gym Unit Heat Pump/Electric) = \$1,608,536
- Option #3A (Gym Unit Gas/DX) = \$1,478,891
- Option #4A (Heat Pump/Gas Heating) = \$1,492,291

A detailed comprehensive cost estimate is enclosed as Appendix G.

The final section of our report shall summarize our findings/recommendations.

SUMMARY & RECOMMENDATIONS

We hope that the preceding sections of our HVAC Analysis and Electrical Analysis have clearly identified the following major findings related to the existing HVAC systems:

1. The majority of existing HVAC systems are 20 years old and are beyond the end of their useful life expectancy of 15 to 18 years. The HVAC equipment serving the 2014 addition are nearing the end of their useful life expectancy.
2. The existing cooling systems all contain R-22 refrigerant which should be phased out of the building and be replaced with equipment that utilizes new A2L low global warming potential refrigerants.
3. The existing thermostats for the Gym are residential touch screen type without guards. We would recommend an automatic temperature control system be incorporated into the building with remote sensors protected by guards.
4. The existing ground mounted packaged units serving the Gym are not properly staged in a lead/lag fashion.
5. The smoke evacuation system exhaust fan and intake dampers are not properly fitted with air seals/gaskets.
6. The existing ground mounted packaged roof top unit serving the Gym condenser coils are damaged beyond repair. If the existing units are retained the condenser coils would require replacement.
7. The existing energy recovery wheels serving the Gym units are sensible only devices and should have been total energy recovery wheel devices to allow transfer of moisture in addition to sensible (temperature) heat. We would only recommend a total energy recovery wheel (sensible and latent) for a gym/multipurpose space HVAC application.
8. The existing energy recovery wheel serving the Gym unit did not have a filter housing on the upstream side of the exhaust air stream. All air entering the energy recovery wheels must be filtered.
9. The existing standalone automatic temperature control system is not user friendly and is very limited in its ability to schedule equipment, monitor equipment and trend equipment.
10. Both existing rooftop units serving the Gym have operational issues related to economizer operation, energy recovery wheel operation, and compressor/ condenser fan staging.
11. The existing packaged ground mounted rooftop units serving the Gym are substantially undersized when you compare the installed capacities with the calculated heating, cooling, and air flow rate calculations.

12. AHU-1 VVT damper system does not provide adequate zone temperature control or maintain Code required ventilation airflow.
13. Refrigerant piping insulation on exterior condensing units serving AHU-1 & AHU-2 is missing or in poor shape.
14. ERV serving AHU-1 & AHU-2 should be decoupled from the same to reduce outside airflow requirements and to provide demand controlled ventilation.
15. ERV serving RTU-3 should be decoupled from the same to reduce outside airflow requirements and to provide demand controlled ventilation.

Based on the above noted deficiencies/findings we previously presented three (3) HVAC options as follows:

Option #1: Hot water & DX HVAC equipment	\$5,609,039
Option #2: Heat Pump and Electric Heating HVAC Equipment	\$4,657,706
Option #3: Gas Fired and DX HVAC Equipment	\$4,373,291
Option #4: Heat Pump and Gas Heating HVAC Equipment	\$4,405,451

Table #16 – Summary HVAC Options and Estimated Construction Cost

Due to the age and condition of the existing HVAC systems, we would recommend that the HVAC Option #4 be pursued based on the Life Cycle Cost analysis. If the desire is to convert the building to “all electric” equipment than Option #2 should be implemented.

We have also provided a breakout price to address just the Gym units based on the four HVAC system options. The estimated construction cost for addressing just the Gym units is as follows:

- Option #1A (Gym Unit Hot Water/DX) = \$2,657,488
- Option #2A (Gym Unit Heat Pump/Electric) = \$1,608,536
- Option #3A (Gym Unit Gas/DX) = \$1,478,891
- Option #4A (Heat Pump/Gas Heating) = \$1,492,291

Electrical Recommendations

Our recommendations for modifications to the existing electrical and fire alarm systems in support of the proposed HVAC system modifications are summarized below. We have also prepared estimates of probable construction cost for these recommendations which are enclosed in Appendix G.

Option #1 & Option #1A – Hot Water/DX HVAC Equipment

1. Replace the existing 600A main distribution panelboard with an 800A (minimum) main distribution panelboard with 100% rated circuit breaker.
2. Replace the existing 600A service-entrance rated automatic transfer switch with a new 800A (minimum) service-entrance rated automatic transfer switch.
3. Replace 600A conductors from the utility transformer to the ATS, and from the ATS to the main distribution panelboard with 800A conductors.
4. Replace the existing 400kW generator with a new 500kW generator, or configure one or more of the SZVAV units serving the gym not to operate when the generator is running. The estimated construction costs above include the electrical costs for the proposed HVAC modifications, but they do not include the cost of a new 500kW generator. We estimate that adding a new 500kW generator will cost **\$478,962.00** and have provided a detailed cost estimate in the Appendix.

5. Provide new 480V motor operated circuit breakers in new main distribution panelboard for SZVAV units. Interlock motor operated circuit breakers with existing ATS/Fire pump controller so that breakers open if utility power is out and signal from fire pump to run.
6. Provide new 480V branch circuits from existing 277/480V branch panelboard(s) for new primary and secondary heating pumps.
7. Provide new 120V branch circuits from existing 120/208V branch panelboard(s) for new boilers, wired through normally-open enclosed contactor.
8. Provide emergency off pushbuttons at boiler room exits, interlocked with enclosed contactor serving boilers.
9. Provide carbon monoxide detector(s) in spaces with gas-fired boilers and connect to existing fire alarm system.
10. Provide new duct-mounted smoke detectors in new HVAC ductwork and connect to the existing fire alarm system.

Option #2 & Option #2A – Heat Pump/Electric HVAC Equipment

1. Replace the existing 600A main distribution panelboard with a 1200A (minimum) main distribution panelboard with 100% rated 1,000A circuit breaker.
2. Replace the existing 600A service-entrance rated automatic transfer switch with a new 1,000A (minimum) service-entrance rated automatic transfer switch.
3. Replace 600A conductors from the utility transformer to the ATS, and from the ATS to the main distribution panelboard with 1,000A conductors.
4. Replace the existing 400kW generator with a new 700kW generator, or configure one or more of the SZVAV units serving the gym not to operate when the generator is running. The cost estimates above include the electrical costs for the proposed HVAC modifications, but they do not include the cost of a new 700kW generator. We estimate that adding a new 700kW generator will cost \$679,144.50 and have provided a detailed cost estimate in the Appendix.
5. Provide new duct-mounted smoke detectors in new HVAC ductwork and connect to the existing fire alarm system.

Option #3 & Option #3A – Gas-Fired/DX HVAC Equipment

1. Provide new 480V motor operated circuit breakers and branch circuits from existing 600A/480V main distribution panelboard to new SZVAV units. Interlock motor operated circuit breakers with existing ATS/Fire pump controller so that breakers open if utility power is out and signal from fire pump to run.
2. Provide carbon monoxide detector(s) in spaces with gas-fired HVAC equipment and connect to existing fire alarm system.
3. Provide new duct-mounted smoke detectors in new HVAC ductwork and connect to the existing fire alarm system.

Option #4 & Option #4A – Heat Pump and Gas Heating HVAC Equipment

1. Provide new 480V motor operated circuit breakers and branch circuits from existing 600A/480V main distribution panelboard to new SZVAV units. Interlock motor operated circuit breakers with existing ATS/Fire pump controller so that breakers open if utility power is out and signal from fire pump to run.
2. Provide carbon monoxide detector(s) in spaces with gas-fired HVAC equipment and connect to existing fire alarm system.
3. Provide new duct-mounted smoke detectors in new HVAC ductwork and connect to the existing fire alarm system.

We appreciate the opportunity to review the HVAC systems at the Worcester County Recreation Center and look forward to reviewing our findings with you after you have had a chance to review our HVAC System Analysis Report.

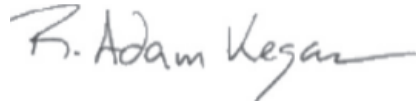
Thank you for allowing Gipe Associates, Inc. to continue to serve you and Worcester County.

Respectfully Submitted,

GIPE ASSOCIATES, INC.



David R. Hoffman, P. E., LEED AP
President



R. Adam Kegan, P.E., LEED AP
Senior Vice President



Christopher D. Holden
Electrical Project Manager



Timothy M. Copper
Electrical Design Engineer

DRH/RAK/CDH/TMC/pvm

APPENDIX

- Appendix A: Ground Mounted Rooftop Unit Submittal Data
- Appendix B: Original Mechanical Specifications
- Appendix C: Original Test and Balance Report
- Appendix D: Ventilation Calculations
- Appendix E: Heating and Cooling Load Coil Calculations
- Appendix F: Life Cycle Cost Analysis
- Appendix G: Construction Cost Estimates



Matthew Owens
Fire Marshal

Robert Korb, Jr.
Chief Deputy Fire Marshal

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1302
SNOW HILL, MARYLAND 21863-1294
TEL: 410-632-5666
FAD: 410-632-5664

MEMORANDUM

TO: Weston Young, P.E. Chief Administrative Officer
Candace Savage, CGFM Deputy Chief Administrative Officer
FROM: Matt Owens, Fire Marshal
William Bradshaw, P.E., County Engineer/Building Administrator
DATE: October 10, 2025
RE: Worcester County Fire Training Center Vehicle Storage Project Construction Award Recommendation

Proposals were received from five bidders including The Whayland Company, Harkins Contracting, Harper & Sons, Bancroft Construction and Paige Industrial Services. A proposal summary is attached in Table 1. We recommend the County award Whayland Company the base proposal including all alternates solicited to complete the project. This recommendation is the lowest cost proposal and would result in a contract with The Whayland Company in the amount of \$3,361,500. In addition, it is recommended to approve Gipe Engineering’s proposal for commissioning of mechanical and electrical systems in the amount of \$12,400 (proposal attached) to support the completion of the project. The total proposed funding for the project is \$3,640,740 which includes construction, systems commissioning and architect design services (previously contracted). Funding for the project totaling \$3,050,000 was approved through the 2022 bond. Additional funding for this public safety initiative will be provided through casino revenues.

Please let me know if you have any questions.

Thanks,

Matt

Attachments:

- Table 1 – Bid Summary
- Gipe Commissioning Proposal
- Proposed Project Site Plan and Elevation Drawings

TABLE 1

Worcester County Fire Training Vehicle Storage and Training Tower Foundation

Bids Opened October 7, 2025 at 2:30 at County Commissioners Office

Vendor name	Whayland	Harkins Contracting	Harper & Sons	Bancroft Const.	Paige Industrial Services
Base Bid	\$ 2,775,000	\$ 2,814,500	\$ 2,868,236	\$ 3,170,000	\$ 3,274,689
Alternate 1 Electrical	\$ 217,000	\$ 196,650	\$ 355,868	\$ 264,900	\$ 174,000
Alternate 2 Mech	\$ 236,000	\$ 309,070	\$ 229,100	\$ 221,700	\$ 45,000
Alternate 3 Plumbing	\$ 63,000	\$ 17,850	\$ 54,700	\$ 52,000	\$ 28,000
Alternate 4 Lightning Protection	\$ 54,000	\$ 51,050	\$ 66,650	\$ 60,500	\$ 68,000
Alternate 5 ATC Modern Cont.	\$ 16,500	\$ -	\$ 16,139	\$ 16,000	\$ 25,000
Alternate 6 Fire Prot. Bayside	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL Base + All Alts.	\$ 3,361,500	\$ 3,389,120	\$ 3,590,693	\$ 3,785,100	\$ 3,614,689
Owners Costs					
* DBF Architects	\$ 256,000.00	\$ 256,000.00	\$ 256,000.00	\$ 256,000.00	\$ 256,000.00
* Site Geotech - Harding Kight	\$ 10,840.00	\$ 10,840.00	\$ 10,840.00	\$ 10,840.00	\$ 10,840.00
Commissioning - Gipe Eng.	\$ 12,400.00	\$ 12,400.00	\$ 12,400.00	\$ 12,400.00	\$ 12,400.00
TOTAL	\$ 279,240.00	\$ 279,240.00	\$ 279,240.00	\$ 279,240.00	\$ 279,240.00
Subtotal Const+Owners Cost	\$ 3,640,740.00	\$ 3,668,360.00	\$ 3,869,933.00	\$ 4,064,340.00	\$ 3,893,929.00

* Existing Contracts previously approved



Gipe Associates, Inc.

CONSULTING ENGINEERS

P.B.#: 25389
Easton Office

June 19, 2025

Mr. William Bradshaw, P.E., County Engineer/Building Administrator
Worcester County Government
1 W. Market Street, Room 1201
Snow Hill, MD 21863

Project: Worcester County Vehicle Storage Facility - Commissioning
Reference: M/E/P and Fire Storage Tank Water Level Controls Commissioning Proposal

Dear Bill:

We are pleased to submit our fee proposal for Commissioning Services for the above referenced project.

The scope of our work would include the commissioning of the following for the new Worcester County Vehicle Storage Facility (approximately 12,300 ft²) located in Newark, Maryland:

Plumbing:

1. Backflow preventers.
2. Motorized Ball Valve serving Fire Storage Tank.
3. Gas Pressure Regulators.
4. Open Well Systems and Pressure Switches.
5. Trap priming stations.
6. Water Meters.

HVAC:

1. Air Flow Monitoring Stations.
2. Automatic Temperature Control System.
3. Carbon Monoxide Sensors.
4. Duct smoke detectors.
5. Energy recovery ventilator (Including variable frequency drives).
6. Exhaust Fans and ventilation fans.
7. Gas Furnaces.
8. HVAC controls and sequences of operation.
9. Gas fired infrared heaters.
10. Outside Air Relative Humidity Sensor.
11. Temperature Sensors.
12. Electric Unit Heaters.
13. Variable frequency drives.
14. Water Supply Wells.

1220 East Joppa Road
Suite 223
Towson, Maryland 21286
TEL 410.832.2420
FAX 410.832.2418

8719 Brooks Drive
Post Office Box 1147
Easton, Maryland 21601
TEL 410.822.8688
FAX 410.822.6306

Electrical:

1. Lighting Control Systems

In general, our scope of work shall include the work required by the Commissioning Authority (CxA) in the Specification Sections 019113 “General Commissioning Requirements, 019114 “Plumbing Commissioning Requirements”, 019115 “HVAC Commissioning Requirements”, and 260800 “Commissioning of Electrical Systems”.

The commissioning process activities to be performed during the post construction phase include:

1. Organize the commissioning process components and conduct a pre-commissioning meeting where the commissioning process requirements are reviewed with the commissioning team.
2. Coordinate and direct commissioning activities in a logical, sequential and efficient manner using consistent protocols, clear and regular communications and consultations with all necessary parties, frequently updated timelines, schedules, and technical expertise.
3. Perform site visits, as necessary, to observe component and system installations. Accomplish a statistical review of construction focusing on the Owner's design intent and the quality process.
4. Review Duct Leakage Test Reports.
5. With necessary assistance and review from the installing contractors, develop and write construction checklists. Submit to Construction Manager and Owner for approval.
6. Organize and conduct periodic commissioning team meetings necessary to plan, develop the scope, coordinate, schedule activities and resolve problems.
7. Develop functional performance tests.
8. Work with contractors in completing construction checklists and tracking of checklist completion.
9. Approve systems startup by reviewing start-up reports and by selected site observation.
10. With necessary assistance and review from installing contractors, write the functional performance test procedures. Submit to General Contractor, Mechanical Contractor and Owner for review and approval.
11. Assist General Contractor and Mechanical Contractor in direction of the contractor to execute the tests.
12. Coordinate, witness, and recommend approval of test procedure performed by installing contractors. Coordinate retesting as necessary until satisfactory performance is achieved.
13. Review air and water systems balancing reports.
14. Maintain a Master Issues Log.
15. Document the correction and retesting of non-compliance items by the contractor.

16. Review pipe cleaning, flushing, and hydrostatic testing documentation.

The Commissioning Authority (C x A) is not required to:

1. Establish design concept, design criteria, compliance with codes, design or general construction scheduling, cost estimating, or construction management. The C x A may assist with problem-solving or resolving non-conformance or deficiencies, but ultimately that responsibility resides with the Construction Manager and the Subcontractors. The C x A will report to the Owner any deficiencies or discrepancies.
2. Provide test instrumentation. All equipment required for testing shall be provided by the Contractor and/or Subcontractors not the CxA.
3. Perform testing and balancing: The test/balance contractor shall assist with field measurements during functional performance testing.
4. Manipulation of Control System: The successful Automatic Temperature Control Contractor shall be present and assist with all Functional Performance Testing and manipulation of the control system as required.

Observation and Testing Requirements

Equipment	Sampling Rate
Backflow preventers	100%
Motorized Ball Valve serving Fire Storage Tank	100%
Gas Pressure Regulators	100%
Open Well Systems and Pressure Switches	100%
Trap priming stations	100%
Water Meters.	100%
Air Flow Monitoring Stations	100%
Automatic Temperature Control System	100%
Carbon Monoxide Sensors	100%
Duct smoke detectors	100%
Energy recovery ventilator (Including variable frequency drives)	100%
Exhaust Fans and ventilation fans	100%
Gas Furnaces	100%
HVAC controls and sequences of operation	100%
Gas fired infrared heaters.	100%
Outside Air Relative Humidity Sensor	100%
Temperature Sensors	100%
Electric Unit Heaters	100%
Variable frequency drives	100%
Water Supply Wells	100%
Lighting Control System	100%

Our fee for the work as outlined above would be for the following lump sum amount:

TASK	FEE
Developing Commissioning Plan	\$200.00
Develop Pre-start/Start-Up Checklists	\$800.00
Development Functional Performance Tests	\$3,200.00
Coordinate and Document Pre-Commissioning Meeting	\$400.00
Perform Site Visits	\$800.00
Organize and Conduct Meetings	\$700.00
Review Start-Up Reports	\$400.00
Answer Contractor Questions about Pre-Testing	\$400.00
Conduct Functional Performance Testing	\$2,500.00
Coordinate with Relevant Trades to Execute Testing	\$400.00
Maintain Comprehensive Commissioning Issues Log	\$1,000.00
Back Check Commissioning Issues Log	\$1,200.00
Execute Final Commissioning Report	\$400.00
TOTAL FEE	\$12,400.00

In addition to our above fee, we would be reimbursed for direct out-of-pocket expenses plus 10%, for expenses such as travel, lodging, outside reproductions, overnight/messenger deliveries, include in-house printing per drawing at \$0.60 each for 18 x 24, \$1.20 each for 24 x 36, \$1.75 each for 30 x 42, plotting at \$5.00 per Plot, 8-1/2 x 11 copy work at \$0.10 per copy, and 11 x 17 copy work at \$0.15 per copy. We estimate our reimbursables would not exceed **\$1,000.00**. If we approach this estimated fee, we would advise you of any expected additional cost and obtain approval before proceeding.

If the basic services covered by this agreement have not been completed within six (6) months of the date hereof, through no fault of the consultant for its part of the project, extension of the consultant services beyond that time shall be considered additional services and Gipe Associates, Inc. shall be compensated based on the hourly rates listed under extra services.

Fees would be due and payable monthly directly to the Easton PO address based on our invoices showing the percentage of work completed. Payments not received within 45 days of invoice date would be subject to an additional charge of 1-1/2 percent per month (18% per annum). Gipe Associates, Inc. reserves the right to stop work on this project if payment is not received within 45 days of billing.

The following services are ***not included*** in the above fees:

- More than two (2) functional performance tests/witness of testing on any one system.
- Commissioning of existing equipment/systems except existing VAC boxes.
- Commissioning of fire protection systems.
- Reproduction of plans, specifications, or other contract documents for review or for bidding purposes, unless covered under reimbursable expenses.
- Extensive on-site Contract Administration.
- Commissioning requirements associated with LEED certification.
- Commissioning of building envelope, life safety systems, blower door testing, or fire protection systems.
- Preliminary studies, reports or feasibility analysis.
- Completion of energy efficiency rebate forms for Utility Companies, or Tax Agencies

- Tax/Utility Rebate Assistance: Gipe Associates basic fee does not include providing assistance in obtaining tax credits or utility rebates. Should assistance in filing for such tax credits and utility rebates be required, then Gipe Associates shall perform the same as additional services per the hourly rates indicated in the agreement.
- Witnessing M/E/P equipment start ups.
- Re-Commissioning of failed Functional Performance Tests (FPT's) beyond the effort listed above.
- Witnessing pipe leak-testing and duct leakage testing.
- Liability for Contractor's installation.
- Liquidated damages for delay of substantial completion due to FPT's not passing.
- Development of Training Plans.
- Witness of Training.
- Continuous Commissioning.
- Indoor Air Quality Measurements.
- Electrical Commissioning

If the above services are required, they would be considered an extra service and would be billed on a flat hourly basis at the following billing rates which include personnel salaries, overhead and profit. In addition, we would be reimbursed for our direct out-of-pocket expenses, plus 10%.

Principals	\$265.00 per hour
Project Manager	\$175.00 per hour
Project Engineers	\$125.00 per hour
Design Engineers	\$ 90.00 per hour
Clerical	\$ 75.00 per hour

This agreement may be terminated by either party after giving thirty days written notice of the intent to terminate to the other party and by payment of the balance due to Gipe Associates, Inc. This balance will be arrived at by an estimate by Gipe Associates, Inc. of the percentage completion of the project at the time of termination plus any reimbursable expense due to termination.

If you are not a corporation and subsequent to the making of this agreement you incorporate your business with or without the knowledge of Gipe Associates, Inc., you agree to be jointly and severally liable to Gipe Associates, Inc. for any indebtedness incurred by or transferred to such corporation. If you are a corporation or partnership and you are not a general partner, your signing this letter warrants that you are duly authorized to do so and you agree to be jointly and severally liable with the corporation or partnership for any indebtedness owing by them to Gipe Associates, Inc.

In the event that your account with Gipe Associates, Inc. becomes delinquent and past due, and Gipe Associates, Inc. engages the services of an attorney to collect the account, then, subject to the applicable law, you and any person jointly and severally liable with you, agree to reimburse to Gipe Associates, Inc. attorney's fees in an amount equal to 20% of the amount due, whether or not litigation is commenced and court costs.

Ownership of plans, maps, drawings and all other documents, including original drawings, field notes and data are to remain the property of Gipe Associates, Inc. as instruments of service. Upon payment of all services billed, the Owner may at his expense obtain a set of reproducible record prints and drawings and copies of other documents in consideration of which the Owner will use them solely in connection with this project and no other project.

Neither this contract nor any rights or duties hereunder may be assigned or delegated to any other person or entity without the express written consent of Gipe Associates, Inc.

We appreciate the opportunity of submitting this proposal. If these terms are agreeable, please sign and return one copy of this proposal as a letter of intent.

Sincerely,

GIPE ASSOCIATES, INC.

WORCESTER COUNTY GOVERNMENT



David R. Hoffman, P. E., LEED AP
President

Accepted: _____

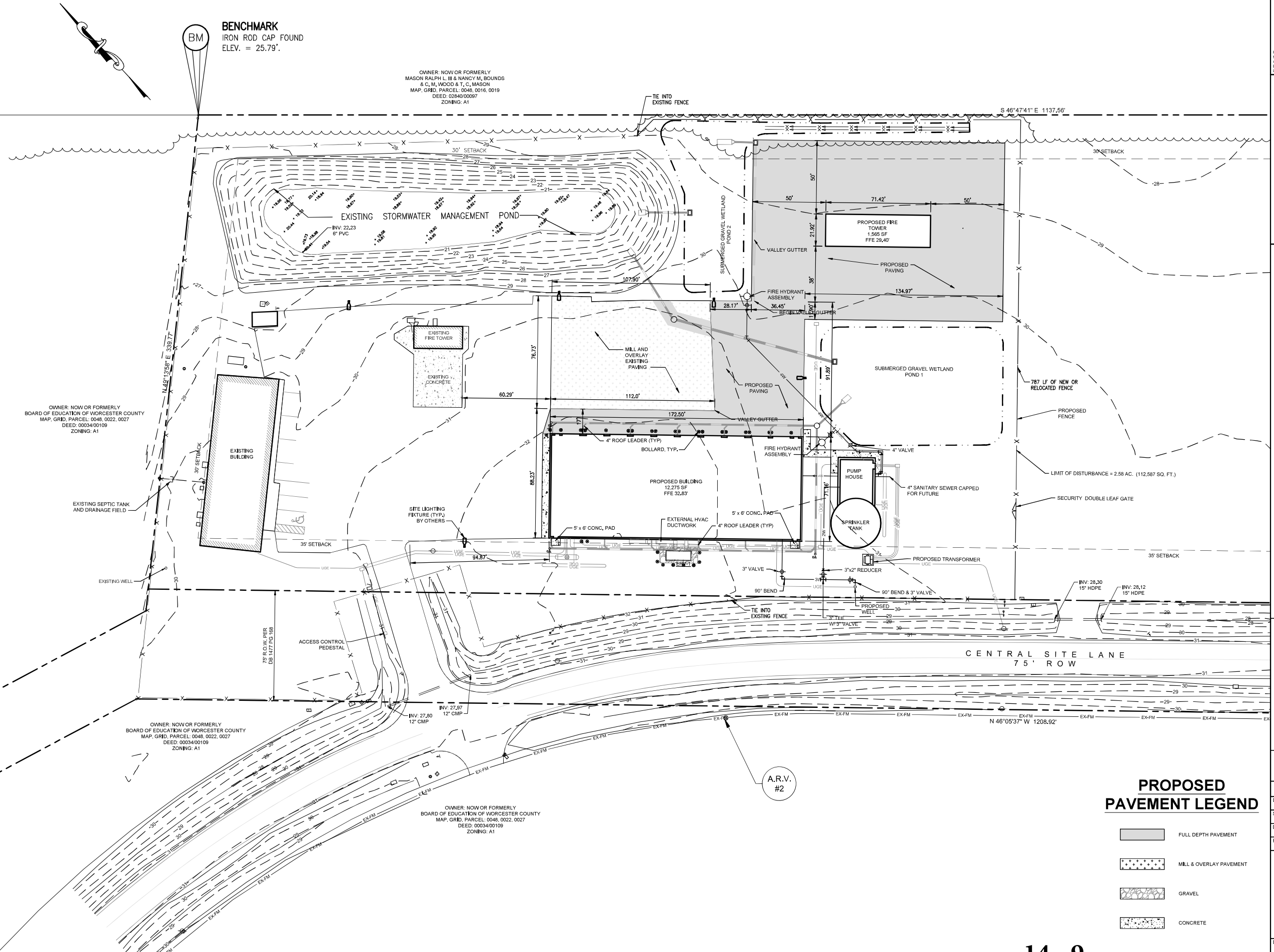
Date: _____

DRH/pvm

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer in the State of Maryland License No. 31100. Expiration Date: 01-1-27.

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS - ENGINEERS - SURVEYORS
 1107 W. PATENT AVENUE, SUITE 200
 WASHINGTON, MARYLAND 20787
 302.251.1411 FAX 302.251.1411
 410.348.9991

VEHICLE STORAGE FACILITY
CENTRAL SITE LANE
WORCESTER COUNTY, MARYLAND



BENCHMARK
 IRON ROD CAP FOUND
 ELEV. = 25.79'

OWNER: NOW OR FORMERLY
 MASON RALPH L III & NANCY M, BOUNDS
 & C. M. WOOD & T. C. MASON
 MAP, GRID, PARCEL: 0048, 0016, 0019
 DEED: 028400097
 ZONING: A1

OWNER: NOW OR FORMERLY
 BOARD OF EDUCATION OF WORCESTER COUNTY
 MAP, GRID, PARCEL: 0048, 0022, 0027
 DEED: 0003400109
 ZONING: A1

OWNER: NOW OR FORMERLY
 BOARD OF EDUCATION OF WORCESTER COUNTY
 MAP, GRID, PARCEL: 0048, 0022, 0027
 DEED: 0003400109
 ZONING: A1

OWNER: NOW OR FORMERLY
 BOARD OF EDUCATION OF WORCESTER COUNTY
 MAP, GRID, PARCEL: 0048, 0022, 0027
 DEED: 0003400109
 ZONING: A1

PROPOSED PAVEMENT LEGEND

- FULL DEPTH PAVEMENT
- MILL & OVERLAY PAVEMENT
- GRAVEL
- CONCRETE



14 - 9

Date: SEPTEMBER 2024

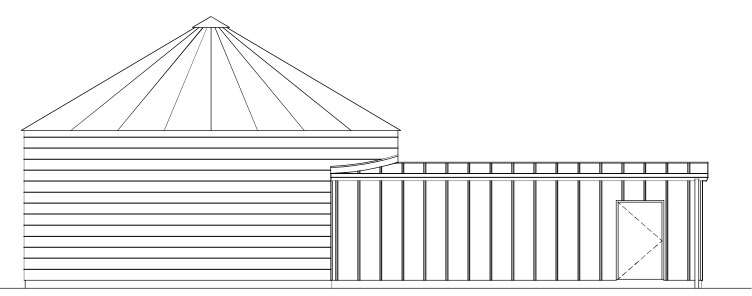
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Drawn By: ADM

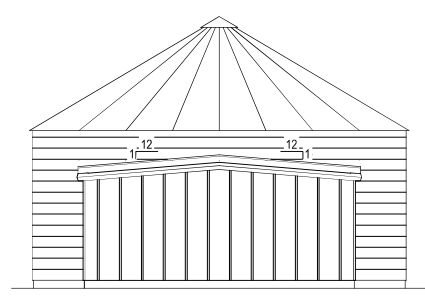
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SITE & UTILITY PLAN

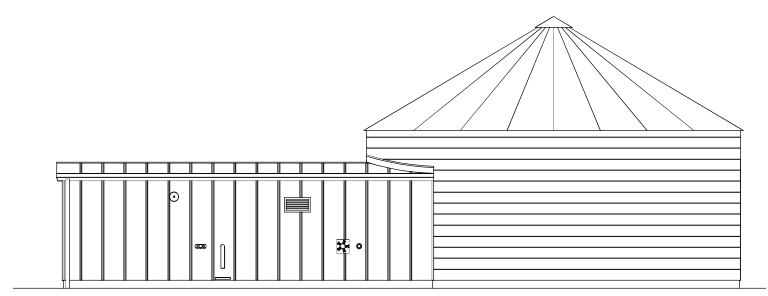
Dwg. No.: **C-101**



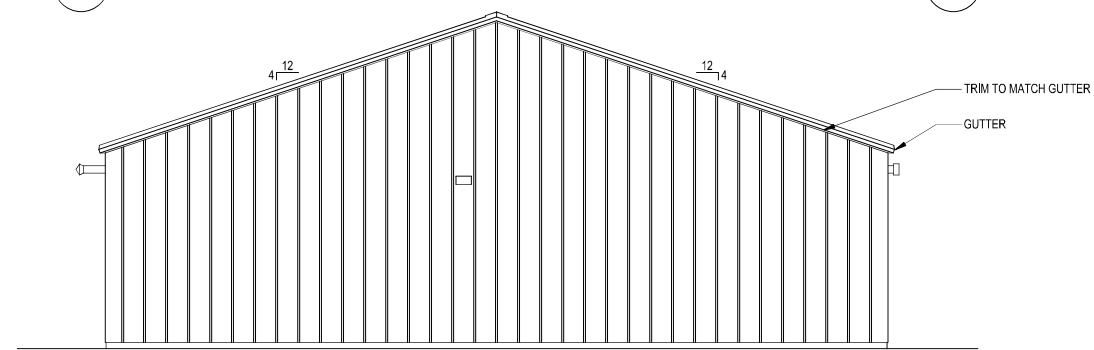
1 PUMP BUILDING SOUTH ELEVATION
 1/4"=1'-0"



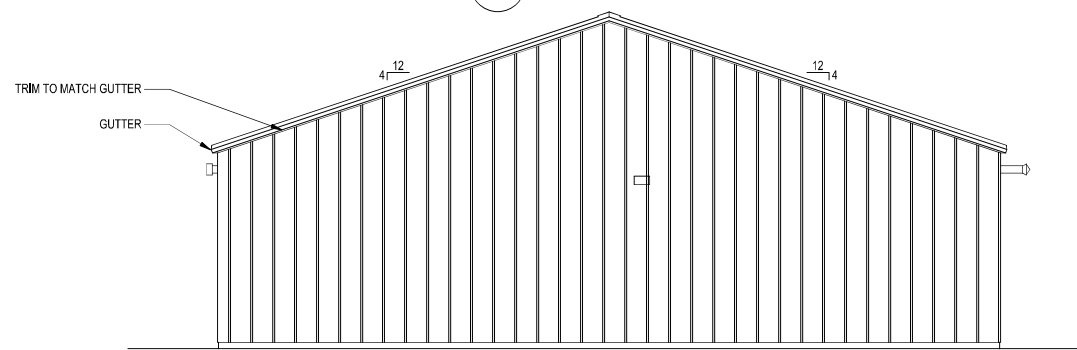
2 PUMP BUILDING EAST ELEVATION
 1/4"=1'-0"



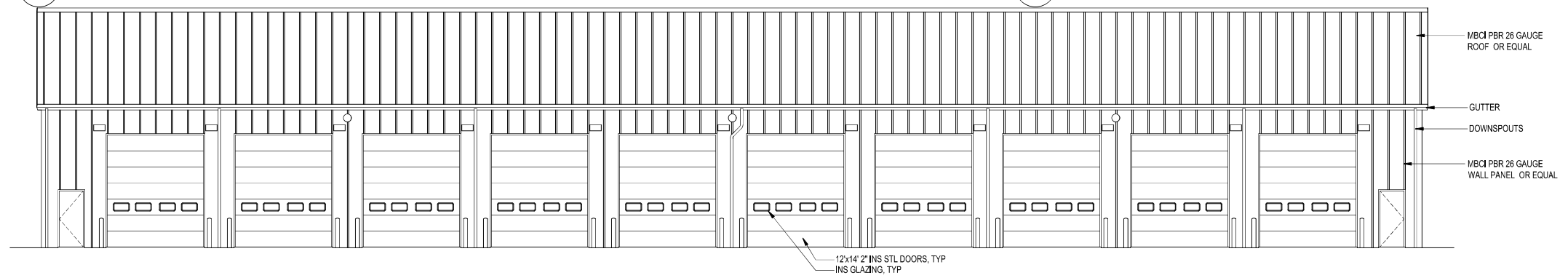
3 PUMP BUILDING NORTH ELEVATION
 1/4"=1'-0"



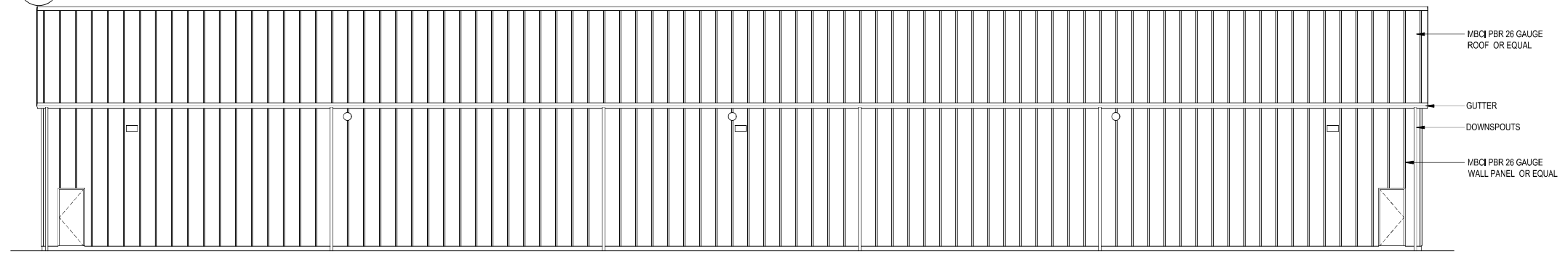
4 SOUTH ELEVATION
 1/4"=1'-0"



5 NORTH ELEVATION
 1/4"=1'-0"



6 EAST ELEVATION
 1/4"=1'-0"



7 WEST ELEVATION
 1/4"=1'-0"

Date:	8/8/2025
Scale:	NOTED
Drawn By:	WLN
Proj. No.:	0085B049.A01

EXTERIOR ELEVATIONS

TEL: 410-632-5623
 FAX: 410-632-1753
 WEB: co.worcester.md.us



Worcester County
 DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MD 21863

DALLAS BAKER JR., P.E.
 DIRECTOR

CHRISTOPHER CLASING, P.E.
 DEPUTY DIRECTOR

MEMORANDUM

TO: Weston Young P.E., Chief Administrative Officer
 Candace Savage, CGFM, Deputy Chief Administrative Officer
FROM: Dallas Baker Jr., P.E., Director *Dallas Baker Jr*
DATE: October 13, 2025
SUBJECT: Design, Permitting, CA, & Inspection of Cell 6 & 7 at Central Landfill

Public Works is requesting Commissioner approval to award EA Engineering, Science & Technology the design, permitting, construction administration, and inspection services for Cells 6 & 7 at the Central Site Lane Landfill in the amount of \$899,404.00. This item was included in the approved CIP but was not included in the FY 26 budget request because at the time of budget development, an exact amount was not known. Through previous discussions with the Treasurer's Office, this project would need to use Solid Waste reserve funds to cover the work effort. The Solid Waste reserve account has a balance over \$12 Million.

As the Commissioner may recall, the attached July 2024 informational memo outlined that Cell 5 is expected to reach the end of its useful life between December 2027 and March 2028 based on a recent EA study. The time frame to design, permit, and construct a new landfill cell before the existing Cell 5 becomes full is tight, but achievable if work begins in 2025. Of particular concern is the Maryland Department of Environment's requirement that one year's worth of data be collected from monitoring wells before the new cell can be put online. EA's work effort includes the development of those wells.

EA is being recommended for this design due to their extensive experience with the Worcester County landfills and specifically for their involvement in previous Central Site Lane landfill cell design, permitting, and construction. EA has the existing conditions drawings, recent survey data of the landfill, and is thoroughly familiar with Worcester County's Solid Waste Permit requirements which will not only reduce costs in developing the design documents but save critical time in meeting the deadline to open the new cell. If this project is not undertaken or fails to meet the deadlines, the County may experience interruptions in its ability to accept refuse at the landfill.

Please let me know if there are any questions.

Attachments

CC: Ondrea Starzhevskiy
David Candy
Quinn Dittrich

10 October 2025

Worcester County Department of Solid Waste
Director of Public Works
Mr. Dallas Baker
6113 Timmons Road
Snow Hill, Maryland 21863

Subject: Worcester County Central Landfill Cells 6 and 7 Groundwater Monitoring Wells,
Design, Permitting, Construction Administration and Inspection, and As-Built Report
EA Proposal No. 0791951

Dear Mr. Baker:

EA Engineering, Science, and Technology, Inc., PBC (EA) is pleased to offer this proposal to provide an expanded groundwater monitoring well network, engineering design and construction phase services for the Worcester County Central Landfill Cells 6 and 7. EA will engage subcontractor Survey and Mapping Companies (formerly 'AXIS Geospatial'), for aerial, and Benchmark Land Surveying, Inc. for aerial survey control, Solutions IPEM to complete the site topographic survey, and Hardin Kight Associates, Inc. (HKA) for the geotechnical investigation and monitoring well installation.

The Worcester County Central Landfill is located at 7091 Central Site Lane, Newark, MD 21841. EA's Ocean Pines' office has experience working at Worcester County Landfill and is familiar with the Federal, State, and local design and permitting requirements. EA has performed the current Solid Waste Management plans and the design of landfill cells under separate contracts. EA adhered to strict project deliverable schedules to allow permit approval and construction to be completed in time for needed operations.

SCOPE OF WORK

The following provides EA's detailed project approach for performing the scope of work. The scope has been divided into the tasks and subtasks noted below, which are described in detail in this section of the proposal. Based on EA's extensive knowledge of the site, our recent design and construction of Cell 5, and our support to date related to approvals for the clearing for the monitoring wells installation within the southern area of the site, EA has developed the following scope of work. Assumptions used to develop the upset limit for each task are also presented.

Task 1 – Pre-Design Services

Prior to initiating the detailed design of the landfill cell, EA will subcontract the survey, geotechnical investigation, and monitoring well installation required for this project.

This proposal includes data that shall not be disclosed outside Worcester County and shall not be duplicated, used, or disclosed—in whole or in part—for any purpose other than to evaluate this proposal. If, however, a contract is awarded to this offeror as a result of—or in connection with—the submission of this data, Worcester County shall have the right to duplicate, use, or disclose the data to the extent provided in the resulting contract. This restriction does not limit the Worcester County's right to use information contained in this data if it is obtained from another source without restriction. The data subject to this restriction are contained in the entire document.

Task 1A - Survey Services

EA will initially subcontract with Benchmark Land Surveying to establish the necessary aerial survey control targets. Benchmark has historically established the aerial survey control at the CLF for the annual tonnage reporting requirements. The targets will consist of reestablishing the historical 10 targets that are utilized for the mapping of Cells 1 through 5, plus an additional 4 targets, one within the Fall 2025 tree clearing area and three along Cedartown Road.

EA will then subcontract with Survey and Mapping Inc. (SAM) to perform the aerial survey of the area for the proposed southern landfill Cells 6 and 7 in addition to the annual Cells 1 through 5 area. The surveying captured for Cells 1 through 5 will be utilized to develop the 2025 Annual Tonnage report exhibit. The survey of the southern area will be utilized for the design of Cells 6 and 7. The aerial survey will be performed utilizing LIDAR technology to allow for data to be captured through the existing tree cover on the southern portion of the site. SAM will create a topographic map to use for the design utilizing 1-foot contours. Approximate 270 acres of existing and proposed landfill area will be aerial surveyed. SAM will provide EA with an AutoCAD Civil3D CAD file with 1-foot contouring and LandXML surface file.

EA will also subcontract with Solutions IPEM to perform any remaining detailed field-run topography that is unable to be accurately captured with the aerial surveying. EA assumes that interfaces between the proposed landfill footprint and the existing facilities may need to be captured, especially as it relates to features within channels where surface water may obscure the aerial topography. EA assumes that this field effort will be limited to three days in the field for topography and up to two days for control setup. Solutions IPEM will also survey locations of geotechnical borings in both horizontal and vertical datums. The borings will be presented on a topographic map with accurate horizontal and vertical data. Similarly, to the borings, groundwater monitoring wells will be surveyed. This will include horizontal data, as well as vertical (ground surface and top of PVC casing).

Task 1B - Geotechnical Analysis

A geotechnical investigation will be performed within the Cell 6 and 7 footprint to verify suitability of the site for construction of the landfill cell and further classify site soils for the bidding documents. EA will be working with HKA to perform field geotechnical analysis. EA assumes 5 borings for each cell and 2 borings for the new leachate storage tank for a total of 12 borings. Each boring will be drilled to a maximum depth of 30 feet below existing grade elevation. The borings will be equally spaced over Cells 6 and 7 to determine stratigraphy, and to evaluate the suitability of the soils for subbase construction and characterize remaining soil for bidding. Work will not be performed in areas identified as wetlands.

During drilling, standard penetration tests will be performed using a split-spoon sampler in accordance with ASTM D-1587. Soil classification, gradation, moisture density, and permeability analyses will be conducted on the samples. A summary report on the geotechnical results will be prepared and included in the Design Basis Report.

Use or disclosure of data contained on this sheet is subject to the restriction on the title page of this proposal.

Task 1C – Groundwater Monitoring Well Installation and Development

In addition to the geotechnical investigation, EA will subcontract HKA for the installation of the additional MDE required groundwater monitoring wells. A network of 19 pairs (38 total wells) is currently required by MDE. The following groundwater monitoring well installation scope is proposed:

- One Mobilization/De-mobilization
- Drill and install 19 Shallow (~20ft bgs) - 4” Groundwater Monitoring wells. Well depth will be determined in the field. Steel well casing with a stick-up height of 24-inches. EA assumes 10-ft of screen.
- Drill and install 19 Intermediate (~80ft bgs) - 4” Groundwater Monitoring wells. Well depth will be determined in the field. Steel well casing with a stick-up height of 24-inches. EA assumes 20-ft of screen.
- One round of well development for the 38 - 4” Groundwater Monitoring Wells by air lifting or surge block and over pumping
- Install 38 Groundwater Monitoring Well steel casings/covers and 2’x2’ concrete pad. Wells shall have well plugs. Steel casing shall be placed in 3-foot concrete bgs.

Groundwater Monitoring Wells will be constructed in accordance with the Maryland Department of the Environments “Specifications for the Design and Construction Of Groundwater Monitoring Wells At Solid Waste Disposal Facilities”. Well locations will be field identified and upon the direction of EA and verified by MDE. A minimum of one split spoon sample above and below the predicted depth to clay will be performed. Well screens for wells may be adjusted to reflect standard lengths if a cost savings can be obtained by not requiring cutting specific lengths. It is assumed that the proposed groundwater monitoring well locations will be accessible without additional clearing performed by HKA. EA will coordinate with the County under a separate scope of work if additional permitting is required to access the proposed locations in areas where forested wetlands have been delineated.

EA will provide part-time oversight of the groundwater well installation. EA’s oversight will be sufficient to verify well depths and well screen elevations. EA assumes 200 hours for EA’s construction inspector for oversight of the groundwater monitoring wells.

Task 2 – Design Basis Report

Although many of the design features are permitted, project-specific design documents must be prepared for construction and MDE approval. EA will perform project-specific design



calculations, apply design criteria, and review compliance with codes in the final submission. It is anticipated that this will include:

- Drainage control calculations
- Sediment control devices analysis
- U.S. Environmental Protection Agency HELP model used to estimate leachate volumes after soil cover is placed
- Quantities of construction materials/earthwork summary
- Leachate collection, conveyance system
- Leachate pumping and storage capacity analysis
- Results of the geotechnical investigation

Leachate Storage Analysis and Tank Design

EA will collect leachate generation data from the County that has been collected from operational cells and will project quantities of leachate anticipated from Cells 6 and 7. Capacities of the high-density polyethylene (HDPE) header pipe, proposed side slope withdrawal system, leachate storage tanks, and leachate pumping station will be analyzed. Recommendations for upgrades will be made, if necessary, based on engineering analysis. Based on this analysis, our proposal includes the design for a new leachate storage tank. The geotechnical subcontractor noted above shall provide a recommendation for a foundation design for the leachate tank. Based on the existing leachate storage tank, it is anticipated that pilings will be required. EA assumes the leachate tank vendor will provide the leachate tank piling design. EA shall complete the secondary containment, PSCC, and capacity analysis and design. The findings and recommendations will be included in the Design Basis Report.

The Design Basis Report will be provided at the 60%, 90%, and Final documents.

Task 3 – Cell 6 and 7 Design

EA's approach to the design will be completed in subtasks consisting of pre-design, design, operations report, bidding services, and quality control/quality assurance plan. The proposed area of both Cell 6 and 7 will be within the permitted footprint. A portion of each Cell 6 and 7 has delineated forested wetlands. EA's proposed approach is to design the initial subcells, perimeter berm, and access road, outside of the delineated wetlands. Wetland mitigation impacts, design and permitting are not included in this proposal. The subtasks below detail each of the items.

The design features of the Worcester County Landfill are permitted and shown on previous cell development plans. EA is familiar with the designs and will utilize permitted details and revise or improve as necessary. EA will obtain County and MDE approvals on recommended changes. EA is experienced with the requirement to take the permitted concept plans and produce bid documents. During the design, EA is required to maintain close contact with MDE and

Worcester SCD and continue professional services through construction. It is assumed that any revisions will not result in a formal modification to the permitted design.

EA will prepare detailed construction plans and specifications and as required for the construction of Cells 6 and 7. The Cell 6 and 7 design will be prepared in compliance with the site's current Refuse Disposal Permit, the Phase III plans approved for the site, and applicable federal, state, and local regulations. The plans will be prepared and sealed under the supervision of Darl Kolar, P.E., a Professional Engineer licensed in Maryland.

Subtask 3.1 – Stormwater Conveyance Management and Erosion and Sediment Control

The aerial extent of the Cell 6 and 7 footprint is approximately 50 acres. This is a significant area of open landfill based on typical tonnage received. It is therefore good practice to segregate areas into operational subcells allowing for temporary diversion of stormwater separate from the leachate collection system. The obvious benefit received from this practice is the greatly reduced leachate handling expenses.

The design will include stormwater conveyance to divert runoff from outside the limits of Cells 6 and 7 to new perimeter drainage ditches that convey stormwater runoff around the boundary of Cells 6 and 7. The perimeter conveyance features will be designed to accommodate the conveyance of the 100-year storm event.

In addition to the perimeter conveyance features, EA will design a stormwater management pond to perform water quantity management prior to discharging from the site. It is anticipated that the pond will be located near the northwestern corner of the southern area and will discharge to the existing stream that enters into the pond to the west of the administration facilities. The pond will be designed to manage the peak discharge from the site between pre-development activities (forested cover) to post-developed conditions minimally for the 10-year storm event. The passage of the 100-year storm will be accommodated via emergency spillway to prevent the trapping and backwatering of the landfill cell areas.

EA anticipates that stormwater quality design will not be required for the landfill cell footprint. However, EA anticipates that environmental site design quality design will be required for new impervious coverage. EA will design the necessary stormwater management ESD facilities in accordance with Worcester County and State of Maryland requirements. EA anticipates that the facilities will be submerged gravel wetlands due to the existing forested hydrology of the site. EA will permit the proposed stormwater management design through Worcester County Environmental Programs.

EA will develop an erosion and sediment control plan for the project in accordance with Worcester SCD and State of Maryland requirements. EA anticipates that the design will include the establishment of sediment basin(s), perimeter silt/super silt fence, and dewatering accommodations.

The proposed areas of tree clearing for Cells 6 and 7 have been permitted and approved by MDE and Worcester SCD. Therefore, EA assumes that a natural resources investigation and permitting will not be required. EA's proposal does not include effort for wetland delineation, permitting, wetland mitigation, forest stand delineation or rare, threatened, and endangered species.

Subtask 3.2 – Construction Drawings

A set of construction drawings suitable for competitive bidding and in conformance with the Phase III Permit and the site Refuse Disposal Permit will be developed. The drawings will conform to the concept design permitted by MDE and meet the RCRA Subtitle D regulations. EA will incorporate appropriate design features as identified by review of site conditions, site borings, related documents, and County preferences. If substantial changes are found to be required, these will be presented to MDE for review and approval; however, this is not anticipated to be required based on review of the existing documents. EA will review the County's General Conditions and incorporate them into the bidding package. For this proposal, EA anticipates two submittals will be provided to MDE for review and approval.

EA will provide plans and specifications to the County for review at the 60%, 90%, and Final level. County comments will be incorporated into the 90%, and Final review set. Drawings are to be produced using AutoCAD 2022 by Autodesk. Electronic copies in a .dwg format will also be provided to the County.

EA will incorporate existing landfill features and ongoing County operations into the cell design. Details and plans will be provided to allow for tie-ins to existing operational cells' future operations and vehicular access (i.e., truck traffic). The following will be considered:

- A base map indicating the overall limits of the work to include the horizontal and vertical control points necessary for baseline and construction stakeout. These points will consist of the permanent controls located currently on the site.
- Grading plans and cross-sections, as necessary, for the preparation of the cell floor subgrade and other related site preparation, which will include stakeout and alignment data.
- Sediment and erosion control details indicating the type and location of appropriate features, such as existing stormwater basins, silt fences, or diversions. Existing sediment control basins serve the site. These structures have appropriate drainage and outflow devices in place.
- Plans and details for the construction of a leachate collection, conveyance, and storage tank system including cleanouts.
- Plans and details for installation of geomembrane liner system, including subgrade, drainage layer, and details for pipe/liner penetration boots. EA will design Cells 6 and 7 to incorporate the same type of landfill liner system approved in prior Cells. EA will design all liner anchor systems, welds and connections to the existing liner and cell separation systems.

- Cross-section indicating limits of excavation, structural fill, and collection system. Limits of excavation will be defined by review of site data and borings. Limits of unsuitable fill will be identified for removal.

Below is a list of anticipated drawings:

<u>Drawing Number</u>	<u>Title</u>
1	Cover Sheet
2	Overall Site Plan
3	Existing Conditions Plan
4	Excavation / Subgrade Plan with earthwork quantities
5	Subbase/Liner Plan
6	Top of Liner System Plan
7	Liner System Details I
8	Liner System Details II
9	Cross-Sections
10	Cell 6 and 7 Access Road
11	Leachate Storage Tank
12	E&S Details I
13	E&S Notes
14	Mechanical and Electrical Plan
15	Mechanical and Electrical Details

Subtask 3.3 – Specifications

Project-specified contract documents and technical specifications (Special Provisions) will be developed to complement the construction drawings. These specifications have been tested on numerous municipal landfill construction projects and reduce potential for claims and project delays. Specifications will be prepared in the Construction Specification Institute (CSI) format and will include materials of construction and associated minimum physical properties, and placement and implementation procedures of the items required to complete the facility in accordance with good engineering practice and the approved plans and specifications. Quality assurance and quality control (QA/QC) for structural fill, clay subbase, aggregates, membrane liner, piping, other geosynthetics, survey, and all critical phases of construction will be detailed. QA/QC specifications will include both manufacturing and construction requirements. The technical specifications and design, as approved by MDE for the construction of the permitted facility, will be used as applicable.

The County will provide the General Conditions and other general contract requirements. Below is a list of anticipated specification sections.

DIVISION 0 – PROCUREMENT

IFB	INVITATION FOR BIDS
SECTION 00 31 19	EXISTING CONDITION INFORMATION

Use or disclosure of data contained on this sheet is subject to the restriction on the title page of this proposal.



SECTION 00 52 13 SAMPLE CONTRACT
SECTION 00 71 00 CONTRACTING DEFINITIONS
SECTION 00 73 00 SUPPLEMENTARY CONDITIONS

DIVISION 1 – GENERAL REQUIREMENTS

SECTION 01 11 00 SUMMARY OF WORK
SECTION 01 20 00 MEASUREMENT AND PAYMENT
SECTION 01 26 00 CONTRACT MODIFICATION PROCEDURES
SECTION 01 31 19.13 PRECONSTRUCTION MEETING
SECTION 01 31 19.23 PROGRESS MEETINGS
SECTION 01 32 33 PHOTOGRAPHIC DOCUMENTATION
SECTION 01 33 00 SUBMITTALS
SECTION 01 40 00 QUALITY CONTROL
SECTION 01 45 00 HEALTH AND SAFETY
SECTION 01 50 00 MOBILIZATION, DEMOBILIZATION, AND TRAFFIC CONTROL
SECTION 01 58 13 PROJECT IDENTIFICATION AND SIGNS
SECTION 01 59 00 TEMPORARY FACILITIES AND CONTROLS
SECTION 01 70 00 EXECUTION AND CLOSEOUT REQUIREMENTS

DIVISION 2 – EXISTING CONDITIONS

SECTION 02 41 00 DEMOLITION

DIVISION 26 – ELECTRICAL

SECTION 26 00 00 ELECTRICAL GENERAL
SECTION 26 05 19 CONDUCTORS AND CABLES
SECTION 26 05 26 GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS
SECTION 26 05 33 CONDUIT AND RACEWAY SYSTEMS
SECTION 26 05 43 UNDERGROUND DUCTS AND RACEWAYS
SECTION 26 05 53 IDENTIFICATION FOR ELECTRICAL SYSTEMS
SECTION 26 09 16 MISCELLANEOUS ELECTRICAL CONTROLS
SECTION 26 27 26 WIRING DEVICES

DIVISION 31 – EARTHWORK

SECTION 31 05 15 EARTHWORK
SECTION 31 05 16 AGGREGATES
SECTION 31 05 19.13 GEOTEXTILES
SECTION 31 05 19.16 GEOMEMBRANE LINER
SECTION 31 05 19.26 GEOCOMPOSITE
SECTION 31 11 00 CLEARING AND GRUBBING
SECTION 31 25 00 EROSION AND SEDIMENT CONTROL

DIVISION 32 – EXTERIOR IMPROVEMENTS

SECTION 32 11 23 BASE COURSE AND ASPHALT PAVEMENT
SECTION 32 92 00 TURF AND GRASSES



DIVISION 33 – UTILITIES

SECTION 33 31 00 PIPING AND APPURTENANCES
SECTION 33 32 00 LEACHATE TANK

EA will prepare project-specific Supplementary Conditions and Bid Form to complete the package. Pay items will be explained and detailed clearly to mitigate change order claims.

Subtask 3.4 – Cost Estimate

EA will prepare an Engineer’s Cost Estimate for the construction, compiled from historic pricing, data for earthwork items, project experience, current geosynthetic pricing research, and materials included in the leachate collection system. EA will provide Worcester County with an Engineer’s Cost Estimate at 60%, 90%, and Final submission. The submitted format will follow the Bid Form prepared by EA for the Construction Bidding Documents. EA’s engineering estimates have typically been in the lower range of contractors’ submitted bids, reflecting our understanding of the project requirements. This accuracy is beneficial to the County, enabling realistic budgeting and planning figures.

Subtask 3.5 – Operations Plan

EA will develop a waste filling (“Phasing”) operations plan to complement the construction drawings. EA will provide sheets at 1 inch = 50 feet showing the initial phases of waste placement and limits. The Operations Plan will also detail how the stormwater diversion berm is to be operated and methods for controlling surface water run-on to the operating landfill.

Subtask 3.6 – Bidding Services

The following services comprise an anticipated scope of work during the bidding/negotiation process:

- Attend a pre-bid conference; answer bidders’ questions; and prepare meeting minutes for the County at the pre-bid. EA will also present design features of the project to bidders, if requested by the County. EA will prepare addenda to the bidding documents in response to questions or issues raised at the pre-bid conference, if appropriate.
- Respond to addenda questions provided by the County; interpret, clarify, and expand the Bidding Documents as necessary.
- Consult with and advise the County as to the acceptability of subcontractors, suppliers, and other persons and organizations proposed by the prime contractor(s) for those portions of the work in which such acceptability is required by the Bidding Documents.
- Consult with the County to determine the acceptability of substitute materials and equipment proposed by the Bidders. EA will review bids received by the County for conformance to the contract requirements and issue a written opinion of the bids received and recommend award to a bidder.

Subtask 3.7 – Quality Assurance/Quality Control Plan

A QA/QC Plan is required by MDE. EA has prepared these types of documents for other construction projects to assist the field representative in assuring that construction is completed in accordance with the Contract Documents and permitting requirements. The document is, in short, a summary of field testing and observations required to be carried out by the Resident Inspector that are noted in the Contract Documents. This will allow a summary to be readily available for use by the Inspector and include the tests required and frequency. For example, QA/QC would include when soil compaction tests are required and at what frequency, liner testing requirements both on-site and by outside lab, etc. It would also include necessary items such as MDE notifications required during construction (liner installation, subgrade, etc.). EA will conduct an initial plan review meeting with the inspector and two follow-up meetings at critical construction periods to assist the Inspector in understanding the QA/QC requirements. EA will submit the required Cell 6 and 7 QA/QC Plan to MDE for approval.

Task 4 - Construction Administration Services

EA will assist the County during the construction phase of the project. The construction period is anticipated to be 12 months. The County will provide inspection staff and general administrative oversight of the contractor during construction. EA will provide the following services:

- Attend a pre-construction conference.
- Attend twelve monthly construction meetings on-site and four additional site visits.
- EA will accept shop drawings from the County and review for conformance to the specifications. Shop drawings will either be marked “approved,” “approved as noted,” “revise and resubmit,” or “not approved.” Standard review language for shop drawing review by the Engineer as published by the Engineers Joint Contract Documents Committee will be stamped on the shop drawings. Shop drawings will be returned within 7 working days to the County/Contractor as required. EA will also review the results of test results submitted by the contractor for conformance to the specifications.
- EA will review change order requests from the contractor. EA will evaluate costs, schedules, technical feasibility, and conformance to the contract documents. Recommendations will be made to the County as to implementation and cost concurrence.

Subtask 4.1 - Review and coordination of shop drawing and submittals

EA will review material submittals, test results, and shop drawings provided by the Contractor. EA will review and make recommendations upon submittals within 14 calendar days of receipt. EA will review submittals for conformance to the Contract Documents, maintain a submittal log, and provide an engineering stamp on submittals with status of the review. It is assumed that electronic copies will be provided by the Contractor. EA will copy the County on “approved” or “approved as noted” submittals. EA assumes the Contractor will follow submittal procedures

outlined the specifications, not require excessive instructions, and no more than two re-submittals will be required for any of the shop drawings. EA will review up to 45 submittals.

Subtask 4.2 - Review of Requests for Information, Change Orders

A will assist the County in the negotiation and review of Change Order Requests (COR) and Requests for Information (RFI) resulting from variations in the site conditions or discrepancies in the Contract Documents. This will be performed by processing and managing the flow of the distribution of CORs and RFIs. EA will organize and maintain an up-to-date information system that will track the status and approval of the COR and RFIs. EA assumes a review of up to twelve RFIs and six CORs.

Task 5 - Construction Inspection Services

It is important that sufficient and proper oversight and inspection controls are in place during construction activities to monitor Contractor activities. EA will provide a qualified Construction Inspector during construction of the Cell 6 and 7 project. EA assumes a 12-month contract duration. EA proposes to provide full-time construction inspection services during construction. If construction activities are minor, weather impacts or other activities do not require inspection staff, EA will consult with the County to determine if on-site time is necessary. The primary goal of the construction inspection task is to monitor Contractor's activities to ensure that the work is being performed in accordance with the Contract Documents.

Proper documentation of construction activities and correspondence provides protection for the County to assure that construction is in conformance with the Contract Documents. EA will assign a Construction Inspector for the duration of construction. The Construction Inspector utilized will be competent and experienced in the area of construction oversight of excavation, landfill cell construction, leachate tank installation, pump station, earthwork, concrete, and asphalt paving. The Construction Inspector will serve as the "eyes and ears" for the County while onsite during these activities. Specifically, EA's Construction Inspector will provide the following services:

- Attend pre-construction meeting, progress meetings, pre-final and final walkthroughs.
- Track and review submittals (i.e., surveys, shop drawings, cut sheets, samples, etc.)
- Prepare reports of Contractor activities when on the job site, including weather conditions, data relative to questions of extras or deductions: material and equipment deliveries and subsequent installation, personnel and equipment working at the site, visitors to the site and all testing procedure and results if available.
- Maintain a photographic record.
- Verify QC activities are being carried out per the Contract Documents (materials testing)
- Oversee that field conformance tests will be conducted in accordance with the specifications and compared to the required values. Should discrepancies exist, EA will recommend to the County that the Contractor correct these discrepancies.



Mr. Dallas Baker
 Director of Public Works
 10 October 2025
 Page 12

As-Built Report

Following completion of the cell construction, EA will prepare the as-built report that documents all QA/QC activities from the start of construction to completion in accordance with MDE requirements.

PROPOSED SCHEDULE

The following schedule is anticipated by EA. The schedule assumes design completion within 240 calendar days, exclusive of County review and permitting approvals. Days are calendar days.

Pre-Design Activities	Notice to Proceed + 50 days
60% Design Submittal	Notice to Proceed + 120 days
90% Design Submittal	Receipt of 60% Review Comments + 60 days
Final (100%) Submittal	Receipt of 90% Review Comments + 45 days
Permitting	Assume 3 Months and overlapping the 90% Design.
Construction Phase	12 Months
As-Built Certification Report	2 Months

PROPOSED FEE

EA will complete this scope of work on a fixed price basis per task outlined below. Efforts will be conducted in accordance with Worcester County’s Standard Terms and Conditions including previously mutually agreed modifications (attached).

Task 1A – Pre-Design Services - Survey	\$ 39,680.00
Task 1B – Pre-Design Services – Geotechnical	\$ 41,560.00
Task 1C – Pre-Design Services – GW Monitoring Wells	\$ 304,541.00
Task 2 – Design Report	\$ 43,079.00
Task 3 – Design Services	\$ 151,366.00
Task 4 – Construction Administrative Services	\$ 102,064.00
<u>Task 5 - Construction Inspection Services</u>	<u>\$ 217,114.00</u>
TOTAL	\$ 899,404.00

EA appreciates this opportunity to provide these services to Worcester County. Please call me at 410-491-0429 if you have any questions.

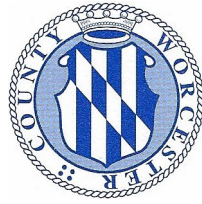
Sincerely,
 EA ENGINEERING, SCIENCE, AND TECHNOLOGY, INC., PBC

Darl Kolar, P.E., BCEE
 Senior Project Manager

cc: Laura Oakes, P.E. (EA)

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 WEB: co.worcester.md.us



Worcester County
 DEPARTMENT OF PUBLIC WORKS
 6113 TIMMONS ROAD
 SNOW HILL, MD 21863

DALLAS BAKER JR., P.E.
 DIRECTOR

CHRISTOPHER CLASING, P.E.
 DEPUTY DIRECTOR

MEMORANDUM

TO: Weston Young P.E., Chief Administrative Officer
 Candace Savage, CGFM, Deputy Chief Administrative Officer
FROM: Dallas Baker Jr., P.E., Director *Dallas Baker Jr*
DATE: July 18, 2024
SUBJECT: Central Site Lane Landfill – Cell 5 Life Expectancy

Public Works wants to share with the Commissioners that the current life expectancy of Cell 5 at the Central Landfill is approximately 3 more years. Calculations from EA, based on current usage rates, project we will reach our permitted height limit between December 2027 and March 2028. The later date is dependent on a height extension approval from MDE. Public Works has already begun the process of preparing and permitting the next expansion into Cells 6 & 7. However, there are potential funding challenges ahead.

For reference, Cell 5 was opened in 2021 and cost approximately \$13.3 Million to construct. There is currently \$12 Million in Solid Waste reserves. Between now and when Cell 6 construction would start, the MDE required methane gas collection system will also need to be built. The current cost estimate for the collection system is approximately \$4 million, \$1 million per closed cell, leaving \$8 million for Cell 6 construction. Additional funding sources are likely to be needed to construct Cell 6.

Please let me know if there are any questions.

Attachment

CC: Chris Clasing
 David Candy
 Phil Thompson
 Jessica Wilson
 Quinn Dittrich



11200 Racetrack Road Unit 101A
 Ocean Pines, MD 21811
 Telephone: 410-641-5341
 Fax: 410-641-5349
 www.eaest.com

April 17, 2024

Mr. Dallas Baker Jr. P.E.
 Director
 Worcester County Department of Public Works
 6113 Timmons Road
 Snow Hill, MD 21863

Re: Central Landfill Facility Cell 5 – Capacity Evaluation: 1-year evaluation

Dear Mr. Baker:

EA Engineering, Science and Technology, Inc. PBC (EA) has completed the capacity analysis for Cell 5 at the Central Landfill Facility based on the aerial survey December 2023 and the March 2023 Annual Tonnage Report to compute actual waste density and available volume.

Utilizing the anticipated waste to be placed in Cell 5 from incoming waste to the facility, Cell 5 has an estimated remaining capacity until December 2027 as permitted.

Should the Maryland Department of the Environment (MDE) permit placing an additional 8-foot vertical lift, Cell 5 could have remaining capacity until March 2028. Below is a summary table showing the available capacity and timeline associated with the permitted and 8-foot vertical expansion based on the 2023 Annual Tonnage Report waste placement.

	Total Volume Remaining (cy)	Bulk Material Density (lbs/cy)	Remaining Capacity (Tons)	Months Remaining	Approximate Date Filled
As permitted	581,290	829	240,828	46.0	December 2027
8-ft vertical lift	647,468	829	268,246	51.1	March 2028

EA recommends that a letter be prepared and transmitted to MDE requesting the placement of an additional 8-foot lift to provide additional time to design Cell 6, obtain approval to construct, and construct the cell.

Please feel free to contact me at (410) 641-5341 with any questions or comments.

Sincerely,
 EA Engineering, Science, and Technology, Inc., PBC

Steven Lemasters, P.E.,
 Project Manager

Cc: Geoffery Tizzard, P.E., EA
 David Candy, Worcester County



Project	Worcester County Central Landfill	Project No.	1060932
Subject	Cell 5 Remaining Capacity Analysis	Sheet No.	1 of 1
	Based on the 2023 Tonnage Report and Survey	Drawing No.	
Computed by	NWH	Date	03/04/2024
		Checked by	SCL
		Date	

OBJECTIVE:

Determine the remaining capacity of Cell 5 based on the 2023 tonnage reports and 2023 aerial survey and landfilling operations to the currently permitted height of elevation 108. Elevation of 106 was utilized based on the analysis utilizing total air space which includes the daily and final cover. Provide a recommendation to Worcester County regarding the appropriate timeline for the construction of Cell 6.

PROCEDURE:

Dec. 4, 2023 Survey and Mapping, LLC (SAM)

Using AutoCAD Civil 3D 2023 (CAD), perform a volume analysis based on Cell 5's surface from the aerial survey for 2023.
151,900 cubic yards (cy). (12 months)

2023 Annual Tonnage Report

Acquire the total tonnage placed within the landfill cell for the year of 2023 from their respective tonnage report.
62,938 tons (12 months)

Calculate the bulk density of material placed between aerial surveys.
 $62,938 \text{ tons} * 2000 \text{ lbs/ton} / 151,900 \text{ CY} = 829 \text{ lbs/cy}$ or
(0.4143 tons/cy)

Dec. 4, 2023 Aerial Survey

Using CAD, perform a volume analysis for material placement from 2023 to the final design grades to elevation of 106.
581,290 cy of available volume

Calculate the Remaining Tonnage within Cell 5.
 $581,290 \text{ CY remaining} * 0.4143 \text{ TON/CY} = 240,828 \text{ tons}$

Calculate remaining lifespan within Cell 5.
 $240,828 \text{ tons} / 62,938 \text{ tons/yr} = 3.83 \text{ Years}$

RESULTS:

Based on the landfill tonnage within the 2023 Annual Tonnage Report, Cell 5 has remaining permitted capacity until approximately October of 2027.



Worcester County Government
One West Market Street | Room 1103 | Snow Hill MD 21863-1195
(410) 632-1194 | (410) 632-3131 (fax) | admin@co.worcester.md.us | www.co.worcester.md.us

MEMORANDUM

TO: Worcester County Commissioners
FROM: Charlene Sharpe, Legislative Analyst
DATE: October 13, 2025
RE: Community Reinvestment and Repair Fund Cannabis Grant Update

When Worcester County initially contacted the Office of Social Equity last year regarding the Community Reinvestment and Repair Fund (CRRF), staff received very general guidance indicating that funding should be used on community-based initiatives intended to benefit low-income communities or to serve disproportionately impacted areas (zip codes with cannabis charges exceeding 150% of the 10-year state mean). With that guidance, staff put together the Worcester County Reinvestment and Repair Grant Program earlier this year.

While the local grant program was focused on community-based initiatives, state law has changed and the suggested uses for CRRF funding are primarily health related. There are also new requirements to incorporate stakeholder input into the grant process and to host a public hearing.

Staff is seeking direction from the commissioners on how to proceed. The county, which has slightly more than \$1 million in CRRF funds, has received 23 applications totaling more than \$3 million in requests.

- One option is to move forward with meeting the state requirements as far as seeking stakeholder input and holding a public hearing before determining how best to award the grants to the applicants we already have in a manner that meets state expectations.
- Another option is to, as some other counties have done, move the funding to the Local Management Board and have it handle grant distribution.

Attachments

Page 2 – CRRF Town Hall Presentation

Page 41 – Maryland Code

2025 Community Reinvestment and Repair Fund Town Hall

HELPING COMMUNITIES

Learn, Grow, Build & Heal



September 17, 2025

Agenda

- Welcome and Introductions
- Office of Social Equity Presentation
- County Spotlights
 - Harford County
 - Anne Arundel County
- Questions and Comments from the Audience
- Closing Remarks



Our Mission

- The Office of Social Equity (OSE) is an independent executive agency established by the *Cannabis Reform Act of 2023* that works in partnership with the Maryland Cannabis Administration (MCA).
- The mission of OSE is to **promote economic opportunity and equity in Maryland's adult-use cannabis market through programs, outreach, and advocacy.**
- The OSE exists to help Maryland communities learn, grow, build, and heal, especially as it relates to historically disadvantaged individuals and businesses seeking to enter the Maryland adult-use cannabis industry.



Our Focus

The **Key Objectives** of the Office Are:

- Ensuring diverse participation in the cannabis market
- Providing resources and support for social equity applicants and licensees
- Addressing the impact of past cannabis prohibition on communities

The **Responsibilities** of the Office Include:

- Implementing technical assistance programs for qualifying social equity applicants and licensees;
- Reviewing regulations and laws through an economic equity and social justice lens; and
- Supporting key programs, including the Community Reinvestment and Repair Fund

Cannabis Reform Act: Delivering Results

- ▶ **Dedicated Social Equity Round** – 188 licensees equipped with resources, training, and connections to succeed.
- ▶ **Social Equity Programs & Technical Assistance** – 22 programs and events advancing equity in Maryland’s cannabis industry.
- ▶ **Cannabis-Related Pardons** – 181,938 pardons restoring opportunity through Governor Moore’s historic action.
- ▶ **Cannabis Business Assistance Fund** – \$45M invested to launch and support new market entrants.
- ▶ **Community Reinvestment and Repair Fund** – \$93M fueling opportunity in all 24 jurisdictions.
- ▶ **Maryland Cannabis Market Growth** – More than \$1.1B in total sales as of September 2024.

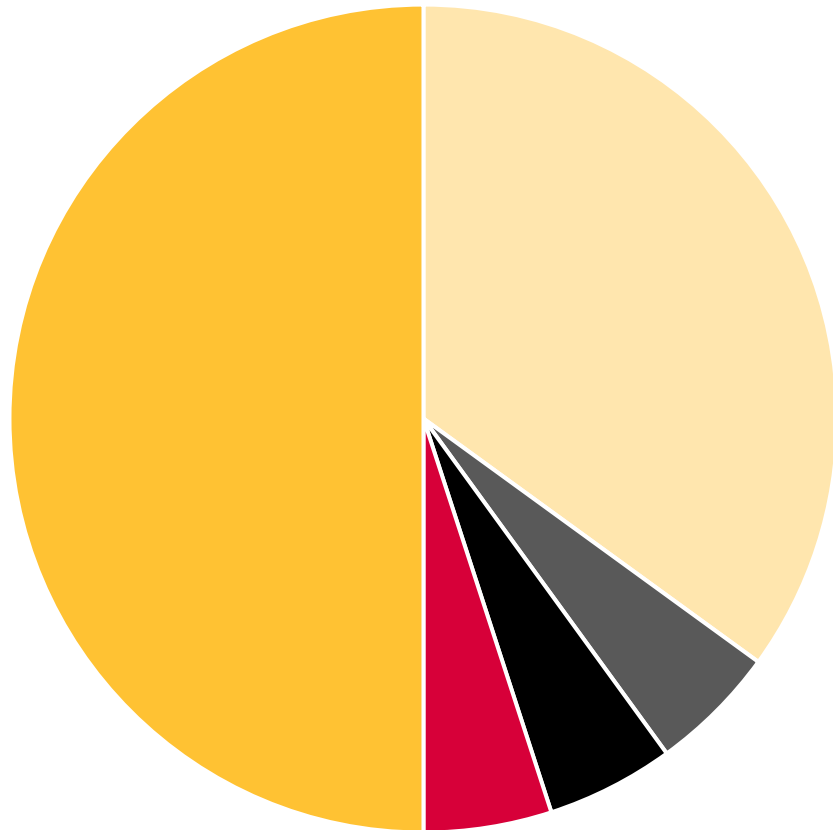


Investing Back in the Community



CANNABIS REVENUE DISTRIBUTION

How Maryland Distributes Cannabis Tax Revenue



- 35% to the Community Reinvestment and Repair Fund
- 5% to Maryland Counties
- 5% to Cannabis Public Health Fund
- 5% to the Cannabis Business Assistance Fund
- Remaining balance to the state general fund

**As established in statute*

COMMUNITY REPAIR & REINVESTMENT FUND (CRRF)

WHAT IS IT?

- Provides funding to local jurisdictions to support community-based initiatives that benefit low-income communities and communities that have been disproportionately impacted by the enforcement of cannabis prohibition.
- MD imposes a 12% sales tax . Per statute, 35% of the proceeds are allocated to the CRRF.
- Funds also include conversion fees paid by medical cannabis operators.
- Funds are disbursed by the Comptroller.

HOW IS IT DETERMINED?

- Percentages of the funding allocable were developed by the OSE.
- Allocation formula took into account the total number of cannabis possession charges in each county compared to the total number of cannabis possession charges in the State over a 20 year period.

HOW IS IT ENFORCED?

- Reports will be published to maintain transparency and assess the overall impact of CRRF.
- Regular reviews are conducted to ensure equitable distribution as societal patterns change.

Disproportionately Impacted Areas Based on Maryland Cannabis Charge Data

<i>Zip codes with cannabis charges exceeding 150% of the 10-year state mean, by county (150% of state mean: 250, 10-year period: 2013-2022)</i>		
Jurisdiction	Number of zip codes	List of zip codes
Allegany	1	21502
Anne Arundel	8	21060, 21061, 21113, 21122, 21144, 21225, 21401, 21403
Baltimore City	19	21201, 21202, 21205, 21206, 21207, 21212, 21213, 21214, 21215, 21216, 21217, 21218, 21223, 21224, 21225, 21229, 21230, 21231, 21239
Baltimore County	15	21117, 21133, 21136, 21206, 21207, 21208, 21220, 21221, 21222, 21227, 21228, 21234, 21236, 21237, 21244
Calvert	1	20657
Carroll	1	21157
Cecil	1	21921
Charles	3	20601, 20602, 20603
Dorchester	1	21613
Frederick	3	21701, 21702, 21703
Harford	3	21001, 21009, 21040
Howard	2	21044, 21045
Montgomery	5	20874, 20877, 20902, 20904, 20906
Prince George's	18	20705, 20706, 20707, 20708, 20721, 20735, 20743, 20744, 20745, 20746, 20747, 20748, 20772, 20774, 20782, 20783, 20784, 20785
Somerset	1	21853
St. Mary's	1	20653
Talbot	1	21601
Washington	1	21740
Wicomico	2	21801, 21804
Worcester	1	21811
Total	85	
<i>Counties that did not exceed threshold: Caroline, Garrett, Kent, Queen Anne's</i>		

CANNABIS REVENUE DISTRIBUTION

Community Reinvestment and Repair Fund (CRRF) Distribution by County				
Jurisdiction	CRRF Distribution Percentage	FY24 CRRF Distributions	FY25 CRRF Distributions	Total
Allegany County	1.043%	\$ 543,345.80	\$ 460,826.98	\$ 1,004,172.78
Anne Arundel County	6.998%	\$ 3,645,854.44	\$ 3,092,152.46	\$ 6,738,006.90
Baltimore County	15.341%	\$ 7,992,826.83	\$ 6,778,942.92	\$ 14,771,769.75
Baltimore City	30.631%	\$ 15,959,495.62	\$ 13,535,700.46	\$ 29,495,196.08
Calvert County	1.575%	\$ 820,579.85	\$ 695,957.04	\$ 1,516,536.89
Caroline County	0.838%	\$ 436,859.92	\$ 370,513.28	\$ 807,373.20
Carroll County	1.988%	\$ 1,036,023.27	\$ 878,680.69	\$ 1,914,703.96
Cecil County	1.381%	\$ 719,449.16	\$ 610,185.21	\$ 1,329,634.37
Charles County	2.888%	\$ 1,504,602.39	\$ 1,276,095.92	\$ 2,780,698.31
Dorchester County	1.174%	\$ 611,521.48	\$ 518,648.71	\$ 1,130,170.19
Frederick County	2.818%	\$ 1,468,145.90	\$ 1,245,176.15	\$ 2,713,322.05
Garrett County	0.421%	\$ 219,356.81	\$ 186,042.74	\$ 405,399.55
Harford County	3.381%	\$ 1,761,651.50	\$ 1,494,106.54	\$ 3,255,758.04
Howard County	2.689%	\$ 1,401,000.04	\$ 1,188,227.84	\$ 2,589,227.88
Kent County	0.501%	\$ 260,962.52	\$ 221,329.72	\$ 482,292.24
Montgomery County	5.738%	\$ 2,989,637.71	\$ 2,535,596.46	\$ 5,525,234.17
Prince George's County	11.425%	\$ 5,952,499.50	\$ 5,048,483.49	\$ 11,000,982.99
Queen Anne's County	0.841%	\$ 438,301.70	\$ 371,736.08	\$ 810,037.78
St. Mary's County	1.415%	\$ 549,095.94	\$ 813,655.59	\$ 1,362,751.53
Somerset County (1)	0.551%	\$ 475,393.07	\$ 55,242.58	\$ 530,635.65
Talbot County	0.760%	\$ 395,872.12	\$ 335,750.35	\$ 731,622.47
Washington County	2.043%	\$ 1,064,652.95	\$ 902,962.32	\$ 1,967,615.27
Wicomico County	2.341%	\$ 1,219,953.44	\$ 1,034,677.08	\$ 2,254,630.52
Worcester County	1.219%	\$ 635,001.94	\$ 538,563.13	\$ 1,173,565.07
TOTAL		\$ 52,102,083.92	\$ 41,069,523.11	\$ 96,291,337.66

*As established in statute

CRRF - Guidelines

The Fund **CAN ONLY BE USED** For:

- Funding community-based initiatives intended to benefit low-income communities;
- Funding community-based initiatives that serve disproportionately impacted areas (as defined by statute)
- Any related administrative expenses up to 15% of the funds received in the Fiscal Year.

The Fund **CANNOT**:

- Be used for law enforcement agencies or activities
- Supplant funding that otherwise would be appropriated for pre-existing local government programs.

- ▶ Each county must adopt a law establishing the purpose for which money received may be used.
- ▶ The 2025 Social Equity – CRRF Modifications bill (SB894) made the following changes:
 - Requires each county to develop a distribution plan in consultation with stakeholders and to conduct a public hearing prior to distributing funds.
 - Clarifies that OSE is the entity designated to oversee the CRRF including overseeing the appropriation of funds and the training of local government to ensure compliance.

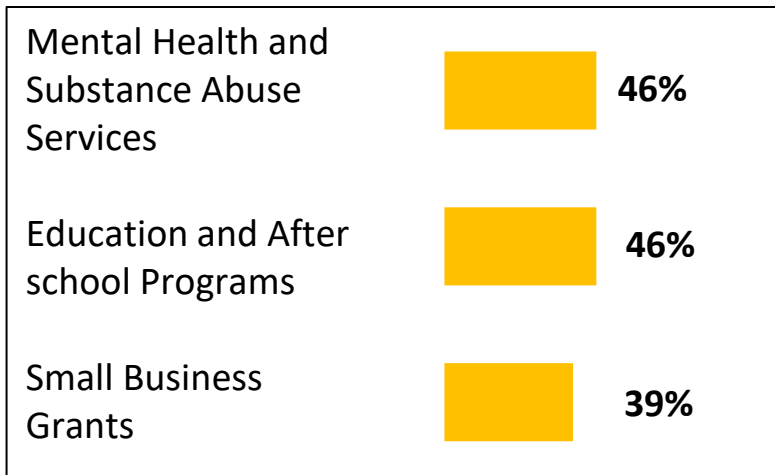
2024 Community Reinvestment and Repair Fund Survey Results

The Office of Social Equity conducted a community survey to gather Maryland residents' opinions on CRRF funding priorities.

The 2024 survey of **1,466** Maryland residents' insights help guide funding decisions to best serve community needs.

76% Reported being somewhat familiar with CRRF and indicated an intent to apply for funding.

The top areas covered by potential applicant organizations include:



85% Agree that the top six priority areas from the 2023 CRRF Survey still reflect community needs.

42% Are somewhat familiar with the Office of Social Equity.



17 of 24 Jurisdictions reported attending and participating in CRRF Town Hall Meetings and left with greater understanding of the fund.

Key Themes

- ▶ **Education gaps** - Roughly 40% of all respondents reported no familiarity with the CRRF or the Office of Social Equity, and fewer than 1 in 5 knew about the administrative process.
- ▶ **Calls for more transparency and equity** - Respondents voiced concerns that larger nonprofits may dominate funds and pushed for clearer, more equitable criteria to prioritize directly impacted communities.
- ▶ **Strong alignment on priority areas** - 85% agreed that the six priority areas from the 2023 report are still a reflection of community needs. The top areas included mental health/substance abuse services and education/after-school programs (46% each)
- ▶ **In person town halls surfaced broader needs** - Survey responses highlighted food and housing insecurity, economic development, public health, and civic engagement as critical areas for reinvestment funding.

Key Themes and Strategic Actions from 2024 CRRF Survey Report

▶ **Community Engagement & Transparency**

Quarterly webinars (in collaboration with jurisdictions) to inform and engage community members. Emphasis on accessible and real-time data reporting to strengthen trust and transparency.

▶ **Framework & Accountability**

Development of a comprehensive outcome framework and performance measures to clarify intended impact and track progress.

▶ **Capacity Building**

Ongoing technical assistance to county staff to improve data reporting, implementation fidelity, and equity-centered practices.

▶ **Forward-Looking Vision**

Investing in data-driven strategies and continuous feedback loops to guide fund allocation and future program design.

Next Steps

— **What's Next? To help counties meaningfully respond to the question —
“How does this grant repair or reverse harm from the overcriminalization of
cannabis?”**

- ▶ **Drafting Regulations:** Provide clear, actionable guidance to help jurisdictions implement CRRF effectively.
- ▶ **Raising Awareness:** Improve communication so that the CRRF feels real and accessible to communities.
- ▶ **Clarifying Funding Fit:** Offer targeted guidance to help jurisdictions align CRRF dollars with their local initiatives.
- ▶ **Optimizing Resources:** Promote collaboration and systemic integration with existing funds like the Blueprint for Maryland's Future, the ENOUGH Initiative, and the Opioid Restitution Fund) to maximize impact.
- ▶ **Building on Innovation and Success:** Leverage CRRF to expand proven programs and encourage bold, creative approaches that respond to community needs in new ways.

Harford County Office of Drug Control Policy

2025 Community Reinvestment and Repair Fund Town Hall



Barbara Richardson
Director

Bob Cassilly
County Executive



Office of Drug Control Policy



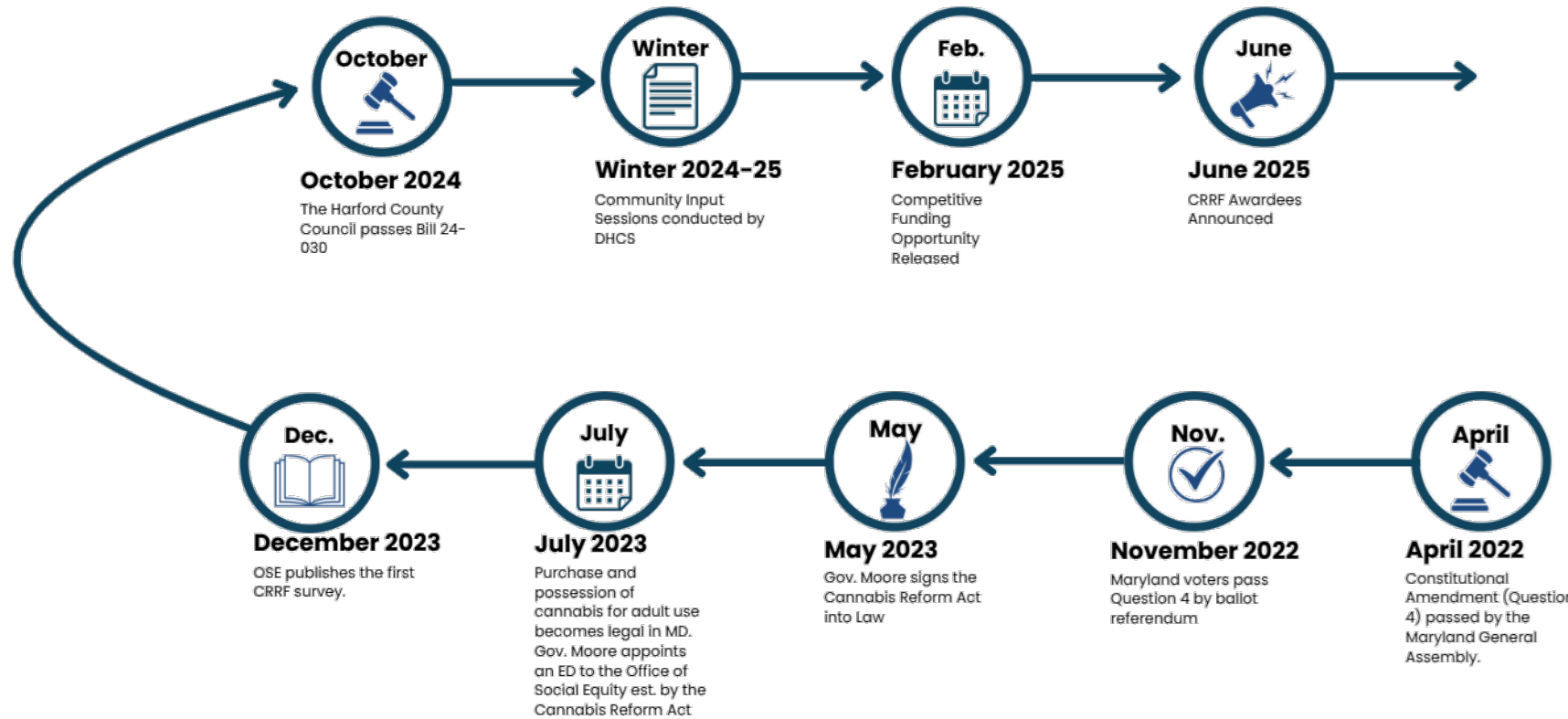
The Office of Drug Control Policy (ODCP) is the County's leading Prevention Agency, working daily to create a drug free Harford County. Employees provide prevention and education outreach, support to treatment providers monitoring and reporting activities, coordination of government agencies and non-profit organizations to address substance use, and support for Harford County's Specialty Courts. Furthermore, ODCP strives to continuously improve the network of available services for Harford County citizens to ensure efficiency and effectiveness.



Mission Statement: To promote and provide prevention services through strategies utilizing the resources of public/private agencies and citizens.

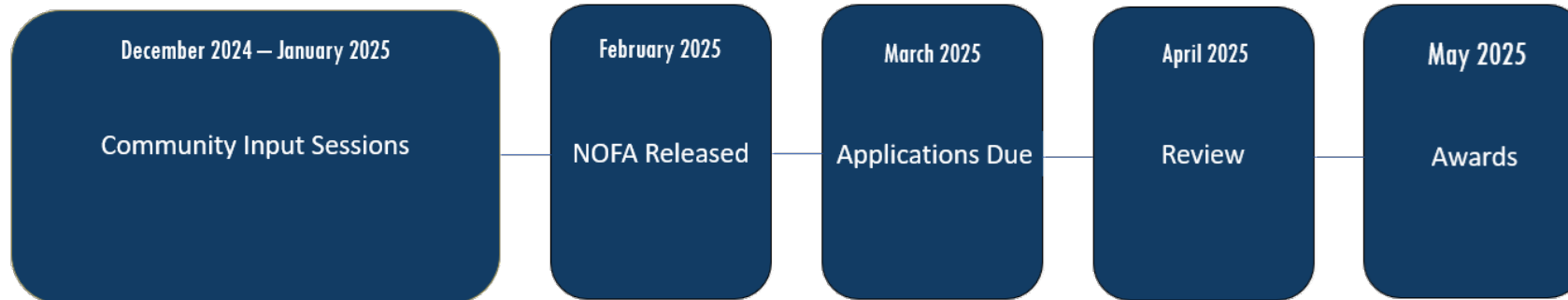


Harford CRRF- Roadmap





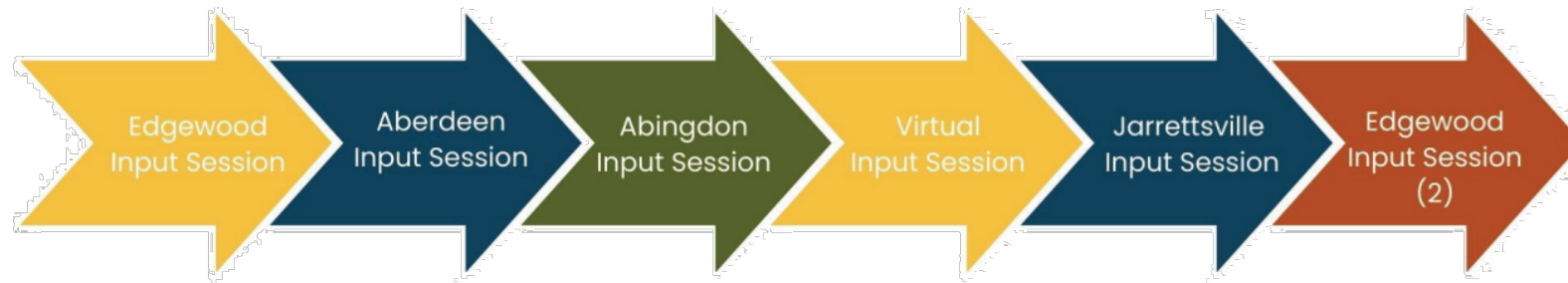
Timeline





Community Input

Beginning in December of 2024, the Office of Drug Control Policy conducted six (6) community input sessions to discuss how funds may be allocated. The intent of these sessions was to be inclusive of individuals, community leaders, and organizations that serve impacted communities.



The agendas for the sessions consisted of the following:

1. Introductions and Welcome
2. Overview of CRRF Funding
3. How it works
4. Potential Uses
5. Application Process
6. Community Input and Discussion
7. Additional Discussion
8. Adjournment



Harford Potential Uses

- 1 Mental Health and Substance Use Services
- 2 Education and After-School Programs
- 3 Youth Engagement and Mentorship Programs
- 4 Housing and Homelessness Prevention Services
- 5 Criminal Justice Reforms (e.g. Expungement of Cannabis Related Convictions)
- 6 Healthcare Access and Services
- 7 Job Training and Workforce Development
- 8 Small Business Grants and Entrepreneurship Support
- 9 Parks and Recreational Facilities



Harford 2025 CRRF Report



Methodology

The Harford County Department of Housing and Community Services was committed to the process of providing a forum for community input to ensure a clear insight from local, affected communities. In providing these forums, the county, with the support of the State of Maryland, acknowledged the lasting impact of these disproportionalities by providing a place for residents to be heard and the intention to promote change through growth.

The Maryland Office of Social Equity CRRF Survey yielded responses from 54 individuals. In order to promote a greater understanding of community interests related to CRRF, the Harford County Department of Housing and Community Services' Office of Drug Control Policy developed a supplemental survey which yielded responses from 159 individuals.

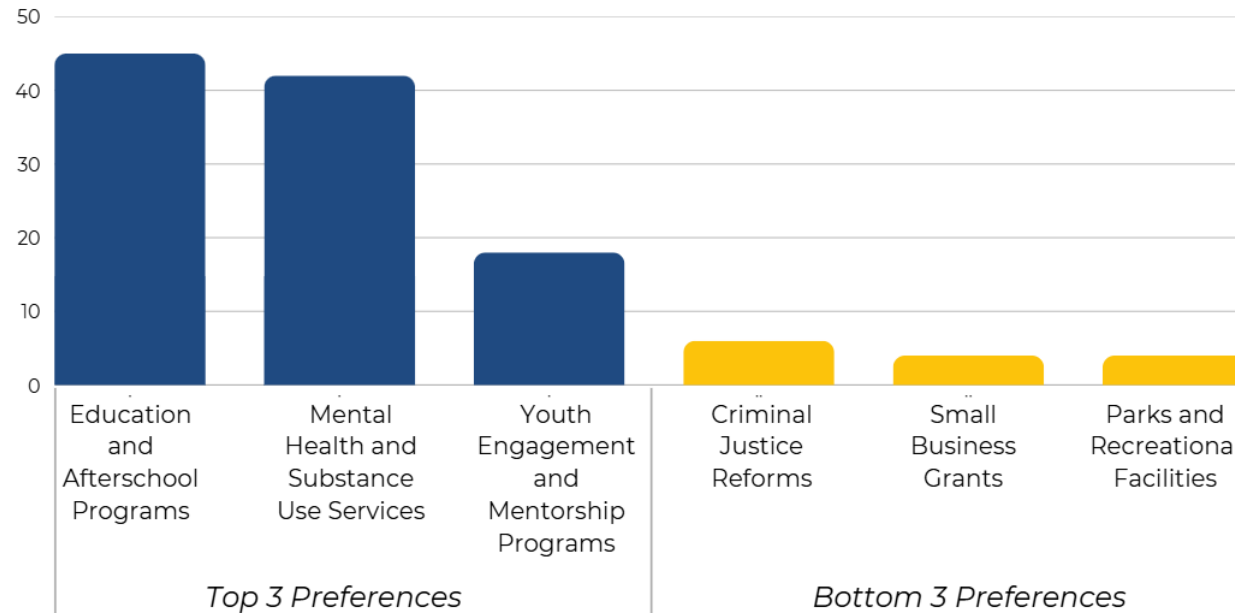


The questions from the survey included:

1. How did you find out about this survey?
2. Do you live in Harford County (if no, in which jurisdiction do you reside)?
3. What is your Zip Code?
4. Which of the following best describes you (racial background)?
5. How old are you?
6. What is your annual household income before taxes?
7. Are you a member of a community organization (if so, which organization)?
8. Are you an elected official?
9. Have you or a family member been personally affected by the criminalization of cannabis in the past (if yes, please explain)?
10. In regards to CRRF, which issues do you think are most important to address with these funds in your community?



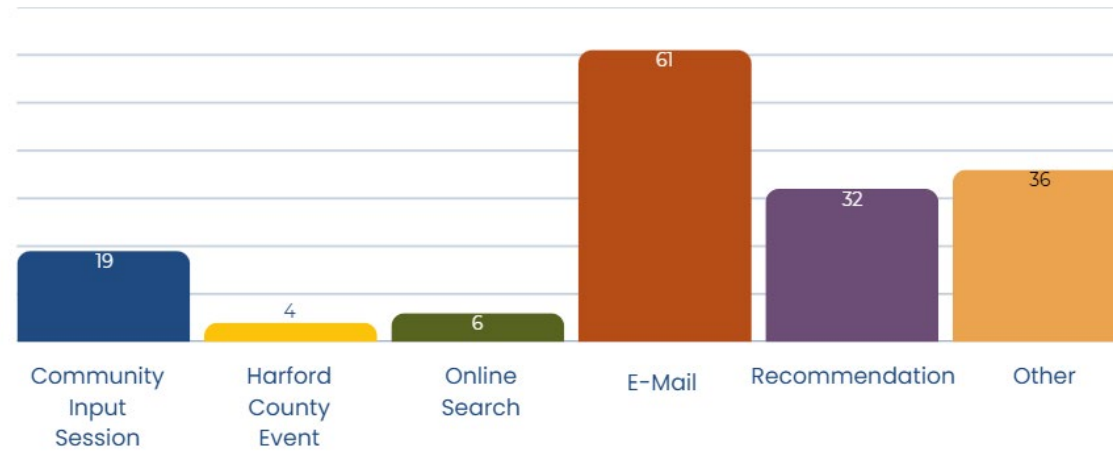
Harford County Preferences for Community Reinvestment and Repair Funding



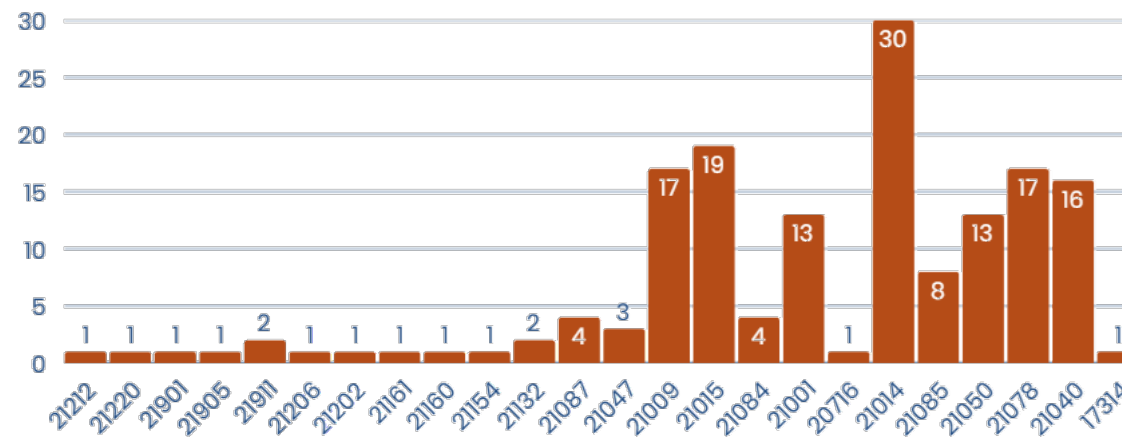
Information reflective of respondents highest ranked preferences



Question 1: How did you find out about this survey?

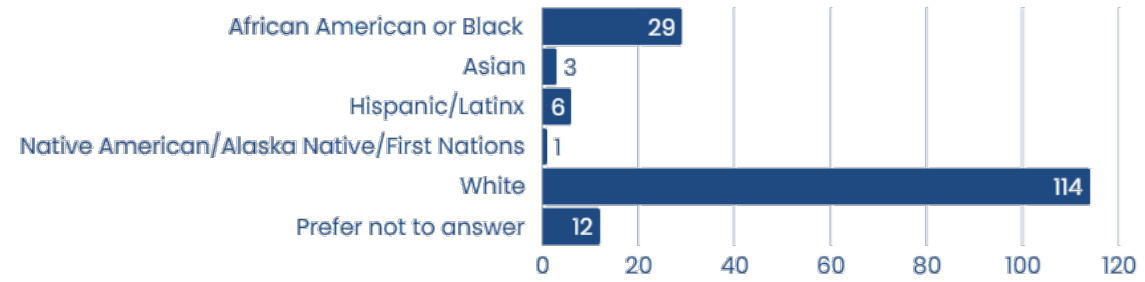


Question 4: What is your ZIP Code?

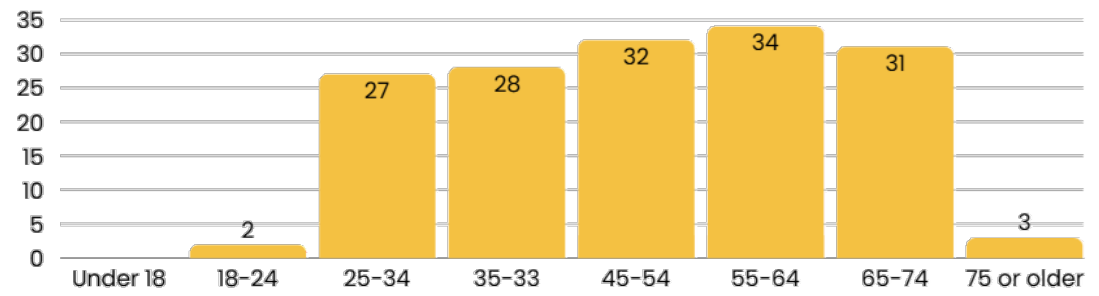




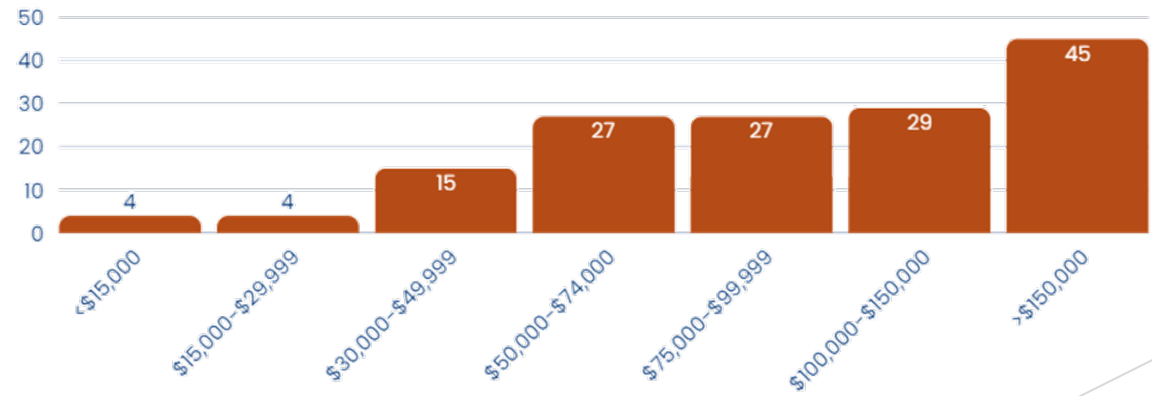
Question 5: Which of the following best describes you?



Question 6: How old are you?



Question 7: What is your annual household income before taxes?





In addition to community input sessions, meetings were conducted with community leaders which emphasized the importance of these funds. Initially, the fund would consist of a fixed number of awards with fixed dollar amounts. Through engagement with grassroots community organizations which included an additional input session as requested by an organization in the forefront of these matters.

- 755 Alliance
- Aberdeen on the Move
- Alpha Kappa Alpha Sorority
- Alpha Phi Alpha Fraternity
- Ashley Addiction Treatment
- The BEcome Project
- Boys2Men Mentoring
- Black Philanthropy Giving Circle of Harford County (BPGCHC)
- CASA
- Chrysanthemoms
- Citizens Review Board for Children (CRBC)
- Decoding Dyslexia Harford County
- The EPICENTER at Edgewood
- Faith Based Community
- First Harford Square Association
- Fresh Start Furnishings
- Friends of Harford County Public Library
- Habitat for Humanity
- Halls Cross Roads Elementary

- Harford Community College Foundation
- Harford County 4-H Program
- Harford County Board of Education
- Harford County Caucus of African Leaders
- Harford County Chamber of Commerce
- Harford County Council
- Harford County Education Association
- Harford County Public Schools
- Harford County Public Library Foundation
- Harford County Public Library
- Harford County Sheriff's Office Foundation
- HarfordTV Foundation
- Homecoming Project
- The HOPE Center of Maryland
- Liriodendron Foundation
- Ma & Pa Trail Foundation
- Maryland Center for the Arts
- Mason-Dixon Ministerium

- Military Officers Association of America
- Moms Demand Action
- Moms for Liberty
- NAACP
- National Education Association
- Neighbors United
- New Day Wellness & Recovery Center
- N-STEP
- Office of Mental Health/Core Services
- Southern Harford County Rotary Club
- Together We Will
- University of Maryland
- Upper Chesapeake Health System
- Voices of Hope
- Westshore Community
- Women's Army Vets

denotes organizations that had the most responses



Question 13: In regard to Community Reinvestment and Repair Funds, which issues do you think are most important to address with these funds in your community? Please rank the following options in priority order, 1 being the highest priority.

	1st	2nd	3rd	4th	5th	6th	7th	8th	9th
Education and After School Programs	45	31	31	15	16	13	3	4	1
Mental Health and Substance Use Services	42	39	25	19	15	5	8	4	2
Youth Engagement and Mentorship Programs	18	33	25	32	21	17	5	6	2
Housing and Homelessness Prevention	18	15	24	29	27	25	12	9	0
Healthcare Access and Services	14	13	20	20	26	31	22	8	5
Job Training and Workforce Development	8	6	14	24	23	21	39	21	3
Criminal Justice Reforms	6	12	10	7	18	26	23	23	34
Small Business Grants	4	5	1	7	9	9	30	55	39
Parks and Recreational Facilities	4	5	9	6	4	12	17	29	73



Conclusion



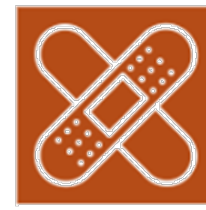
COMMUNITY INPUT

Community input sessions were instrumental in creating a dialogue regarding community needs. Community participation in the survey provided additional insight that was not captured in the initial OSE survey.



CHANGING TIMES

Public perceptions regarding cannabis are ever-changing. In addition to utilizing community input regarding uses of funds, it is imperative to understand the evolving perceptions of cannabis use and the lasting impact of prohibition in Harford County.



COMMUNITY HEALING

Community Reinvestment and Repair Funds have the power to promote healing in communities most disproportionately impacted by cannabis prohibition.



FUNDING THE COMMUNITY

The CRRF differs drastically from other county funding sources. It is designed to intentionally serve low income and disproportionately impacted communities while elevating grassroots community organizations that would otherwise be unable to obtain funding from government sources.



Harford FY26 CRRF Awardees



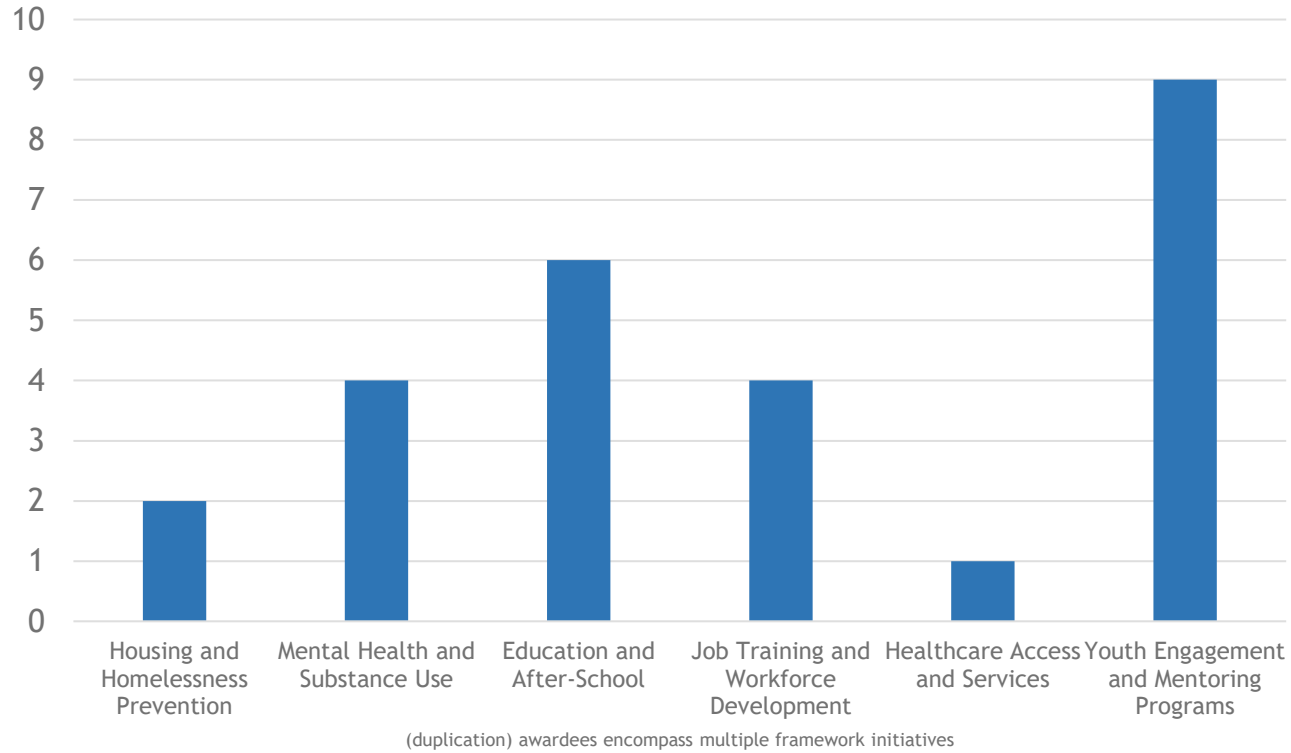
Awardees

Organization	Amount Awarded	Project
The HOPE Center of Maryland, Inc.	\$40,000	Feeding Community
Linking All So Others Succeed (LASOS)	\$69,718	Cultivate
Zeta Phi Beta Sorority	\$23,800	Project Z-HOPE
HCPS: Old Post Rd. ES	\$12,458	Old Post Road Elementary School Student Enrichment Fund
HCPS: Joppatowne High School & Magnolia Middle School	\$80,000	boys2MEN mentoring program for students in grades 6-12.
HCPS: Edgewood Middle School	\$25,960	Striving for Greatness
Chosen Community Development Corporation	\$80,000	The Chosen to RISE: Next Gen Entrepreneur Academy
Boys & Girls Club of Harford & Cecil Counties	\$24,000	Up Next Work Based Learning Program
N-Step: New Service Training Employment Program, Inc.	\$65,455	N-STEP & Hosanna School Museum: Innovating History to Inspire Harford Youth
Discovery Center at Water's Edge	\$78,600	Afterschool STEM Enrichment Program
The Char Hope Foundation, Inc.	\$20,000	Rooting for Recovery's Job Training and Workforce Development Program.
LIVEFORTHOMAS Foundation, Inc.	\$11,600	Suicide Awareness & Prevention
Felicia Hopkins/Youth Enrichment Society	\$23,234	Exploring the Great Outdoors of Harford County: Disconnect and Reconnect with nature.
TOTAL	\$554,825	



Harford Education and Reinvestment Trust

CRRF Framework Funded Areas



Summer Programming



Harford Education and Reinvestment Trust (HEART) Block Grant

The purpose of the HEART Grant is to provide funding to Harford County Public Schools to implement and promote restorative community development for youth in-line with allowable uses of the fund. These funds are provided in addition to the CRRF competitive grants and may be used to expand existing efforts or to pursue new strategies.

Summer Camp

The Harford County Dept. of Parks and Rec in collaboration with DHCS, provided a summer camp to adolescents in Edgewood at no cost to attendees.



Strategies to Address Jurisdictional Challenges

In addition to overseeing the fund, ODCP will continue to identify strategies to address and prioritize the following jurisdictional challenges:

1. **Public Health Concerns**
2. **Social Equity**
3. **Public Perception and Social Impact**

In FY26, ODCP will also prioritize the following:

1. **Community Involvement:** Continue engaging with the community through input sessions and surveys to ensure funds are used according to community needs.
2. **Accessibility:** Improve survey outreach to increase participation across all demographics, considering that email was the most common way people found out about the survey.
3. **Restoring Communities Impacted by Cannabis Prohibition:** Identify initiatives to address the negative impacts of past cannabis criminalization.
4. **Monitor Changing Perceptions:** Stay informed on the evolving public perceptions of cannabis to adapt funding strategies and address community concerns effectively.



To learn more Visit:

www.harfordcountymd.gov/3872/Community-Reinvestment-Repair-Fund



THANK YOU!

Your Voice Matters

We've covered our goals for CRRF implementation, outcome development, and technical support.

Now we want to hear from you. What's on your mind?

Executive Director Audrey Johnson
audrey.johnson1@maryland.gov
(443) 610-1666

Deputy Director Courtney Davis
courtney.davis@maryland.gov
(443) 610-1730



The Bud Bulletin

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HELPING COMMUNITIES

Learn, Grow, Build & Heal



[Home Table of Contents](#)

§ 1-3A-03. Community Reinvestment and Repair Fund

West's Annotated Code of Maryland

Alcoholic Beverages and Cannabis

Effective: June 1, 2025

West's Annotated Code of Maryland

Alcoholic Beverages and Cannabis (Refs & Annos)

Division I. General Provisions Affecting Multiple Jurisdictions [Titles 1-8] (Refs & Annos)

Title 1. Definitions; General Provisions (Refs & Annos)

Subtitle 3a. Community Reinvestment and Repair Fund (Refs & Annos)

Effective: June 1, 2025

MD Code, Alcoholic Beverages and Cannabis, § 1-3A-03

Formerly cited as MD AL BEV § 1-322 Formerly cited as MD AL BEV § 13-4601

§ 1 - 3A - 03 . Community Reinvestment and Repair Fund

[Currentness](#)

(a)(1) There is a Community Reinvestment and Repair Fund.

(2) The purpose of the Fund is to provide funds to community-based organizations that serve communities determined by the Office, in consultation with the Office of the Attorney General, to have been the most impacted by disproportionate enforcement of the cannabis prohibition before July 1, 2022.

(3) The Comptroller shall administer the Fund.

(4)(i) The Fund is a special, nonlapsing fund that is not subject to § 7-302 of the State Finance and Procurement Article.

(ii) The State Treasurer shall hold the Fund separately, and the Comptroller shall account for the Fund.

(5) The Fund consists of:

(i) sales and use tax revenue distributed to the Fund under § 2-1302.2 of the Tax--General Article;

(ii) conversion fees paid by businesses under § 36-403 of this article; and

(iii) any other money from any other source accepted for the benefit of the Fund, in accordance with any conditions adopted by the Comptroller for the acceptance of donations or gifts to the Fund.

(6)(i) The Fund may be used only for:

1. funding community-based initiatives intended to benefit low-income communities, including:

A. behavioral health crisis response services;

B. education and after-school programs;

C. truancy and absenteeism intervention programs;

D. housing and homelessness prevention initiatives;

E. transportation improvements in high-density areas that have public transportation;

F. job training and workforce development programs;

G. community child care and recreational services; and

H. programs that benefit individuals and families impacted by incarceration;

2. funding community-based initiatives that serve disproportionately impacted areas, as defined in § 36-101 of this article; and
 3. any related administrative expenses incurred by a local government in administering the funds that do not exceed 15% of the funds received in the fiscal year.
- (ii) Money may not be expended from the Fund for law enforcement agencies or activities.
- (iii) Money expended from the Fund is supplemental to and may not supplant funding that otherwise would be appropriated for preexisting local government programs.
- (7)(i) The State Treasurer shall invest the money of the Fund in the same manner as other State money may be invested.
- (ii) Any interest earnings of the Fund shall be credited to the General Fund of the State.
- (8) No part of the Fund may revert or be credited to:
- (i) the General Fund of the State; or
 - (ii) any other special fund of the State.
- (9) The Comptroller shall pay out money from the Fund.
- (10) The Fund is subject to audit by the Office of Legislative Audits as provided for in § 2-1220 of the State Government Article.
- (b)(1) Based on the percentage allocable to each county determined by the Office, the Comptroller shall distribute funds from the Fund to each county in an amount that, for the period from July 1, 2002, to January 1, 2023, both inclusive, is proportionate to the total number of cannabis possession charges in the county compared to the total number of cannabis possession charges in the State.
- (2) For any distribution of funds to a county under paragraph (1) of this subsection, the county shall hold the funds separately from other revenue and general funds.
- (3) Subject to the limitations under subsection (a)(6) of this section, each county shall adopt a law establishing the purpose for which money received from the Fund may be used.
- (c)(1) The Office shall require each county to develop a plan for the distribution of funds to community-based organizations for use in accordance with this section.
- (2) The plan developed by a county shall be:
- (i) established before distributing funds under this section;
 - (ii) developed in consultation with stakeholders; and
 - (iii) the subject of a public hearing before finalizing the plan.
- (3) On or before October 1, 2025, the Office shall adopt regulations to carry out this section.
- (d) On or before October 1, 2026, and each October 1 thereafter, each county shall submit a report to the Office on:
- (1) the amount of funds received from the Fund under subsection (b)(1) of this section;
 - (2) the organizations that received funding from the county under this section;
 - (3) the methods used by the county to solicit, review, and select organizations that may be eligible for funding under this section; and
 - (4) administrative expenses related to the county's administration and distribution of the funds received under subsection (b)(1) of this section.

Credits

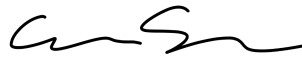
Added as Health General § 13-4601 by Acts 2022, c. 26, § 6, eff. July 1, 2023. Amended by Acts 2022, c. 135, § 5. Renumbered as Alcoholic Beverages and Cannabis § 1-322 and amended by Acts 2023, c. 254, §§ 3, 5, eff. May 3, 2023; Acts 2023, c. 255, §§ 3, 5, eff. May 3, 2023. Amended by Acts 2024, c. 241, § 1, eff. April 25, 2024. Renumbered as Alcoholic Beverages and Cannabis § 1 - 3A - 03 and amended by Acts 2025, c. 195, § 1, eff. June 1, 2025.

MD Code, Alcoholic Beverages, § 1 - 3A - 03 , MD AL BEV § 1 - 3A - 03

Current through all legislation from the 2025 Regular Session of the General Assembly. Some statute sections may be more current, see credits for details.

END OF DOCUMENT

MEMORANDUM

TO: Worcester County Commissioners
FROM: Candace Savage, Deputy Chief Administrative Officer 
DATE: October 14, 2025
SUBJECT: Hotel Room Tax Legislation Introduction

This memo is to request the introduction of legislation to amend the Hotel Rental Tax provisions in Worcester County. The proposed bill would increase the maximum allowable rate of the Hotel Rental Tax from five percent to six percent.

This legislative change follows a request from the Town of Ocean City, originally presented at the January 4, 2022 Commissioners' Meeting. At that time, the Commissioners directed staff to work with the County's state delegation to obtain enabling legislation from the Maryland General Assembly. The enabling legislation was successfully passed as House Bill 186 during the 2024 Maryland General Assembly session. The bill took effect July 1, 2024, and authorizes Eastern Shore code counties to increase their hotel rental tax rate from five percent to a maximum of six percent. The Hotel Rental Tax applies to transient lodging in resort areas, including hotels, motels, condominiums, cabins, and similar accommodations.

Ocean City's request is to increase the room tax prior to January 1, 2026. In order to meet that deadline the process would be:

- October 21, 2025 – Introduction of the attached Emergency Bill to amend the maximum rate of the hotel rental tax to six percent – **1 out of 7 Commissioners is required** to introduce a bill.
- October 21, 2025 – Request to advertise for a public hearing to raise the hotel rental tax as outlined in Subtitle VI – Hotel Rental Tax of the Worcester County Taxation and Revenue Article. – **4 out of 7 Commissioners are required** to request a public hearing.
- The public hearing advertisements would run on October 30th and November 6th to advertise a public hearing date of November 18th.
- November 18, 2025 – Public hearings on the Emergency Bill and the proposed increase to the hotel room tax.
- November 18, 2025 following the public hearing – Vote on Emergency Bill to amend the maximum rate of the hotel rental tax to six percent. – **6 out of 7 Commissioners are required** to pass an Emergency Bill.
- November 18, 2025 following the passing of the Emergency Bill – Vote to increase the hotel room tax. – **7 out of 7 Commissioners are required** to increase the room tax.

Attachment:
Page 2-3 – Draft Bill

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND
EMERGENCY BILL 25-__

BY:

INTRODUCED:

A legislative bill for the purpose of amending the maximum rate of the Hotel Rental Tax to Six Percent.

- I. **Be It Enacted by the County Commissioners of Worcester County, Maryland**, that Title TR1 (Taxation), § TR 1-601(a) of the Taxation and Revenue Article of the Code of Public Local Laws of Worcester County, Maryland is amended as follows:

Title TR1, Taxation, Subtitle VI

Hotel Rental Tax

§ TR 1-601 General provisions

(a) Imposition and rate.

- (1) The Board of County Commissioners of Worcester County may impose a tax within every resort area within the County on the amount paid for room or building rental by or for any transient at any hotel or motel, at any house, townhouse, apartment, condominium unit, cottage, cabin, manufactured home, rooming house, recreational vehicle, recreational park model, or any other building or structure or portion thereof used as a place of lodging.
- (2) This tax, if imposed, shall be at the rate as a per centum of the room or building rental as the Board may, by resolution after public notice and hearing, determine, but not to be imposed at a rate in excess of **six** five percent.
- (3) Any resolution establishing a rate in excess of three percent shall require the unanimous consent of all of the County Commissioners.
- (4) The notice of public hearing shall be advertised at least twice in at least one newspaper of general circulation in the County, with the first such notice appearing not less than ten days prior to the date of such hearing and shall state the possible rates that may be set and the date, time and place of the hearing.

II. **Be It Further Enacted by the County Commissioners of Worcester County, Maryland** that this Bill having been declared an Emergency Bill, will take effect immediately upon its passage.

PASSED this _____ day of _____, 2025.

DRAFT



TO: County Chief Administrative Officers

FROM: Michael Sanderson, Executive Director, MACo

DATE: October 10, 2025

SUBJECT: 2026 Legislative Committee Nominations – Member and Alternate

The work of the Maryland Association of Counties (MACo) Legislative Committee is regarded as one of the organization's most important and challenging functions. Local elected officials serve as members of this body to set legislative direction, advocate, and communicate on behalf of MACo before the Administration and the General Assembly.

MACo's Legislative Committee meets weekly during the General Assembly Session to determine the Association's positions on policy matters. Committee members are also responsible for contacting state legislators at critical points during Session to encourage their local elected colleagues to support county priorities in pending legislation.

As we are nearing December and the start of the 2026 General Assembly Session, we would request that you recommend a nominee and alternate to serve on the Legislative Committee. Again, involvement on the Legislative Committee is critical as MACo strives to protect county resources and further a positive Annapolis presence.

Except in special circumstances arising in charter counties with a separate executive branch, MACo's Legislative Committee is composed of one member from each member subdivision. MACo's By-Laws require each subdivision (the 23 counties and Baltimore City) to nominate an elected official for Committee membership. These nominees are officially "elected" during the Association's Annual Business Meeting, during MACo's Winter Conference at the Hyatt Regency Chesapeake Bay Hotel Cambridge, MD on **Thursday, December 11, 2025**.

To promote full Legislative Committee representation, the By-Laws also provide for the appointment of an alternative member who may cast the subdivision's vote if the subdivision's regular member is absent. Alternate members may participate in Committee deliberations and are urged to attend meetings. Alternate members need not be elected officials.

ITEM 18

A charter county with a separate executive branch may have two members and alternates if the Executive and Council each choose to send their own representative. However, the subdivision still has only one vote with both representatives putting forth one-half of a vote.

The Legislative Committee generally meets weekly beginning approximately the third week of January until the first or second week of March during the regular General Assembly Session to determine MACo positions on pending county-relevant legislation. During the interim, the Committee meets twice to formulate Association legislative initiatives and to remain current on pending issues.

All meetings of the Committee will be announced in advance. Members and alternates will receive reminders and updates by email. We will provide a full schedule of meetings as it gets closer to the opening of the 2026 General Assembly Session, but prospective committee members should plan on 9:30 am or 10:00 am – Noon weekly on Wednesdays, January 21 – March 18, 2026.

To submit your committee member and alternate, please complete the attached nomination form and return it to Amanda Grosskrueger at agrosskrueger@mdcounties.org by **Friday, November 21, 2025**. The form lists your jurisdiction's 2025 Legislative Committee Member and Alternate for informational purposes. There is no requirement to change your member and alternate each year – you can choose to keep the same individuals as your representatives but must note that on the form.

Please contact Michael Sanderson, Executive Director, at 410.269.0043 should you have any questions regarding this process.

Thank you for your cooperation.

CC: County Legislative Staffers
County Elected Officials Staff



Person Completing Form: _____ **ITEM 18**
 County: _____

PLEASE EMAIL THE COMPLETED FORM TO agrosskrueger@mdcounties.org
 BY **Friday, NOVEMBER 21, 2025**

2026 MACo LEGISLATIVE COMMITTEE NOMINATION FORM

SUBDIVISION	2025 MEMBER	2025 ALTERNATE	PROPOSED 2026 MEMBER <i>(fill in for your county)</i>	PROPOSED 2026 ALTERNATE <i>(fill in for your county)</i>
ALLEGANY	William R. Atkinson	Lee T. Beeman		
ANNE ARUNDEL	Steuart Pittman Allison Pickard	Ethan Hunt Julie Hummer		
BALTIMORE CITY	Brandon Scott Sharon Green Middleton	Nina Themelis Odette Ramos		
BALTIMORE COUNTY	Pam Kasemeyer Israel Patoka	Sean Flanagan Pat Young		
CALVERT	Todd Ireland	Earl Hance		
CAROLINE	Larry C. Porter	Travis Breeding		
CARROLL	Ed Rothstein	Kenneth Kiler		
CECIL	Adam Streight Rebecca Hamilton	Dan Schneckeburger Donna Culberson		
CHARLES	Rueben Collins	Ralph Patterson		
DORCHESTER	Lenny Pfeffer	Mike Detmer		
FREDERICK	Jessica Fitzwater MC Keegan-Ayer	Victoria Venable Kavonte Duckett		
GARRETT	Paul Edwards	Kevin Null		
HARFORD	Bob Cassilly Allison Imhoff	Larry Richardson James Reilly		
HOWARD	Calvin Ball Deb Jung	Maureen Evans David Yungmann		
KENT	Albert Nickerson	John F. Price		
MONTGOMERY	Marc Elrich Andrew Friedson	Rich Madaleno Laurie-Anne Sayles		
PRINCE GEORGE'S	Tara Jackson Wanika Fisher	John Erzen Calvin Hawkins		
QUEEN ANNE'S	Jack Wilson	Chris Corchiarino		
ST. MARY'S	James Guy	Eric Colvin		
SOMERSET	Darryl Webster	Ernie Leatherbury Jr.		
TALBOT	Keasha Haythe	Lynn Mielke		
WASHINGTON	John F. Barr	Jeffrey A. Cline		
WICOMICO	Julie Giordano John Cannon	Bunky Luffman Jeff Merritt		
WORCESTER	Chip Bertino	Jim Bunting		

RULES AND PROCEDURES
OF THE
LEGISLATIVE COMMITTEE
OF THE
MARYLAND ASSOCIATION OF COUNTIES

A. Proceedings - General

1. Unless otherwise announced all meetings of the Legislative Committee shall begin at 10:30 a.m..
2. The Legislative Committee shall meet monthly and at such other times and with such frequency as may be determined by the Chairperson.
3. Proceedings shall be governed by Roberts Rules of Order.
4. Action by the Legislative Committee will require a quorum which shall be the presence of voting members from at least 13 member jurisdictions.
5. Except as provided elsewhere, action requires an affirmative vote of a majority present at the meeting.
6. A reconsideration of an action taken at a prior meeting requires the affirmative vote of at least three-quarters of the votes present at the meeting.
7. Except upon the specific approval of the Chairperson, no other agenda item shall be considered until the Legislative Committee has completed consideration of all bills on the days agenda.
8. Only members of the Legislative Committee and alternates shall be seated at the table.

B. Proceedings - Voting (See MACo Constitution, Article VII)

1. Each member subdivision shall have one voting member.
2. For a subdivision which has an executive-council form of government and which cannot agree on a single voting member, the executive and council may each designate a voting member. In such circumstances, the designated voting members shall each have a half vote.
3. A designated alternate member may vote only when the regular member from the jurisdiction is not present.
4. A roll call vote shall be taken at the request of three legislative committee members or alternates or at the discretion of the chairperson.
5. Upon a motion that is seconded by at least two other counties, the vote necessary for the Legislative Committee to take a position on a matter, other than a matter of procedure and other than a motion to take no position on an issue, shall be the affirmative vote of 3/5 of the counties present. The motion shall be made before the vote on the matter.
6. It is the policy of the association that persons shall be advised only of the position of the legislative committee on a specific issue and not of the vote on that issue.

RULES AND PROCEDURES OF THE MACo LEGISLATIVE COMMITTEE

as of August 21, 1993

Page Two of Four Pages

C. Procedures - Identification of Bills for Consideration

1. MACo staff will review all introduced bills to identify bills that, if adopted, would have an impact on the membership (impact bills).
2. Impact bills will be listed in the Courthouse News that is issued immediately before the Legislative Committee meeting at which the bills may be considered.
3. Impact bills will be reviewed to determine which have a good or reasonable chance of passage (action bills).
4. Action Bills will be thoroughly analyzed by staff and will be listed in the Legislative Committee agenda distributed immediately before the Legislative Committee meeting at which the bills will be considered.

D. Proceedings - Bill Consideration

1. Staff will make presentations on action bills to the Legislative Committee or, as appropriate, to a standing subcommittee of the Legislative Committee.
2. Any member of the Legislative Committee may move that a bill other than an action bill be considered. The bill will be placed on the legislative committee agenda for consideration upon an affirmative vote of a majority of those members present.
3. A member may move to oppose, support, support with amendments, or take no position on a specific bill subject to consideration.
4. Action bills reviewed by a standing subcommittee which fall within existing policy guidelines or which have been the subject of prior Legislative Committee consideration may be presented to the Legislative Committee as an aggregate for action by consent. Bills proposed for action by consent shall be briefly described to the Legislative Committee by staff or a member of the subcommittee. A member may move that a bill proposed for action by consent be considered individually.
5. Should action be required on a bill or proposed amendment to a bill before consideration by the Legislative Committee is feasible, appropriate action will be determined by the MACo President and Legislative Committee Chairperson, or, if that is not possible, by the Legislative Committee Chairperson or, if that is not possible, by the Executive Director. The determination of appropriate action shall be based upon an assessment of what the legislative committee action on the issue would be. The action shall be reported to the Legislative Committee at its next meeting and shall be considered as having been taken by the legislative committee at that meeting.

RULES AND PROCEDURES OF THE MACo LEGISLATIVE COMMITTEE

as of August 21, 1993

Page Three of Four Pages

E. Staff Responsibilities/Guidance

1. In the absence of specific direction from the Legislative Committee Chairperson, the Executive Director will determine whether there will be written or oral testimony, or both, on a bill and whether to request testimony from elected officials.
2. The rationale for the position to be presented by staff shall be determined by referring to the debate before the Legislative Committee. When necessary, further direction may be obtained from the Legislative Committee Chairperson

F. Procedures - Determination of Policy

1. The legislative policy of the Legislative Committee shall be considered and enacted during the interim.
2. There shall be two types of legislative policy, position policy and consideration policy.
3. Position policy shall provide guidance for Legislative Committee or subcommittee action on recurring issues.
4. Consideration policy shall provide guidance for identifying issues or bills which should, or should not be, subject to Legislative Committee consideration.
5. The Legislative Committee Chairperson may appoint a subcommittee to make recommendations regarding proposed policy to the Legislative Committee.

G. Procedures - Establishment of Legislative Initiatives

1. At the first meeting of the Legislative Committee after the conclusion of the regular General Assembly session, the process for establishing the legislative initiatives for the next regular session shall be initiated.
2. The Executive Director and each member jurisdiction, affiliate, and standing subcommittee shall be requested to provide suggestions for proposed legislative initiatives.
3. Legislative initiatives shall be adopted at or before the October meeting of the Legislative Committee except that during the year of a Gubernatorial election, and at the discretion of the president or Chairperson, the adoption of Legislative initiatives may be deferred until after the October meeting.
4. The Legislative Committee Chairperson may appoint a subcommittee to make recommendations regarding proposed legislative initiatives to the Legislative Committee.
5. Except with the specific approval of the officers of the Association, the Legislative Committee shall adopt no more than 4 proposed legislative initiatives.

RULES AND PROCEDURES OF THE MACo LEGISLATIVE COMMITTEE

as of August 21, 1993

Page Four of Four Pages

H. Subcommittees

1. The Legislative Committee shall have two standing subcommittees which shall be the Tax Subcommittee and the Education Subcommittee.
2. The Tax Subcommittee's jurisdiction shall be limited to issues relating to taxes and revenues.
3. The Education Subcommittee's jurisdiction shall be limited to issues relating to education policy.
4. The MACo President, in consultation with the Chairperson of the Legislative Committee, shall appoint the subcommittee chairperson, vice chairperson, and members. No subcommittee shall have more than 15 voting members.
5. The standing subcommittees shall meet at such times as are deemed appropriate and necessary by their chairperson.
6. A subcommittee may review bills within its jurisdiction and make recommendations regarding action bills to the Legislative Committee.
7. The Legislative Committee Chairperson may appoint an ad hoc subcommittee to consider specific issues or any other proposal.
8. During the interim the standing subcommittees shall be requested and given the opportunity to make presentations regarding issues and policy considerations within their jurisdiction.

I. Affiliates

1. The Legislative Committee Chairperson or the Executive Director may request that an affiliate provide comment on action bills within the affiliate's area of expertise.
2. During the interim each affiliate shall be requested and given the opportunity to make presentations on issues and policy considerations within their areas of expertise.
3. When deemed appropriate, the Legislative Committee Chairperson or Executive Director may request that an affiliate present testimony before the General Assembly on an issue within the affiliate's area of expertise.

Approved 12/3/92

Amended 3/24/93 (Add Section B5; Change Section B5 to Section B6)

Amended 8/21/93 (Change Section B5)

Amended 11/4/93 (Change Section G.3.)



OFFICE OF THE
 COUNTY COMMISSIONERS

Worcester County

GOVERNMENT CENTER
 ONE WEST MARKET STREET • ROOM 1103

SNOW HILL, MARYLAND

21863-1195

Weston S. Young, P.E.
 Chief Administrative Officer

Candace I. Savage, CGFM
 Deputy Chief Administrative Officer

Roscoe R. Leslie
 County Attorney

COMMISSIONERS
 Theodore Elder, President
 Eric J. Fiori, Vice President
 Caryn G. Abbott
 Anthony W. Bertino, Jr.
 Madison J. Bunting, Jr.
 Joseph M. Mitrecic
 Diana Purnell

October 7, 2025

To: Worcester County Commissioners
 From: Karen Hammer, Administrative Assistant V
 SUBJECT: Upcoming Board Appointments - Terms Beginning January 1, 2025

Commissioner Bertino – You have Five (5) positions open:

- George Solyak – **Term Ended** – Agricultural Reconciliation Bd.
- J. T. Novak – **Term Ending** – Electrical Examiners Board
- Maria C- Lawrence – **Term Ended** – Housing Review Board
- Bob Gilmore – **Term Ending** – Local Development Council- Ocean Downs
- John Collins – **Term Ending** – W & S Advisory Board – Ocean Pines

Commissioner Purnell – You have Two (2) positions open:

- Roy Case – **Term Ending** – Electrical Examiners Board
- Nancy Howard – **Termed Out** – Social Services Advisory Board

Commissioner Bunting - You have Four (4) positions open:

- Mike Poole – **Term Ending** – Building Code Appeals Board
- Debbie Hileman – **Term Ending** – Housing Review Board
- William Gabeler – **Term Ending** – Recreation Advisory Board
- Harry Hammond – **Term Ended** – Social Services Advisory Bd.

Commissioner Abbott – You have Five (5) positions open:

- Kevin Holland – **Term Ended** – Building Code Appeals Bd.
- Glen Holland – **Termed Out** – Agricultural Preservation Advisory Board
- Keri-Ann Byrd – **Resigned** – Housing Review Board
- Patricia Tomasovic – **Termed Out** – Board of Library Trustees
- Larry Fykes – **Term Ending** – Zoning Appeals Board



Commissioner Mitrecic – You have Six (6) positions open:

- Bill Paul – **Resigned** – Building Code Appeals Board
- Ashley Harrison – **Term Ending** – Economic Development
- Kimberly List – **Termed Out** – Commission for Women
- Robert Duke – **Term Ending** – Lower Shore Workforce Development Board
- Rebecca Ferguson – **Resigned** – Social Services Advisory Board
- Lauren Taylor – **Term Ending** – Tourism Advisory Board

Commissioner Elder – You have Eight (8) positions open:

- Joan Scott - **Resigned** - Commission for Women
- Ed Phillips – **Termed Out** – Agricultural Preservation Advisory Board
- Alan Hudson - **Termed Out** – Agricultural Preservation Advisory Board
- Curt Lambertson - **Termed Out** – Agricultural Preservation Advisory Board
- Kelley Gravenor - **Termed Out** – Agricultural Preservation Advisory Board
- Harry Wimbrow – **Term Ending** – Economic Development
- Carl Smith - **Term Ending** – Electrical Examiners Board
- Kerrie Bunting – **Term Ending** – Tourism Advisory Board

Commissioner Fiori - You have Nine (9) positions open:

- Joe Schanno – **Term Ended** – Economic Development
- Bruce Spangler – **Term Ending** – Ethics Board
- Ken Church – **Term Ending** – Planning Commission
- Norman Bunting – **Term Ending** – Recreation Advisory Board
- Keith Swanton - **Term Ended** - Water & Sewer Advisory Council, West Ocean City
- Blake Haley – **Term Ended** - Water & Sewer Advisory Council, West Ocean City
- Todd Ferrante - **Term Ending** - Water & Sewer Advisory Council, West Ocean City
- Elizabeth Rodier - **Term Ended**- Commission for Women- Not a Reappointment
- Voncelia Brown – **Termed Out** – Social Services Advisory Board



All Commissioners:

(4)-Adult Public Guardianship Board -

- 3- Terms Expiring – Dr. Greer, Richard Collins, and Nancy Howard
 1 – Vacancy – Psychiatrist

(3)-Drug and Alcohol Abuse Council –3- Term Ends – Kim Moses, Rev. Jones, and Alyce Marzola

(3)-Local Development Council for the Ocean Downs Casino-

- Previously Expired Terms - **Mark Wittmyer, At-Large -Suggested Replacement.** David Massey (At-Large-Business O.P.), and Bob Gilmore (Resident O.P. – Bertino)

(1)- Property Tax Assessment Appeal Board - Alternate Seat Vacancy

- (2) – Social Services Advisory Board –** Commissioner Diana Purnell has served the maximum term; this Board requires one member to be a commissioner. Mary White has served the maximum term for this At-Large seat.

- (2) – Solid Waste Advisory Board -** Town of Berlin member – James Charles’s term is ending, and Town of Ocean City member – Brian Scarborough’s term is ending.

- (2)- Water and Sewer Advisory Council- West Ocean City-** 1 Term Ended Dec. 2021 – Keith Swanton and Blake Haley

(4- Total): Commission for Women:

- (2) - Resigned - (Fiori) - Elizabeth Rodier; (Elder) – Joan Scott**

- (2) - Currently Termed Out - Kimberly List (Mitrecic),**

(Term ends in Dec. 2025), Windy Phillips - (BD. of ED).

ADULT PUBLIC GUARDIANSHIP BOARD

Reference: PGL Family Law 14-402, Annotated Code of Maryland

Appointed by: County Commissioners

Function: Advisory
Perform 6-month reviews of all guardianships held by a public agency.
Recommend that the guardianship be continued, modified or terminated.

Number/Term: 11/3 year terms
Terms expire December 31st

Compensation: None, travel expenses (under Standard State Travel Regulations)

Meetings: Semi-annually

Special Provisions: 1 member must be a professional representative of the local department
1 member must be a physician
1 member must be a psychiatrist from the local department of health
1 member must be a representative of a local commission on aging
1 member must be a representative of a local nonprofit social services organization
1 member must be a lawyer
2 members must be lay individuals
1 member must be a public health nurse
1 member must be a professional in the field of disability
1 member must be a person with a physical disability

Staff Contact: Department of Social Services - Roberta Baldwin (410-677-6872)

Current Members:

<u>Member's Name</u>	<u>Representing</u>	<u>Years of Term(s)</u>
Roberta Baldwin	Local Dept. Rep. - Social Services	03-06-09-12-15-18-21-24-27
Melissa Banks	Public Health Nurse	*02-03-06-09-12-15-18-21-24-27
Dr. William Greer	Physician	07-10-13-16-19-22-25 Term Exp.
Richard Collins	Lawyer	95-16-19-22-25 Term Exp.
Nancy Howard	Lay Person	*17-19, 19-22-25 Term Exp.
Brandy Trader	Comm. On Aging	*15-17, 17-20, 20-23-26
Stephanie James	Wor. Co. Dev. Center	23-26
Vacancy	Psychiatrist	
Tina Dykes	Commission on Aging Rep.	25-28

* = Appointed to fill an unexpired term

AGRICULTURAL PRESERVATION ADVISORY BOARD

Reference: PGL Agriculture 2-504.1, Annotated Code of Maryland

Appointed by: County Commissioners

Functions: Advisory
Advise the County Commissioners and State Agricultural Preservation Foundation on establishment of agricultural districts and priorities for purchase of easements; promote preservation of agriculture in the County.

Number/Term: 7/4 years***
Terms expire December 31st

Compensation: \$100 per meeting (policy)

Meetings: As Needed

Special Provisions: 4 members to be owner-operators of commercial farms
Membership limited to two consecutive full terms

Staff Contact: Katherine Munson, Dept. of Environmental Programs (410-632-1220)

Current Members: (O-O = Commercial Farm Owner-Operator)

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Terms (Year)</u>
Glen Holland (O-O)	Abbott	D-1, Pocomoke	13-17-21-25 Termed Out
Ed Phillips (O-O)	Elder	D-4, Whaleyville	05-10-14-18-22-26 Termed Out
Alan Hudson (O-O)	Elder	D-4, Berlin	14-18-22-26 Termed Out
Christian Martin	Purnell	D-2, Berlin	22 -23-27
Curt Lambertson	Elder	D-4, Snow Hill	15-19-23-27 Termed Out
Stuart Cooper	Bunting	D-6, Bishopville	23-27
Kelley Gravenor	Elder	D-4, Snow Hill	*14-16-20-24-28 Termed Out

Prior Members:

Norman Ellis	Ed Anderson (98-03)
Richard Bradford	Robert Gray (00-05)
Charles Fulton	Orlando Bishop (01-06)
Elmer Hastings	Roger Richardson (96-07)
David Stevens	Anne Hastings (06-11)
Curtis Shockley	Earl Ludey (07-13)
Gerald Redden	George Lee Clayville (00-14)
William Sirman, Jr.	Sandra Frazier (03-14)
Harold Purnell	Donnie Powell (06-15)
Chauncy Henry (96-97)	Bill Bruning(O-O) (11-19)
Lieselotte Pennewell (93-98)	Billy Thompson (19-23)
Carlton Magee (90-00)	Kathy Drew (06-23)
Harry Mitchell (90-00)	
Frank Baker (98-01)	

* = Appointed to fill an unexpired term
 ** = Appointed to partial term to create proper staggering of terms
 ***=Membership expanded from 5 to 7 members and terms reduced from 5 to 4-years each in 2006

Reference: Public Local Law § ZS 1-346 (Right to Farm Law)

Appointed by: County Commissioners

Function: Regulatory
 Mediate and arbitrate disputes involving agricultural or forestry operations conducted on agricultural lands and issue opinions on whether such agricultural or forestry operations are conducted in a manner consistent with generally accepted agricultural or forestry practices and to issue orders and resolve disputes and complaints brought under the Worcester County Right to Farm Law.

Number/Term: 5 Members/4-Year Terms - Terms expire December 31st

Compensation: None - Expense Reimbursement as provided by County Commissioners

Meetings: At least one time per year, more frequently as necessary

Special Provisions: - All members must be County residents
 - Two Members chosen from nominees of Worcester County Farm Bureau
 - One Member chosen from nominees of Worcester County Forestry Board
 - Not less than 2 but not more than 3 members shall be engaged in the agricultural or forestry industries (**At-Large members - non-ag/forestry**)

Staff Contact: Dept. of Development Review & Permitting
 - Jennifer Keener (410-632-1200)
 County Agricultural Extension Agent - As Consultant to the Board
 - Doug Jones, District Manager, Resource Conservation District - (632-3109, x112)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Ag/Forest Industry</u>	<u>Resides</u>	<u>Years of Term(s)</u>
George Solyak	At-Large	No	Ocean Pines	18-22
Dean Ennis	Farm Bureau	Yes	Pocomoke	06-10-14-18-22-26
Tom Babcock	At-Large	No	Whaleyville	14-18-22-26
Stacey Esham	Forestry Bd.	Yes	Berlin	12-16-20-24-28
Brooks Clayville	Farm Bureau	Yes	Snow Hill	00-04-08-12-16-20-24-28

Prior Members: Since 2000

- Michael Beauchamp (00-06)
- Phyllis Davis (00-09)
- Richard G. Holland, Sr. (00-12)
- Rosalie Smith (00-14)
- Betty McDermott *(09-17)

* = Initial terms staggered

BUILDING CODE APPEALS BOARD

Reference: PGL - Public Safety Article - Section 12-501 - 12-508 - Annotated Code of Maryland
COMAR 05.02.07 (Maryland Building Performance Standards)
- International Building Code, International Residential Code

Appointed by: County Commissioners

Function: Quasi-Judicial
Hear and decide upon appeals of the provisions of the International Building Code (IBC) and International Residential Code for one- and two-family dwellings (IRC)

Number/Term: 7/4-year terms
Terms expire December 31

Compensation: \$100 per meeting (by policy)

Meetings: As Needed

Special Provisions: Members shall be qualified by reason of experience, training or formal education in building construction or the construction trades.

Staff Contact: Jennifer Keener, Director
Development Review & Permitting (410-632-1200, ext. 1123)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Bill Paul	D-7 - Mitrecic	Ocean Pines	15-19-23 Resigned
Kevin Holland	D-1 - Abbott	Pocomoke	96-04-08-12-16-20, 20-24
Mike Poole	D-6 - Bunting	Bishopville	17-21, 21-25
Mark Bargar	D-4 - Elder	Berlin	14-18-22-26
Jim Wilson	D-3 - Fiori	Berlin	02-06-10-14-18-22-26
Elbert Davis	D-2 - Purnell	Snow Hill	*03-07-11-15-19-23-27
James Spicknall	D-5 - Bertino	Ocean Pines	04-08-12-16-20-24-28

Prior Members:

Robert L. Cowger, Jr. (92-95)
Charlotte Henry (92-97)
Robert Purcell (92-98)
Edward DeShields (92-03)
Sumei Prete (97-04)
Shane C. Spain (03-14)
Dominic Brunori (92-15)
Richard P. Mueller (98-17)

* = Appointed to fill an unexpired term

Reference: PGL Health-General, Section 8-1001

Appointed by: County Commissioners

Functions: Advisory
Develop and implement a plan for meeting the needs of the general public and the criminal justice system for alcohol and drug abuse evaluation, prevention and treatment services.

Number/Term: At least 18 - At least 7 At-Large, and 11 ex-officio (also several non-voting members)
At-Large members serve 4-year terms; Terms expire December 31

Compensation: None

Meetings: As Necessary

Special Provisions: Former Alcohol and Other Drugs Task Force was converted to Drug and Alcohol Abuse Council on October 5, 2004.

Staff Contact: Regina Mason, Council Secretary, Health Department (410-632-1100)
Doug Dods, Council Chair, Sheriff's Office (410-632-1111)

Current Members:

<u>Name</u>	<u>Representing</u> <u>At-Large Members</u>	<u>Years of Term(s)</u>
Kim Moses	Knowledgeable on Substance Abuse Issues	08-12-16-20, 20-24
Rev. James Jones	Knowledge of Substance Abuse Issues	*21-25
Alyce Marzola	Knowledge of Substance Abuse Treatment	*24-25
Eric Gray (Designee)	Substance Abuse Treatment Provider	*15-18-22-26
Sue Abell-Rodden	Recipient of Addictions Treatment Services	10-14-18-22-26
Colonel Doug Dods	Knowledgeable on Substance Abuse Issues	04-10 (adv)-14-18-22-26
Jim Freeman, Jr.	Knowledgeable on Substance Abuse Issues	04-11-15, 15-19-23-27
Mimi Dean	Substance Abuse Prevention Provider	*18-19-23-27
Michael Trader	Knowledgeable on Substance Abuse Issues	23-27
Matthew Giardina	Knowledgeable on Substance Abuse Issues	24-28

Ex-Officio Members

Rebecca Jones	Health Officer	Ex-Officio, Indefinite
Roberta Baldwin	Social Services Director	Ex-Officio, Indefinite
Crystal Duffy	Juvenile Services, Regional Director	Ex-Officio, Indefinite
Travis Knapp	Field Supervisor	Ex-Officio, Indefinite
Kris Heiser	State's Attorney	Ex-Officio, Indefinite
Chasity Simpson	District Public Defender	Ex-Officio, Indefinite
Sheriff Matt Crisafulli	County Sheriff	Ex-Officio, Indefinite
Todd Ferrante	Board of Education President	Ex-Officio, Indefinite
Diana Purnell	County Commissioners	Ex-Officio, Indefinite
Judge Brian Shockley (Jen Bauman)	Circuit Court Administrative Judge	Ex-Officio, Indefinite
Hon. Melvin Jews	District Court Administrative Judge	Ex-Officio, Indefinite
Timothy Mulligan	Warden, Worcester County Jail	Ex-Officio, Indefinite

Advisory Members

* Appointed to a partial term for proper staggering, or to fill a vacant term

Reference: County Commissioners’ Resolutions of March 1976, 4/16/85, 9/16/97, 5/4/99 and 03-6 on 2/18/03

Appointed by: County Commissioners

Function: Advisory
Provide the County with advice and suggestions concerning the economic development needs of the County; review applications for financing; review Comprehensive Development Plan and Zoning Maps to recommend to Planning Commission appropriate areas for industrial development; review/comment on major economic development projects.

Number/Term: 7/4-Year - Terms expire December 31st.

Compensation: \$100 per meeting as expense allowance

Meetings: At least quarterly, more frequently as necessary

Special Provisions: One member nominated by each County Commissioner
Members may be reappointed

Staff Contact: Economic Development Department - Melanie Pursel (410-632-3110)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Term(s)</u>
Joe Schanno	D-3, Fiori	West Ocean City	*19-20, 20-24
Ashley Harrison	D-7, Mitrecic	Ocean City	19-21, 21-25
Harry Wimbrow	D-4, Elder	Snow Hill	*22-25
Steven Habeger	D-5, Bertino	Ocean Pines	19-23-27
Natoshia Collick Owens	D-2, Purnell	Ocean Pines	*15-19-23-27
Stephen Kolarik, Jr.	D-6, Bunting	Bishopville	23-27
C.D. Hall	D-1, Abbott	Pocomoke	*22-24-28

Prior Members: Since 1972

George Gering
Margaret Quillin
Robert W. Todd
Charles Fulton
E. Thomas Northam
Charles Bailey
Terry Blades
Roy Davenport
M. Bruce Matthews
Barbara Tull
Tawney Krauss
Dr. Francis Ruffo
William Smith
Saunders Marshall
Elsie Marshall
Halcolm Bailey
Norman Cathell
Mary Humphreys
Theodore Brueckman

Shirley Pilchard
W. Leonard Brown
Charles Nichols (92-97)
Jeff Robbins (97-98)
Colleen Smith (94-98)
Tommy Fitzpatrick (97-99)
John Rogers (92-98)
Jennifer Lynch (98-99)
Don Hastings (92-99)
Jerry Redden (92-00)
Keith Mason (98-00)
Bob Pusey (99-00)
Harold Scrimgeour (00-02)
Scott Savage (98-03)
Gabriel Purnell (91-03)
Michael Avara (99-03)
Annette Cropper (00-04)
Billie Laws (91-08)
Anne Taylor (95-08)
Mary Mackin (04-08)

Thomas W. Davis, Sr. (99-09)
Mickey Ashby (00-12)
Priscilla Pennington-Zytowicz (09-14)
Barbara Purnell (08-15)
Timothy Collins (03-15)
Joshua Nordstrom (12-16)
William Sparrow (16-18)
Greg Shockley (14-18)
Tom Terry (15-19)
John Glorioso (08-19)
Ralph Shockley (*08-21)
Robert Clarke (*08-22)
Marc Scher (*19-22)
Robert Fisher (87-22)

Updated: January 16, 2024

Printed: August 20, 2025

* = Appointed to fill an unexpired term

BOARD OF ELECTRICAL EXAMINERS

Reference: Public Local Law BR §2-203

Appointed by: County Commissioners

Function: Regulatory
Regulate licensing of electricians in Worcester County.

Number/Term: 7/3 years
Terms expire December 31st

Compensation: \$100 meeting for expenses (as determined by County Commissioners)

Meetings: As Needed (1 per month)

Special Provisions: 1 must be electrical contractor in Worcester County for 5-years prior.
1 must be electrician in Worcester County.
All must be residents of Worcester County.

Staff Contact: Department of Development Review & Permitting
Deborah Mooney 410-632-1200

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Roy M. Case (ME)	D-2, Purnell	Berlin	10-13-16-19-22-25
Carl Smith (ME-5)	D-4, Elder	Snow Hill	98-10-13-16-19-22-25
J.T. Novak (ME-5)	D-5, Bertino	Ocean Pines	07-10-13-16-19-22-25
Kenneth Lambertson (ME-5)	D-1, Abbott	Pocomoke	96-11-14-17-20-23-26
Michael Patchett (ME-5)	D-7, Mitrecic	West Ocean City	08-11-14-17-20-23-26
Steve Kolarik (ME)	D-6, Bunting	Bishopville	12-21-24-27
Duane Duncan (ME-5)	D-3, Fiori	Berlin	*05-12-15-18-21-24-27

(Key: ME-5 = Master Electrician at least 5-years; ME = Master Electrician; EL = Electrician Limited)

Prior Members: (Since 1972)

Harrison Lambertson	Elwood Bunting
William Molnar	W. Prentiss Howard
Thomas Ashby	Frank Bradshaw (90-96)
Billy Burton Cropper	H. Coston Gladding (90-96)
Alonza Anderson	Willard W. Ward (92-97)
Gus Foltz	Walter Ward (92-98)
Robert Conner	Dale Venable (94-00)
Gus Payne	Gary Frick (96-03)
Robert Farley	Thomas Duncan (02-05)
Mike Costanza	Mike Henderson (00-06)
Herbert Brittingham	Brent Pokrywka (02-07)
Otho Mariner	Joel Watsky (03-08)
Mark Odachowski	Bob Arnold (97-10)
Howard Pusey	Jamie Englishmen (06-12)

* = Appointed to fill an unexpired term

ETHICS BOARD

Reference: Public Local Law, Section CG 5-103

Appointed by: County Commissioners

Function: Advisory
 Maintain all Ethics forms; develop procedures and policies for advisory opinions to persons subject to the Ethics Law and for processing complaints alleging violations of the Ethics Law; conduct a public information program regarding the purpose and application of the Ethics Law; annually certify compliance to the State; and recommend any changes to the Commissioners in order to comply with State Ethics Law.

Number/Term: 7/4 years
 Terms expire December 31st

Compensation: \$100 per meeting

Meetings: As Necessary

Special Provisions:

Staff Contact: Roscoe Leslie, County Attorney (410-632-1194)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Bruce Spangler	D-3, Fiori	Berlin	*02-05-09-13-17-21-25
Iola Tariq	D-2, Purnell	Berlin	*22-26
Mickey Ashby	D-1, Abbott	Pocomoke	14-18-22-26
David Deutsch	D-6, Bunting	Ocean Pines	17-21-23-27
Frank Knight	D-7, Mitrecic	Ocean City	*14-19-23-27
Judy Giffin	D-5, Bertino	Ocean Pines	*21-24-28
Joseph Stigler	D-4, Elder	Berlin	16-20-24-28

Prior Members: (Since 1972)

- | | |
|-----------------------------|-------------------------------|
| J.D. Quillin, III | Walter Kissel (05-09) |
| Charles Nelson | Marion Chambers (07-11) |
| Garbriel Purnell | Jay Knerr (11-14) |
| Barbara Derrickson | Robert I. Givens, Jr. (98-14) |
| Henry P. Walters | Diana Purnell (09-14) |
| William Long | Kevin Douglas (08-16) |
| L. Richard Phillips (93-98) | Lee W. Baker (08-16) |
| Marigold Henry (94-98) | Richard Passwater (09-17) |
| Louis Granados (94-99) | Jeff Knepper (16-21) |
| Kathy Philips (90-00) | Faith Mumford (14-22) |
| Mary Yenney (98-05) | |
| Bill Ochse (99-07) | |
| Randall Mariner (00-08) | |
| Wallace D. Stein (02-08) | |
| William Kuhn (90-09) | |

* = Appointed to fill an unexpired term

HOUSING REVIEW BOARD

Reference: Public Local Law §BR 3-104

Appointed by: County Commissioners

Function: Regulatory/Advisory
To decide on appeals of code official's actions regarding the Rental Housing Code. Decide on variances to the Rental Housing Code. Review Housing Assistance Programs.

Number/Term 7/3-year terms
Terms expire December 31st

Compensation: \$100 per meeting (policy)

Meetings: As Needed

Special Provisions: Immediate removal by Commissioners for failure to attend meetings.

Staff Support: Development Review & Permitting Department
Davida Washington, Housing Program Administrator - 410-632-1200

Ext: 1171

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Terms(s)</u>
Maria Campione-Lawrence	D-5, Bertino	Ocean Pines	*22-23
Keri-Ann F. Byrd	D-1, Abbott	Pocomoke	22-25
Debbie Hileman	D-6, Bunting	Ocean Pines	10-13-16-19-22-25
Don Furbay	D-3, Fiori	W. Ocean City	23-26
Charlie Murphy	D-7, Mitrecic	Ocean City	*23-26
Carl Smith	D-4, Elder	Snow Hill	24-27
Felicia Green	D-2, Purnell	Ocean Pines	*21-24-27

Prior Members:

Phyllis Mitchell	Albert Bogdon (02-06)	Scot Tingle 14-24
William Lynch	Jamie Rice (03-07)	
Art Rutter	Howard Martin (08)	
William Buchanan	Marlene Ott (02-08)	
Christina Alphonso	Mark Frostrom, Jr. (01-10)	
Elsie Purnell	Joseph McDonald (08-10)	
William Freeman	Sherwood Brooks (03-12)	
Jack Dill	Otho Mariner (95-13)	
Elbert Davis	Becky Flater (13-14)	
J. D. Quillin, III (90-96)	Ruth Waters (12-15)	
Ted Ward (94-00)	John Glorioso (*06-19)	
Larry Duffy (90-00)	Sharon Teagle (00- 20)	
Patricia McMullen (00-02)	Davida Washington (*21-21)	
William Merrill (90-01)	Donna Dillion (08-22)	
Debbie Rogers (92-02)	C.D. Hall 10-22	
Wardie Jarvis, Jr. (96-03)	Chase Church (*19-22)	
	Jake Mitrecic (15-21)	

* = Appointed to fill an unexpired term

BOARD OF LIBRARY TRUSTEES

Reference: PGL Education 23-403, Annotated Code of Maryland

Appointed by: County Commissioners (from nominees submitted by Board of Library Trustees)

Function: Supervisory
Responsible for the general control and development of the County library system. Oversees management of the libraries, assists in preparation of library budget and other fiscal matters, arranges for an annual audit, makes an annual report to the County Commissioners, make recommendations to the County Commissioners regarding library acquisitions/development.

Number/Term: 7/5 years
Terms expire December 31st.

Compensation: None

Meetings: 1 per month except July, and August

Special Provisions: Nominees submitted by Library Board; Maximum 2 consecutive terms

Staff Contact: Library Director - Jennifer Ranck (410) 632-2600

Current Members:

<u>Name</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Patricia Tomasovic	Pocomoke	*19, 19-24
Sandra Buchanan	Pocomoke	21-26
Jocelyn Briddell	Newark	21-26
Nancy Howard	Ocean City	16-21, 21-26
Kathryn Culbertson	Snow Hill	*21-23-28
Vicki O'Mara	Ocean Pines	*18-23-28
Jeff Smith	Berlin	19-24-29

Prior Members: Since 1972

Herman Baker	Jere Hilbourn	Beverly Dryden Wilkerson (06-10)
Lieselette Pennewell	Janet Owens	John Staley (97-11)
Edith Dryden	Ruth Westfall	James Gatling (01-11)
Clifford D. Cooper, Jr.	Helen Farlow	Shirley Dale (02-12)
Klein Leister	Judy Quillin	Edith Barnes (07-13)
Evelyn Mumford	Gay Showell	Richard Polhemus (11-16)
Ann Eschenburg	Susan Mariner	Richard Warner Davis (11-16)
Barbara Ward	Jacqueline Mathias	Frederick Grant (13-17)
Donald F. McCabe	Ann S. Coates (88-97)	Rosemary S. Keech (12-18)
Fannie Russell	Jim Dembeck (91-97)	Vivian Pruitt (09-19)
Stedman Rounds	Bill Waters (88-98)	Ron Cascio 09-19
Donald Turner	Geraldine Thweatt (97-98)	Donald James Bailey (16-21)
Sarah Dryden	Martha Hoover (87-99)	Holly Anderson (*10-21)
L. Richard Phillips	Eloise Henry-Gordy (98-00)	Leslie Mulligan (*17-21)
Barbara Bunting	William Cropper (91-01)	
Joanne Mason	Ms. Willie Gaddis (89-01)	
	Leola Smack (99-02)	
	Jean Tarr (94-04)	
	Lois Sirman (01-06)	
	Amanda DeShields (00-07)	
	David Nedrow (04-09)	
	Belle Redden (99-09)	

* = Appointed to fill an unexpired term

**LOCAL DEVELOPMENT COUNCIL
FOR THE OCEAN DOWNS CASINO**

ITEM 19

Reference: Subsection 9-1A-31(c) - State Government Article, Annotated Code of Maryland

Appointed by: County Commissioners

Function: Advisory
Review and comment on the multi-year plan for the expenditure of the local impact grant funds from video lottery facility proceeds for specified public services and improvements; Advise the County on the impact of the video lottery facility on the communities and the needs and priorities of the communities in the immediate proximity to the facility.

Number/Term: 15/4-year terms; Terms Expire December 31

Compensation: None

Meetings: At least semi-annually

Special Provisions: Membership to include State Delegation (or their designee); one representative of the Ocean Downs Video Lottery Facility, seven residents of communities in immediate proximity to Ocean Downs, and four business or institution representatives located in immediate proximity to Ocean Downs.

Staff Contacts: Kim Moses, Public Information Officer, 410-632-1194
Roscoe Leslie, County Attorney, 410-632-1194

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Represents/Resides</u>	<u>Years of Term(s)</u>
Mark Wittmyer	At-Large	Business - Ocean Pines	15-19
David Massey ^c	At-Large	Business - Ocean Pines	09-13-17, 17-21
Bobbi Jones	Ocean Downs Casino	Ocean Downs Casino	23-indefinite
Mary Beth Carozza	Indefinite	Maryland Senator	14-indefinite
Wayne A. Hartman	Indefinite	Maryland Delegate	18-indefinite
Charles Otto	Indefinite	Maryland Delegate	14-indefinite
Bob Gilmore	Dist. 5 - Bertino	Resident - Ocean Pines	*19-21, 21-25
Matt Gordon	Dist. 1 – Abbott	Resident - Pocomoke	19-22, 22-26
Ivy Wells	Dist. 3 - Church	Resident - Berlin	22-26
Cam Bunting ^c	At-Large	Business - Berlin	*09-10-14-18-22-26
Roxane Rounds	Dist. 2 - Purnell	Resident - Berlin	*14-15-19-23-27
Michael Donnelly	Dist. 7 - Mitrecic	Resident - Ocean City	*16-19-23-27
Kerrie Bunting	Dist. 4 - Elder	Resident - Snow Hill	*22-24-28
Mayor Rick Meehan ^c	At-Large	Business - Ocean City	*09-12-16-20-24-28
Tina Kolarik	Dist. 6 - Bunting	Resident -Bishopville	24-28

Prior Members:

J. Lowell Stoltzfus^c (09-10)
 Mark Wittmyer^c (09-11)
 John Salm^c (09-12)
 Mike Pruitt^c (09-12)
 Norman H. Conway^c (09-14)
 Michael McDermott (10-14)
 Diana Purnell^c (09-14)
 Linda Dearing (11-15)
 Todd Ferrante^c (09-16)

Since 2009

Joe Cavilla (12-17)
 James N. Mathias, Jr.^c (09-18)
 Ron Taylor^c (09-14)
 James Rosenberg (09-19)
 Rod Murray^c (*09-19)
 Gary Weber (*19-21)

Charlie Dorman (12-19)
 Gee Williams (09-21)
 Bobbi Sample (17-23)
 Steve Ashcraft (19-24)

* = Appointed to fill an unexpired term/initial terms staggered
^c = Charter Member

LOWER SHORE WORKFORCE DEVELOPMENT BOARD (Previously Private Industry Council Board - PIC)

Reference: Workforce Innovation and Opportunity Act of 2014, Section 107

Appointed by: County Commissioners

Functions: Advisory/Regulatory
Provide education and job training opportunities to eligible adults, youth and dislocated workers who are residents of Somerset, Wicomico and Worcester counties.

Number/Term: 26 - 5 Worcester County, 11 At-Large (by Tri-County Council), 10 Other
2, 3 or 4-year terms; Terms expire September 30

Compensation: None

Meetings: Quarterly (March, June, September, December) on the 2nd Wednesday

Special Provisions: Board must be at least 51% business membership.
Chair must be a businessperson

Staff Contact: Lower Shore Workforce Alliance
Leslie Porter-Cabell – LSWA Director (410-341-3835, ext. 2502)
American Job Center, 31901 Tri-County Way, Suite 215, Salisbury, MD 21804

Current Members (Worcester County - also members from Wicomico, Somerset and Tri-County Council):

<u>Name</u>	<u>Resides/Agency</u>	<u>Term</u>	<u>Representing</u>
Robert "Bo" Duke	Ocean City	*17-21, 21-25	Business Rep.
Alicia Warren	Berlin	22-26	Business/Healthcare Ind.
Sarah Chapman	Pocomoke	23- 27	Business Rep.
Matthew Culbertson	Snow Hill	24-28	Private Business Rep.
Lauren Martin	Berlin	24-28	Business Rep.

Prior Members: Since

Baine Yates	Walter Kissel (03-07)	Whitney Palmer(*20-24)
Charles Nicholson (98-00)	Heidi Kelley (07-08)	
Gene Theroux (97-00)	Bruce Morrison (05-08)	
Jackie Gordon (98-00)	Margaret Dennis (08-12)	
Caren French (97-01)	Ted Doukas (03-13)	
Jack Smith (97-01)	Diana Nolte (06-14)	
Linda Busick (98-02)	John Ostrander (07-15)	
Edward Lee (97-03)	Craig Davis (13-17)	
Joe Mangini (97-03)	Donna Weaver (08-17)	
Linda Wright (99-04)	Geoffrey Failla (15-18)	
Kaye Holloway (95-04)	Melanie Pursel (18-*20)	
Joanne Lusby (00-05)	Ivy Wells (20-21)(21-public appt.)	
William Greenwood (97-06)	Jason Cunha (*16-23)	
Gabriel Purnell (04-07)	Walter Maizel(*12-24)	

PLANNING COMMISSION

ITEM 19

Reference: Public Local Law ZS '1-112

Appointed by: County Commissioners

Functions: Advisory/Regulatory
 Make investigations and recommendations regarding zoning text and map amendment applications; recommend conditional rezoning; make recommendations to the Board of Zoning Appeals; review public projects, proposed facility development plans, regulations and standards; review and approve site plans; review and make recommendations regarding residential planned communities; review and approve subdivision plats.

Number/Term: 7/5 years; Terms expire December 31st

Compensation: \$100 per meeting (policy)

Meetings: 1 regular meeting per month; additional meetings held as necessary

Special Provisions: Historically - one member from each Commissioner District, plus two At-Large members; one member per district once expanded to seven districts.

Staff Contact: Department of Development Review & Permitting
 Jennifer Keener, Director (410-632-1200, ext. 1123)

Current Members:

<u>Member=s Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Ken Church	D-3, Fiori	Berlin	20-25
Phyllis Wimbrow	D-4, Elder	Snow Hill	23-28
Marlene Ott	D-5, Bertino	Ocean Pines	08-13-18-23-28
Kathy Drew	D-6, Bunting	Bishopville	*23-26
Betty M. Smith	D-2, Purnell	Berlin	*07-09-14-19-24-29
Mary Knight	D-7, Mitrecic	Berlin	*20-24-29
Jerry Barbierri	D-1, Abbott	Pocomoke	*12-15-20-25-30

Prior Members:

Since 1972

- | | | |
|--------------------|--------------------------|---------------------------------|
| David L. Johnson | Terry Bayshore | Wilbert ATom@ Pitts (99-07) |
| N. Paul Joyner | Larry Widgeon | Doug Slingerland (07-08) |
| Daniel Trimper, IV | Charles D. ACD@ Hall | Carolyn Cummins (90-94, 99-09) |
| Hugh F. Wilde | Ernest ASandy@ Coyman | Madison AJimmy@ Bunting (05-10) |
| Warren Frame | Rev. Donald Hamilton | Jeanne Lynch (06-11) |
| Roland E. Powell | Dale Stevens | H. Coston Gladding (96-12) |
| Harry Cherrix | Marion L. Butler, Sr. | Wayne A. Hartman (09-14) |
| W. David Stevens | Ron Cascio (96-97) | Jay Knerr (14-20) |
| Granville Trimper | Louie Paglierani (90-99) | Mike Diffendal (10-20) |
| J. Brad Aaron | Robert Hawkins (96-99) | Brooks Clayville (02-22) |
| Lester Atkinson | Ilia Fehrer (94-99) | Richard Wells (11-23) |
| Paul L. Cutler | Rob Clarke (99-00) | |
| Edward R. Bounds | W. Kenny Baker (97-02) | |
| Edward Phillips | James Jarman (99-03) | |
| Vernon McCabe | Harry Cullen (00-03) | |
| R. Blaine Smith | Ed Ellis (96-04) | |
| Edward A. Tudor | Troy Purnell (95-05) | |
| | Larry Devlin (04-06) | |
| | Tony Devereaux (03-07) | |

* = Appointed to fill an unexpired term

RECREATION ADVISORY BOARD

Reference: County Commissioners' Action 6/13/72 and Resolution of 12/27/83 and Resolution 97-51 of 12/23/97 and Resolution 03-6 of 2/18/03

Appointed by: County Commissioners

Function: Advisory
 Provide the County with advice and suggestions concerning the recreation needs of the County and recommendations regarding current programs and activities offered.
 Review and comment on proposed annual Recreation Department budget.

Number/Term: 7/4-year term
 Terms expire December 31st

Compensation: \$100 per meeting expense allowance, subject to funding

Meetings: At least quarterly, more frequently as necessary

Special Provisions: One member nominated by each County Commissioner

Staff Support: Recreation and Parks Department - Lisa Gebhardt (410) 632-2144

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
William Gabeler	D-6, Bunting	Ocean Pines	21-25
Norman Bunting, Jr.	D-3, Fiori	Berlin	*16-17-21-25
Alvin Handy	D-2, Purnell	Ocean City	06-10-14-18-22-26
John Gehrig	D-7, Mitrecic	Ocean City	14-18-22-26
Joseph Stigler	D-4, Elder	Snow Hill	*21-23-27
Missy Denault	D-5, Bertino	Berlin	*15-16-20-24-28
Scott Holland	D-1, Abbott	Pocomoke	24-28

Prior Members: Since 1972

Howard Taylor	Warren Mitchell	Jr.(83-98)	Shawn Johnson(15-19)
Arthur Shockley	Edith Barnes	Richard Ramsay (93-98)	Devin Bataille (19-20)
Rev. Ray Holsey	Glen Phillips	Mike Daisy (98-99)	Chris Klebe (*11-21)
William Tingle	Gerald Long	Cam Bunting (95-00)	Mike Hooks (12-24)
Mace Foxwell	Lou Ann Garton	Charlie Jones (98-03)	
Nelson Townsend	Milton Warren	Rick Morris (03-05)	
J.D. Townsend	Ann Hale	Gregory Purnell (97-06)	
Robert Miller	Claude Hall, Jr.	George "Eddie" Young (99-08)	
Jon Stripling	Vernon Davis	Barbara Kissel (00-09)	
Hinson Finney	Rick Morris	Alfred Harrison (92-10)	
John D. Smack, Sr.	Joe Lieb	Janet Rosensteel (09-10)	
Richard Street	Donald Shockley	Tim Cadotte (02-12)	
Ben Nelson	Fulton Holland (93-95)	Craig Glovier (08-12)	
Shirley Truitt	Gregory Purnell (83-96)	Joe Mitrecic (10-14)	
Cyrus Teter	Vernon Redden,	Sonya Bounds (12-15)	
		Burton Anderson (05-15)	
		William Regan (02-16)	

* = Appointed to fill an unexpired term

SOCIAL SERVICES ADVISORY BOARD

Reference: Human Services Article - Annotated Code of Maryland - Section 3-501

Appointed by: County Commissioners

Functions: Advisory
 Review activities of the local Social Services Department and make recommendations to the State Department of Human Resources.
 Act as liaison between Social Services Dept. and County Commissioners.
 Advocate social services programs on local, state and federal level.

Number/Term: 9 to 13 members/3 years
 Terms expire June 30th

Compensation: None - (Reasonable Expenses for attending meetings/official duties)

Meetings: 1 per month (Except June, July, August)

Special Provisions: Members to be persons with high degree of interest, capacity & objectivity, who in aggregate give a countywide representative character.
 Maximum 2 consecutive terms, minimum 1-year between reappointment
 Members must attend at least 50% of meetings
 One member (ex officio) must be a County Commissioner
 Except County Commissioner, members may not hold public office.

Staff Contact: Roberta Baldwin, Director of Social Services - (410-677-6806)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Harry Hammond	D-6, Bunting	Bishopville	15-21, 21- 24 Term Expired
Shelly Daniels	D-1, Abbott	Pocomoke City	22-25
Rebecca Colt-Ferguson	D-7, Mitrecic	Ocean City	22-25 Resigned
Janice Chiampa	D-5, Bertino	Ocean Pines	22-25
Diana Purnell	ex officio - Commissioner		14-18-22-25 Term Expired
Voncelia Brown	D-3, Fiori	Berlin	16-19-22-25 Term Expired
Mary White	At-Large	Berlin	*17-19-22-25 Term Expired
Margaret Labesky	D-4, Elder	Snow Hill	23-26
Nancy Howard	D-2, Purnell	Ocean City	09-16-17-20-23-26 Term Expired

* = Appointed to fill an unexpired term

Reference: County Commissioners' Resolution 5/17/94 and 03-6 on 2/18/03

Appointed by: County Commissioners

Function: Advisory
Review and comment on Solid Waste Management Plan, Recycling Plan, plans for solid waste disposal sites/facilities, plans for closeout of landfills, and to make recommendations on tipping fees.

Number/Term: 11/4-year terms; Terms expire December 31st.

Compensation: \$100 per meeting expense allowance, subject to annual appropriation

Meetings: At least quarterly

Special Provisions: One member nominated by each County Commissioner; and one member appointed by County Commissioners upon nomination from each of the four incorporated towns.

Staff Support: Solid Waste - Solid Waste Superintendent – David Candy - (410-632-3177)
Solid Waste - Recycling Coordinator – Bob Keenan - (410-632-3177)
Department of Public Works - Dallas Baker- (410-632-5623)

Current Members:

<u>Member's Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
James Charles	Town of Berlin		21-25
Brain Scarborough	Town of Ocean City		21-25
Bob Gilmore	D-5, Bertino	Ocean Pines	*21-22, 22-26
George Linvill	D-1, Abbott	Pocomoke	14-18-22-26
George Dix	D-4, Elder	Snow Hill	*10-18-22-26
John O'Brien	D-6, Bunting	Bishopville	*22-23-27
Don Furbay	D-3, Fiori	Berlin	20-24-28
Granville Jones	D-7, Mitrecic	Berlin	*15-16-20-24-28
Mike Wyatt	Town of Pocomoke City		24-28
Aaron Lumpkins	Town of Snow Hill		25-29
Vaughn White	D-2, Purnell	Berlin	*19-21, 21-25-29

Prior Members: (Since 1994)

Ron Cascio (94-96)
 Roger Vacovsky, Jr. (94-96)
 Lila Hackim (95-97)
 Raymond Jackson (94-97)
 William Turner (94-97)
 Vernon "Corey" Davis, Jr. (96-98)
 Robert Mangum (94-98)
 Richard Rau (94-96)
 Jim Doughty (96-99)
 Jack Peacock (94-00)
 Hale Harrison (94-00)
 Richard Malone (94-01)
 William McDermott (98-03)
 Fred Joyner (99-03)
 Hugh McFadden (98-05)
 Dale Pruitt (97-05)

Frederick Stiehl (05-06)
 Eric Mullins (03-07)
 Mayor Tom Cardinale (05-08)
 William Breedlove (02-09)
 Lester D. Shockley (03-10)
 Woody Shockley (01-10)
 John C. Dorman (07-10)
 Robert Hawkins (94-11)
 Victor Beard (97-11)
 Mike Gibbons (09-14)
 Hank Westfall (00-14)
 Marion Butler, Sr. (00-14)
 Robert Clarke (11-15)
 Bob Donnelly (11-15)
 Howard Sribnick (10-16)
 Dave Wheaton (14-16)
 Wendell Purnell (97-18)
 George Tasker (*15-20)

Rodney Bailey *19
 Steve Brown *10-19
 Bob Augustine 16-19
 Michael Pruitt *15-19
 James Rosenburg (*06-19)
 Jamey Latchum *17-19
 Hal Adkins (*20-21)
 Mike Poole (11-22)
 Michelle B-El Soloh (*19-24)
 Michael Pruitt (*22-24)

* = Appointed to fill an unexpired term

Reference: County Commissioners= Resolution of May 4, 1999 and 03-6 of 2/18/03

Appointed by: County Commissioners

Function: **Advisory**
 Advise the County Commissioners on tourism development needs and recommend programs, policies and activities to meet needs, review tourism promotional materials, judge tourism related contests, review applications for State grant funds, review tourism development projects and proposals, establish annual tourism goals and objectives, prepare annual report of tourism projects and activities and evaluate achievement of tourism goals and objectives.

Number/Term: 7/4-Year term - Terms expire December 31st

Compensation: \$100 per meeting expense allowance

Meetings: At least bi-monthly (6 times per year), more frequently as necessary

Special Provisions: One member nominated by each County Commissioner

Staff Contact: Tourism Department – Melanie Pursel, Director of Tourism 410-632-3110

Current Members:

<u>Member=s Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)²</u>
Lauren Taylor	D-7, Mitrecic	Ocean City	13-17-21, 21-25 Term Ending
Kerrie Anne Bunting	D-4, Elder	Snow Hill	21-25 Term Ending
Gregory Purnell	D-2, Purnell	Berlin	14-18-22-26
CL Marshall	D-1, Abbott	Pocomoke	*24-27
Thomas Shuster	D-3, Fiori	West Ocean City	23-27
Ruth Waters	D-6, Bunting	Bishopville	19-23-27
Sarah Ash	D-5, Bertino	Berlin	25-29

Prior Members: Since 1972

Isaac Patterson ¹	Klein Leister (99-03)	Michael Day *19-21
Lenora Robbins ¹	Bill Simmons (99-04)	Barbara Tull (03-23)
Kathy Fisher ¹	Bob Hulburd (99-05)	Elena Ake *16-23 Released
Leroy A. Brittingham ¹	Frederick Wise (99-05)	Nola Tullar (23-24) Released
George ABuzz@ Gering ¹	Wayne Benson (05-06)	Joh Davis (*19-24)
Nancy Pridgeon ¹	Jonathan Cook (06-07)	
Marty Batchelor ¹	John Glorioso (04-08)	
John Verrill ¹	David Blazer (05-09)	
Thomas Hood ¹	Ron Pilling (07-11)	
Ruth Reynolds (90-95)	Gary Weber (99-03, 03-11)	
William H. Buchanan (90-95)	Annemarie Dickerson (99-13)	
Jan Quick (90-95)	Diana Purnell (99-14)	
John Verrill (90-95)	Kathy Fisher (11-15)	
Larry Knudsen (95)	Linda Glorioso (08-16)	
Carol Johnsen (99-03)	Teresa Travatello (09-18)	
Jim Nooney (99-03)	Molly Hilligoss (15-18)	
Barry Laws (99-03)	Denise Sawyer (*18-19)	
	Isabel Morris (11-19)	

* = Appointed to fill an unexpired term
 1 = Served on informal ad hoc committee prior to 1990, Committee abolished between 1995-1999
 2 = All members terms reduced by 1-year in 2003 to convert to 4-year terms

**WATER AND SEWER ADVISORY COUNCIL
OCEAN PINES SERVICE AREA**

Reference: County Commissioners' Resolution of November 19, 1993

Appointed by: County Commissioners

Function: Advisory
Advise Commissioners on water and sewer needs of the Service Area; review amendments to Water and Sewer Plan; make recommendations on policies and procedures; review and recommend charges and fees; review annual budget for the service area.

Number/Term: 5/4-year terms
Terms Expire December 31

Compensation: \$100.00/ Meeting

Meetings: Monthly

Special Provisions: Must be residents of Ocean Pines Service Area

Staff Support: Department of Public Works - Water and Wastewater Division
Chris Clasing- (410-641-5251)

Current Members:

<u>Name</u>	<u>Resides</u>	<u>Years of Term(s)</u>
John F. (Jack) Collins, Jr.	Ocean Pines	*18-21, 21-25
William Gabeler	Ocean Pines	22 - 26
Robert Kane	Ocean Pines	22-26
James Spicknall	Ocean Pines	07-10-14-18-22-26
Frederick Stiehl	Ocean Pines	*06-24, 24-28

Prior Members: (Since 1993)

- Andrew Bosco (93-95)
- Richard Brady (96-96, 03-04)
- Michael Robbins (93-99)
- Alfred Lotz (93-03)
- Ernest Armstrong (93-04)
- Jack Reed (93-06)
- Fred Henderson (04-06)
- E. A. "Bud" Rogner (96-07)
- David Walter (06-07)
- Darwin "Dart" Way, Jr. (99-08)
- Aris Spengos (04-14)
- Gail Blazer (07-17)
- Mike Hegarty (08-17)
- Michael Reilly (14-18)
- Bob Poremski (17-20)
- Gregory Sauter (17-21)

* = Appointed to fill an unexpired term

**WATER AND SEWER ADVISORY COUNCIL
WEST OCEAN CITY SERVICE AREA**

Reference: County Commissioners' Resolution of November 19, 1993

Appointed by: County Commissioners

Function: Advisory
Advise Commissioners on water and sewer needs of the Service Area; review amendments to Water and Sewer Plan; make recommendations on policies and procedures; review and recommend charges and fees; review annual budget for the service area.

Number/Term: 5/4-year terms
Terms Expire December 31

Compensation: \$100.00/Meeting

Meetings: Monthly

Special Provisions: Must be residents/ratepayers of West Ocean City Service Area

Staff Support: Department of Public Works - Water and Wastewater Division
Chris Clasing - (410-641-5251)

Current Members:

<u>Member's Name</u>	<u>Resides/Ratepayer of</u>	<u>Terms (Years)</u>
Keith Swanton	West Ocean City	13-17, 17-21
Blake Haley	West Ocean City	*19-20, 20-24
Todd Ferrante	West Ocean City	13-17-21-25
Gail Fowler	West Ocean City	99-23-27
Deborah Stanley	West Ocean City	95-23-27

Prior Members: (Since 1993)

Eleanor Kelly^c (93-96) Andrew Delcorro (*14-19)

John Mick^c (93-95)

Frank Gunion^c (93-96)

Carolyn Cummins (95-99)

Roger Horth (96-04)

Whaley Brittingham^c (93-13)

Ralph Giove^c (93-14)

Chris Smack (04-14)

* = Appointed to fill an unexpired term
c = Charter member

COMMISSION FOR WOMEN

Reference: Public Local Law CG 6-101

Appointed by: County Commissioners

Function: Advisory

Number/Term: 11/3-year terms; Terms Expire December 31

Compensation: None

Meetings: At least monthly (3rd Tuesday at 5:30 PM - alternating between Berlin and Snow Hill)

Special Provisions: **7 district members**, one from each Commissioner District
 4 At-large members, nominations from women=s organizations & citizens
 4 Ex-Officio members, one each from the following departments: Social Services, Health & Mental Hygiene, Board of Education, Public Safety
 No member shall serve more than six consecutive years

Contact: Coleen Colson, Chair and , Laura Morrison, Co-Chair
 Worcester County Commission for Women - P.O. Box 211, Snow Hill, MD 21863

Current Members:

<u>Member=s Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Kimberly List	D-7, Mitrecic	Ocean City	18- 21-24 Termed Out
Elizabeth Rodier	D-3, Fiori	Bishopville	18-21 Resigned
Jocelyn Briddell	At-Large	Berlin	23-26
Windy Phillips	Board of Education		19-22-25 Will Term Out
Laura Morrison	At-Large	Pocomoke	*19-20-23-26
Crystal Bell, MPA	Health Department		*22-23-26
Jeannine Jerscheid	Public Safety – Sheriff’s Office		23-26
Sharnell Tull	At-Large	Pocomoke	23 -26
Joan Scott	D-4, Elder	Newark	23-26 Resigned
Susan Ostrowski	D-6, Bunting	Berlin	24-27
Dorothy Shelton-Leslie	D-5, Bertino	Ocean Pines	24-27
Dr. Darlene Jackson- Bowen	D-2, Purnell	Pocomoke	*19-21-24-27
Michelle Goad	D-1, Abbott	Pocomoke City	25-28
Cheryl Middleton	At-Large	West O. City	25-28
Kelsey Moran	Dept of Social Services		25-28

Prior Members: Since 1995

Ellen Pilchard ^c (95-97)	Marie Velong ^c (95-99)	Christine Selzer (03)
Helen Henson ^c (95-97)	Carole P. Voss (98-00)	Linda C. Busick (00-03)
Barbara Beaubien ^c (95-97)	Martha Bennett (97-00)	Gloria Bassich (98-03)
Sandy Wilkinson ^c (95-97)	Patricia Ilczuk-Lavanceau (98-99)	Carolyn Porter (01-04)
Helen Fisher ^c (95-98)	Lil Wilkinson (00-01)	Martha Pusey (97-03)
Bernard Bond ^c (95-98)	Diana Purnell ^c (95-01)	Teole Brittingham (97-04)
Jo Campbell ^c (95-98)	Colleen McGuire (99-01)	Catherine W. Stevens (02-04)
Karen Holck ^c (95-98)	Wendy Boggs McGill (00-02)	Hattie Beckwith (00-04)
Judy Boggs ^c (95-98)	Lynne Boyd (98-01)	Mary Ann Bennett (98-04)
Mary Elizabeth Fears ^c (95-98)	Barbara Trader ^c (95-02)	Rita Vaeth (03-04)
Pamela McCabe ^c (95-98)	Heather Cook (01-02)	Coleen Colson (19-25)
Teresa Hammerbacher ^c (95-98)	Vyoletus Ayres (98-03)	
Bonnie Platter (98-00)	Terri Taylor (01-03)	

* = Appointed to fill an unexpired term

^c = Charter member

BOARD OF ZONING APPEALS

Reference: Public Local Law - ZS '1-116

Appointed by: County Commissioners

Function: Regulatory
Hear and decide on applications for special exceptions, variances from the setback or area provisions of the Zoning Ordinance, and on appeals where there is an alleged error in the application of the Zoning Ordinance; grant expansions of nonconforming uses.

Number/Term: 7 members (as of 1-31-97 per Bill 96-14)/3 years.
Terms expire December 31st

Compensation: \$100 per meeting, plus mileage for site inspections (policy)

Meetings: 2 per month

Special Provisions: None

Staff Contact: Department of Development Review & Permitting
Jennifer Keener -Deputy Director, DRP (410-632-1200, ext. 1123)

Current Members:

<u>Member=s Name</u>	<u>Nominated By</u>	<u>Resides</u>	<u>Years of Term(s)</u>
Larry Fykes	D-1, Abbott	Pocomoke	*16-19-22-25
Don Furbay	D-3, Fiori	Ocean City	23-26
Jake Mitrecic	D-7, Mitrecic	Ocean City	20-23-26
Beth Gismondi	D-5, Bertino	Ocean Pines	23-26
Thomas Babcock	D-4, Elder	Whaleyville	15-18-21-24-27
Robert M. Purcell	D-6, Bunting	Bishopville	*11-12-15-18-21-24-27
Lisa Bowen	D-2, Purnell	Berlin	* 22, 22-25-28

Prior Members: (Since 1972)

Robert B. Jackson	Marion Marshall (90-96)	Mike Diffendal (08-10)
Ruth Spinak	Madison Bunting (90-96)	James E. Clubb, Jr. (06-11)
Merrill Lockfaw	Howard ABuzz@ Taylor (97-98)	Joe Fehrer, Jr. (06-12)
Winnie Williams	Edward Bounds (90-99)	Beth Gismondi (96-14)
Randolph F. Wilkerson	Marion Butler, Sr. (96-99)	Bill Bruning (12-15)
Cashar J. Hickman	Dwight Campbell (95-00)	Robert L. Cowger, Jr. (10-16)
E. Paige Boston	Larry Widgeon (94-00)	Rodney C. Belmont (07-17)
Elbridge Murray	Robert Ewell (95-01)	Larry Duffy (*17-19)
Gary McCabe	Lester Shockley (99-02)	Glen Irwin (14-20)
Harley Day	Robert Mitchell (02-05)	James Purnell (19-22)
Charles Lynch	Janice Foley (99-05)	David Dypsky(*11-23)
Dwight E. Campbell	Richard Outten (00-06)	Joseph Green (*05-23)
T. Clay Groton	Doug Parks (00-06)	
Albert Berger	Brian Roberts (06)	
Clifford Dypsky	Dale Smack (01-06)	
Donald Jones	Lou Taylor (05-08)	
George Ward, Jr. (92-95)	Jerre F. Claus (98-10)	
Doris Glover (91-95)		

* = Appointed to fill an unexpired term



Worcester County Administration
One West Market St. Room 1103 | Snow Hill MD 21863 | (410) 632-1194 | www.co.worcester.md.us

TO: The Salisbury Daily Times and OC Today Dispatch Group
FROM: Candace Savage, Deputy Chief Administrative Officer
DATE: October 16, 2025
SUBJECT: Worcester County Public Hearing Notice

Please print the below Public Hearing Notice in The Salisbury Daily Times and Ocean City Digest/OC Today Dispatch on September 25, 2025 and October 2, 2025. Thank you.

WORCESTER COUNTY
NOTICE OF PUBLIC HEARING

The Worcester County Commissioners will conduct a public hearing and will receive public comment on the following map amendment on Tuesday, October 21, 2025, at 10:30 AM in the Worcester County Government Center, Room 1101, One West Market Street, Snow Hill, Maryland:

Rezoning Case No. 451, filed by Hugh Cropper on behalf of Richard and Elizabeth Smithson, property owners, for an amendment to the Official Zoning Maps to change approximately 150 acres of land located on the north side of Public Landing Road (MD Route 365), west of Outten Road, Snow Hill, in the Second Tax District of Worcester County, Maryland, from E-1 Estate District to A-1 Agricultural District.

A copy of the file on Rezoning Case No. 451 and the Planning Commission's recommendation, which will be entered into record at the public hearing, are available to view online at www.co.worcester.md.us or during normal business hours at the Department of Development, Review and Permitting, One West Market Street, Room 1201, Snow Hill, MD.

THE WORCESTER COUNTY COMMISSIONERS

**PLANNING COMMISSION
FINDINGS OF FACT
AND
RECOMMENDATION**

REZONING CASE NO. 451

APPLICANT:

**Richard and Elizabeth Smithson
1053 Cape May Avenue
Cape May, NJ 08204**

ATTORNEY FOR THE APPLICANT:

**Hugh Cropper, IV
9927 Stephen Decatur Highway, F-12
Ocean City, Maryland 21842**

August 7, 2025

WORCESTER COUNTY PLANNING COMMISSION

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Due to recent email scams by an individual impersonating a County employee alleging that unanticipated fees are owed, please know that Development Review and Permitting (DRP) will never require payment by wire transfer. If you receive such an email or call, contact DRP directly at 410-632-1200, and staff will be glad to assist you.

I. INTRODUCTORY DATA

- A. CASE NUMBER: Rezoning Case No. 451, filed May 30, 2025.
- B. APPLICANT: Richard and Elizabeth Smithson
1053 Cape May Avenue
Cape May, NJ 08204
- ATTORNEY: Hugh Cropper, IV
9927 Stephen Decatur Highway, F-12
Ocean City, Maryland 21842
- C. TAX MAP/PARCEL: Tax Map 65, Parcel 48, Tax District 2
- D. SIZE: Approximately 150 acres out of a 232.12-acre parcel.
- E. LOCATION: Northerly side of MD Route 365 (Public Landing Road), Snow Hill, west of Outten Road.
- F. CURRENT USE OF PETITIONED AREA: The petitioned area is under agricultural production and improved with a dwelling and accessory residential and agricultural structures.
- G. CURRENT ZONING CLASSIFICATION: E-1 Estate District. The remaining lands are currently zoned RP Resource Protection District and are not the subject of the requested rezoning.

As defined in the Zoning Code, the intent of this district is to preserve the rural and estate character of low-density residential areas, particularly those located in environmentally sensitive or hazard-prone zones. This district is intended for large-lot residential development that maintains open space, minimizes environmental impact, and aligns with the County’s vision for rural preservation. Due to the unique characteristics of these areas, including hurricane inundation risks and limited infrastructure capacity—development must be carefully managed. Design standards, landscaping, buffering, and site layout must be compatible with the natural landscape and community character. Urban-style or high-density development forms are strongly discouraged.

- H. REQUESTED ZONING CLASSIFICATION: A-1 Agricultural District.

As defined in the Zoning Code, the intent of this district is to preserve, encourage, and protect the county's farms and forestry operations along with their economic productivity. It ensures that agricultural and forestry enterprises retain the necessary flexibility to adjust their production as economic conditions evolve. Furthermore, the district provides that there shall be no basis, under this title, for recourse against the effects of any normal farming or forestry operation permitted

in this district, including but not limited to noise, odor, vibration, fumes, dust, or glare. Additionally, the district aims to protect the land base resources essential for the county's agricultural and forestry industries from the encroachment of incompatible uses.

- I. **APPLICANT'S BASIS FOR REZONING:** The application indicates that there was a mistake made during the Comprehensive Rezoning on November 3, 2009, since the property was under a Deed of Conservation Easement with the State of Maryland that was recorded on June 26, 2009. The easement restricts the use of the property to limited residential and agricultural functions.
- J. **ZONING HISTORY:** At the time zoning was first established in 1964, the petitioned area was given an A-1 Agricultural District classification, with a small portion near Outten Road zoned R-2 Suburban Residential District. The property also had C-1 Conservation District zoning along the creek. These zoning classifications were retained in the 1978 comprehensive rezoning. In the 1992 comprehensive rezoning, the petitioned area was given an E-1 Estate District zoning classification and retained C-1 Conservation District zoning along the creek. In 2009, the E-1 Estate District was retained, and the C-1 Conservation District was renamed to RP Resource Protection District. The E-1/RP boundary was modified to follow the existing woods line.
- K. **SURROUNDING ZONING:** Adjoining properties to the west are zoned A-1 Agricultural and RP Resource Protection Districts; to the south E-1 Estate and V-1 Village Districts; to the east E-1 Estate and V-1 Village Districts; and to the north RP Resource Protection District.
- L. **COMPREHENSIVE PLAN:** According to the 2006 Comprehensive Plan and associated land use map, the petitioned area lies within the Agricultural Land Use Category. Pertinent objectives from the Plan have been highlighted in the staff report presented to the Planning Commission.
- M. **WATER AND WASTEWATER:** According to the attached response memo from Mr. Mitchell, the subject properties have a planning designation of S-6 (no planned service). The existing dwelling is served by private well and septic. The parcel has two additional residential septic reserve areas on record.
- N. **ROAD ACCESS:** The petitioned area has frontage on MD Route 365 (Public Landing Road), a State-owned and maintained minor collector highway. The Maryland Department of Transportation State Highway Administration (MDOT SHA) has no objection to the request. Any future development will be required to be reviewed, approved and permitted by District 1 Access Management. No comments were received from the County Roads Division of the Department of Public Works.

II. APPLICANT'S TESTIMONY BEFORE THE PLANNING COMMISSION

Applicants: Hugh Cropper, IV, attorney; Doug Smithson, property owner; and Chris McCabe, environmental consultant.

Mr. Cropper provided an overview of the property, which is a working farm consisting of 231 acres. They are seeking a rezoning of the approximately 150 acres that is zoned E-1 Estate District. The remaining lands would remain in the RP Resource Protection District. Submitted as Applicant's Exhibit No. 1 was a copy of the E-1 District regulations from the Zoning Code. Submitted as Applicant's Exhibit No. 2 was a Google Earth aerial photograph taken from the south. Mr. Cropper identified the property as the farm below Scarboro Creek. Mr. Cropper's argument for the rezoning is based on a mistake, albeit a good faith mistake, and that the property should have been zoned A-1 Agricultural District during the comprehensive rezoning process in 2009. At the time that the new maps went into effect on November 3, 2009, the property had already been subjected to a conservation easement, dated June 22, 2009. Page 1 of the recorded Deed of Conservation Easement was submitted as Applicant's Exhibit No. 3. Mr. Cropper stated that the easement precludes any subdivision activity for the property. Therefore, he said that it was a good faith mistake made during the time of the comprehensive rezoning process.

Mr. Chris McCabe testified that he was employed as the Natural Resources Administrator for Worcester County in 2009, and he is familiar with the terms of the easement. He concurred that the property was in an easement as of June 22, 2009, and subdivision activity is precluded. He said that Worcester County did not adopt the septic tier maps, therefore the petitioned area would not be eligible for a major subdivision (which is allowed in the E-1 District) on private septic. Mr. McCabe concurred that as the former Natural Resources Administrator, and now environmental consultant, it was and is a mistake for the property to be zoned E-1 District. The land is and has historically been used agriculturally, is designated as Agriculture on the Comprehensive Plan's Land Use Map and should be similarly zoned.

Mr. Cropper noted that his argument was based on a mistake, and therefore they have not defined the neighborhood. The zoning would be more conforming with its current use. The property has great soils and was originally approved for on-site septic systems as part of the former subdivision application. He stated that the A-1 Agricultural District allows many more agricultural uses than the E-1 Estate District.

Mrs. Drew asked what the goal was for the overall property. Mr. Smithson purchased the farm five years ago. They treat it as a family compound as they live full-time in Cape May, New Jersey. Mr. Cropper noted that Mr. Smithson purchased Grandview Farms, which is the property on the southerly side of Public Landing Road in late 2024. It is similarly zoned E-1 Estate District, with 100 tillable acres. The long-term plan is to rezone Grandview Farms based on a change in the character of the neighborhood, using this rezoning case as the justification for the change. Mrs. Wimbrow mentioned waiting until the next comprehensive rezoning, but that will be several years in the future. She

also noted that it wouldn't be feasible to argue mistake on the Grandview Farms parcel, because the lots were platted and the roads installed at the time of the comprehensive rezoning in 2009 before its own conservation easement was recorded.

Circling back to the specific petitioned area, Mr. Cropper stated that they were not intending to buy out the easement. He then went through the findings of fact that the Planning Commission must make as outlined in his application.

The Planning Commission reviewed and commented upon each of the findings. Following the discussion, a motion was made by Mr. Church, seconded by Mrs. Knight, and carried unanimously, to find the proposed amendment to rezone the petitioned area from E-1 Estate District to A-1 Agricultural District consistent with the Comprehensive Plan based on a mistake, and forward a **favorable recommendation** to the Worcester County Commissioners.

III. PLANNING COMMISSION'S FINDINGS AND CONCLUSIONS

1. Regarding the definition of the neighborhood: The Planning Commission did not define the neighborhood, as the argument is based solely on a claim of mistake.
2. Relating to population change: The Planning Commission concluded that there has been little to no population growth in the surrounding area.
3. Relating to availability of public facilities: The Planning Commission finds that the petitioned area has a planning designation of S-6 (no planned service). The existing dwelling is served by private well and septic, and there are two additional residential septic reserve areas on record. Since Worcester County did not adopt septic tier maps under the Sustainable Growth & Agricultural Preservation Act of 2012, this property is not eligible for a major subdivision as originally designed on private septic.
4. Relating to present and future transportation patterns: The Planning Commission finds that MD Route 365 (Public Landing Road), is a State-owned and maintained minor collector highway with sufficient capacity to support agricultural and residential uses.
5. Relating to compatibility with existing and proposed development and existing environmental conditions in the area, including having no adverse impact on waters included on the State's impaired waters list or having an established total maximum daily load requirement: The Planning Commission found that the petitioned area is under agricultural production with some residential uses. The rezoning from E-1 Estate District to A-1 Agricultural District would be compatible with the existing and proposed development conditions. The property is under a deeded conservation easement held by the Maryland Department of Natural Resources (MD DNR) that limits new development or activities under the terms of the easement. In addition, the petitioned area is partially located within

the Atlantic Coastal Bays Critical Area with a designation of Resource Conservation Area (RCA). Comments from the State Critical Area Commission have been received stating that they are not opposed to the requested rezoning, provided that any future development within the RCA is compliant with the Critical Area regulations.

6. Relating to compatibility with the Comprehensive Plan: The Planning Commission found that the property is designated as Agricultural on the Land Use Map, consistent with the agricultural activities being conducted on the working farm.

IV. PLANNING COMMISSION RECOMMENDATION

In consideration of its findings and testimony provided to the Commission, the Planning Commission concluded that there was a mistake made in 2009, and that a rezoning of the petitioned area is appropriate. The applicant requests a zoning map amendment from E-1 Estate District to A-1 Agricultural District based on a mistake during the last comprehensive rezoning on November 3, 2009. Overall, the Planning Commission found that the requested zoning conforms to the Worcester County Comprehensive Plan, which promotes the protection of agricultural land uses and working farms. Given the compatibility of the proposed zoning, a favorable recommendation for the rezoning is both appropriate and consistent with sound planning principles.

V. RELATED MATERIALS AND ATTACHMENTS

Worcester County, MD
Thursday, August 7, 2025

Subtitle ZS1:II. Primary District Regulations

§ ZS 1-203. E-1 Estate District.

- (a) Purpose and intent. At the time of its original adoption in 1992, this district was intended to protect and preserve the open character of the rural areas and the environmentally sensitive areas of the County and to enhance the estate character of these neighborhoods. However, advancements in technology have allowed for more in-depth analysis of the lands' suitability for development. This technology shows that approximately eighty percent of the current E-1 Estate District lands lie in a hurricane inundation zone. Hazard mitigation planning calls for development to be located outside such areas. Additionally, much of the zoning district borders roadways that will require extensive improvements to maintain adequate levels of service if the properties are developed. For lands zoned E-1 Estate District on the effective date of these regulations it is the intent of these regulations to allow for their orderly development until these regulations are amended to reflect changes in the Comprehensive Plan resulting from its next state-mandated periodic review. It is further the intent of this section that no additional lands shall be included in this zoning district either by a comprehensive rezoning or individual application and that the district shall be eliminated subsequent to the next state-mandated review of the Comprehensive Plan.
- (b) Permitted principal uses and structures. The following uses and structures are permitted in the E-1 District:
- (1) Agriculture, including feeding lots, dairy barns, agricultural lagoons, hog houses, noncommercial grain dryers, the raising of livestock, farm offices, commercial and noncommercial greenhouses and nurseries, and noncommercial maintenance, storage and repair facilities, excluding commercial grain dryers. Minimum lot requirements shall be: lot area, five acres; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, fifty feet; and rear yard setback, fifty feet. See § ZS 1-305(r) hereof.
[Amended 4-25-2017 by Bill No. 17-3]
 - (2) ^[1]Poultry operations subject to the provisions of § ZS 1-349 hereof.
[Added 4-25-2017 by Bill No. 17-3^[2]]
- [1] *Editor's Note: Former Subsection (b)(2), Aquaculture, was repealed 10-21-2014 by Bill No. 14-11. Bill No. 14-11 also renumbered former Subsection (b)(3) through (16) as Subsection (b)(2) through (15), respectively.*
- [2] *Editor's Note: This bill also redesignated former Subsection (b)(2) through (15) as Subsection (b)(3) through (16).*
- (3) Roadside stands offering for sale fresh agricultural products, fresh seafood and processed dairy products from locally raised livestock, operated by the property owner or tenant of the premises upon which such stand is located. Minimum lot requirements shall be: lot area, forty thousand square feet; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, thirty feet; and rear yard setback, thirty feet; and subject to the provisions of §§ **ZS 1-322** and 1-325 hereof. Signs shall be subject to the provisions of § **ZS 1-324** hereof.
 - (4) Single-family dwellings. Minimum lot requirements shall be: lot area, eighty thousand square feet; maximum density, one unit per two net acres; lot width, two hundred feet; front yard

setback, fifty feet; each side yard setback, fifty feet; and rear yard setback, fifty feet.

- (5) Manufactured homes in accordance with § ZS 1-314(b) hereof. Minimum lot requirements shall be: lot area, eighty thousand square feet; maximum density, one unit per two net acres; lot width, two hundred feet; front yard setback, fifty feet; each side yard setback, fifty feet; and rear yard setback, fifty feet.
 - (6) Minor subdivisions in accordance with the provisions of § ZS 1-311 hereof.
 - (7) Rural cluster subdivisions in accordance with the provisions of § ZS 1-308 hereof.
 - (8) Consolidated development rights subdivisions in accordance with the provisions of § ZS 1-309 hereof.
 - (9) Major cluster subdivisions in accordance with the provisions of §§ ZS 1-307 and ZS 1-311 hereof.
 - (10) Golf courses, including golf driving ranges but not miniature golf courses, subject to the provisions of § ZS 1-325 hereof.
 - (11) Public and private conservation areas, including wildlife reservations, arboretums and demonstration forests. Minimum lot requirements shall apply for structures only and shall be: lot area, forty thousand square feet; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, twenty feet; and rear yard setback, twenty feet.
 - (12) Fishing, trapping and hunting blinds and wildlife observation structures. No lot requirements shall apply.
 - (13) The addition to existing structures of telecommunications facilities that do not increase the overall height of the existing structure, subject to the provisions of § ZS 1-343 hereof.
 - (14) Monopoles up to one hundred fifty feet in height, subject to the provisions of § ZS 1-343 hereof.
 - (15) Small and medium wind energy conversion systems up to a maximum of one hundred feet in height, subject to the provisions of § ZS 1-344 hereof.
 - (16) Spray irrigation fields and storage lagoons for Class II effluent in accordance with the provisions of § ZS 1-328(g) hereof.
- (c) Special exceptions. The following principal uses and structures may be permitted by special exception in the E-1 District in accordance with the provisions of § ZS 1-116(c) hereof.
- (1) Firehouses and other public buildings, structures and uses. Minimum lot requirements shall be: lot area, twenty thousand square feet; lot width, one hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, thirty feet; and rear yard setback, thirty feet.
 - (2) Schools. Minimum lot requirements shall be: lot area, five acres; lot width, four hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, fifty feet; and rear yard setback, fifty feet.
 - (3) Assisted living facilities, provided they are residence-based and serve no more than five clients. Minimum lot requirements shall be: lot area, eighty thousand square feet; lot width, two hundred feet; front yard setback, fifty feet [see § ZS 1-305(b) hereof]; each side yard setback, fifty feet; and rear yard setback, fifty feet; and subject to the provisions of § ZS 1-325 hereof.
 - (4) ^[3]Bed-and-breakfast establishments, subject to the provisions of § ZS 1-340 hereof.
- ^[3] *Editor's Note: Former Subsection (c)(4), Conversion of an existing historic or architecturally significant dwelling into an inn of a type compatible with the character of the neighborhood but not for use as a nightclub, tavern or roadhouse, was repealed 10-15-2019 by Bill No. 19-3. Bill*

No. 19-3 also redesignated former Subsection (c)(6) through (22) as Subsection (c)(4) through (20), respectively.

- (5) [4] Commercial riding and boarding stables for three or more animals. Minimum lot requirements shall be: lot area, five acres; lot width, five hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, thirty feet; and rear yard setback, thirty feet. Furthermore, stables shall be located at least two hundred feet from any perimeter property line or public road right-of-way, and there shall be one acre of lot area for each animal stabled.
- [4] *Editor's Note: Former Subsection (c)(5), Country inns for transient overnight guests, was repealed 10-15-2019 by Bill No. 19-3. Bill No. 19-3 also redesignated former Subsection (c)(6) through (22) as Subsection (c)(4) through (20), respectively.*
- (6) Churches, temples and mosques. Minimum lot requirements shall be: lot area, two acres; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, thirty feet; and rear yard setback, thirty feet.
- (7) Cemeteries, including family burial grounds, chapels and mausoleums. Minimum lot requirements shall be: lot area, forty thousand square feet; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; and no side or rear yard setbacks required unless imposed by the Board. No structures, monuments or grave sites shall be located in any required yard setback.
- (8) Public and private noncommercial cultural, social and recreational areas and centers, including parks, playgrounds, beaches, community centers, nonprofit environmental conservation and land preservation organization offices, country clubs, swimming pools and golf courses but excluding summer camps, marinas and boat landings. Minimum lot requirements shall be: lot area, twenty thousand square feet; lot width, one hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, thirty feet; and rear yard setback, thirty feet; and subject to the provisions of § ZS 1-325 hereof. All outdoor swimming pools, including adjacent deck and patio areas, and locker areas shall be at least two hundred feet from any perimeter property lines and public road rights-of-way.
[Amended 1-19-2016 by Bill No. 15-14]
- (9) Public utility structures and properties other than essential services as defined in § **ZS 1-121** hereof, including cross-County lines and mains of all kinds, subject to the provisions of § **ZS 1-325** hereof. Minimum lot requirements for construction, maintenance or storage buildings or yards shall be: lot area, twenty thousand square feet; lot width, one hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, thirty feet; and rear yard setback, thirty feet. See § **ZS 1-328** hereof for lot requirements for all other facilities. During its review of any public utility structure or property, the Planning Commission may require screening, buffering or landscaping of said structure or property where deemed necessary to protect adjoining land uses.
- (10) Wastewater and water treatment facilities, with the exception of sewage sludge disposal areas, in accordance with the provisions of § **ZS 1-328** hereof.
- (11) Dredge spoil disposal sites. Lot requirements for dredge spoil disposal sites, special conditions of operation and conditions regarding reclamation of sites shall be as specified by the Board of Zoning Appeals.
- (12) The addition to existing structures of telecommunications facilities that have the effect of increasing the overall height of the existing structure, subject to the provisions of § **ZS 1-343** hereof.
- (13) Monopoles over one hundred fifty feet in height, but not exceeding one hundred ninety-nine feet, and freestanding towers up to one hundred fifty feet in height, subject to the provisions of § **ZS 1-343** hereof.
- (14) Small and medium wind energy conversion systems up to a maximum of one hundred fifty feet in height, subject to the provisions of § **ZS 1-344** hereof.

- (15) Large solar energy systems in accordance with the provisions of § ZS 1-344(d)(2) hereof.
[Added 7-19-2011 by Bill No. 11-3]
- (16) Day-care centers. Minimum lot requirements shall be: lot area, forty thousand square feet; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, twenty feet; and rear yard setback, fifty feet; and subject to the provisions of §§ ZS 1-305(r) and ZS 1-325 hereof.
[Added 2-18-2014 by Bill No. 14-1]
- (17) Aquaculture. Minimum lot requirements shall be: lot area, fifteen acres; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, twenty feet; and rear yard setback, twenty feet; and subject to the provisions of §§ ZS 1-305(r) and ZS 1-325 hereof.
[Added 10-21-2014 by Bill No. 14-11]
- (18) Structures and storage yards for marine activities, including dry storage of seaworthy boats in operable condition and light maintenance facilities for engine, hull, deck and interior repairs and painting; all light engine maintenance shall be conducted within an enclosed building. Minimum lot requirements shall be: lot area, twenty acres; lot width, two hundred feet; front yard setback, two hundred feet; each side yard setback, two hundred feet; and rear yard setback, two hundred feet; and subject to the provisions of § ZS 1-325. In addition, such structures and storage yards shall be screened on all sides in accordance with the provisions of § ZS 1-322. If vegetated screening of thirty-five feet or more in width is provided in that portion of the setback closest to the use area, the minimum setbacks may be reduced by the Board of Zoning Appeals to one hundred feet.
[Added 5-19-2015 by Bill No. 15-6]
- (19) On a farm as defined herein, the accessory use of a principal agricultural structure or use of land for the commercial hosting of non-agricultural functions and events, including, but not limited to, wedding receptions, family reunions, birthday and anniversary celebrations, children's parties, corporate and employee appreciation parties, and the like. All such uses must be clearly accessory and subordinate to the principal agricultural structure or use of the property. All building, fire, health, zoning, and environmental code requirements for such a use or facility shall apply to the same extent as if the structure or use of land was not located on a farm. Minimum lot requirements for the principal agricultural structure or use of land shall be: lot area, twenty-five acres; lot width, two hundred feet; front yard setback, one hundred feet; each side yard setback, one hundred feet; and rear yard setback, one hundred feet; and subject to the provisions of § ZS 1-325 hereof. The site of the commercial event itself and all associated use areas shall be located not less than five hundred feet from any residential structure on an adjacent property or public road and no variance to this requirement is permitted notwithstanding the provisions of § ZS 1-116(c)(4). Any amplified music associated with such a use must end by 11:00 p.m.
[Added 9-19-2017 by Bill No. 17-9^[5]]
[5] *Editor's Note: This bill also redesignated former Subsection (c)(21) as Subsection (c)(22).*
- (20) Any use or structure which is determined by the Board of Zoning Appeals to be of the same general character as an above-permitted use, not specifically mentioned in another district and compatible with the general character and intent of the E-1 District.
- (d) Accessory uses and structures. The following accessory uses and structures shall be permitted in the E-1 District:
 - (1) Noncommercial private residential parking garages and areas, stables for horses or ponies, swimming pools and other customary nonresidential outbuildings and structures for the use of residents. Stables shall be at least fifty feet from any perimeter property line or public road right-of-way and at least two hundred feet from any existing dwelling on adjoining properties.
 - (2) Customary incidental home occupations, subject to the provisions of § ZS 1-339 hereof.

- (3) Roadside stands not to exceed a maximum of one hundred fifty square feet in size and offering for sale fresh agricultural products, operated by the property owner or tenant of the premises upon which such stand is located. Such stands shall be located so as not to create a traffic hazard, shall be completely removed at the end of the fresh product season and shall be subject to the provisions of § ZS 1-305(h)(2)A hereof. Signs shall be subject to the provisions of § **ZS 1-324** hereof.
- (4) Signs on the premises advertising a lawful use conducted on the premises and temporary and directional signs. All signs shall be subject to the provisions of § **ZS 1-324** hereof.
- (5) Private waterfront structures, subject to the provisions of § NR 2-102 of the Natural Resources Article of the Code of Public Local Laws of Worcester County, Maryland and § **ZS 1-335** hereof.
- (6) Temporary buildings and structures, subject to the provisions of § **ZS 1-334** hereof.
- (7) Accessory apartments, subject to the provisions of § **ZS 1-338** hereof.
- (8) Yard sales, subject to the provisions of § **ZS 1-341** hereof.
- (9) On a farm, as herein defined, a second single-family dwelling for the farm owner, farm tenant or member of his immediate family or for a person primarily engaged in the operation of the farm, provided that the dwelling is located such that, if it were subdivided from the main parcel, it could meet all of the requirements for a single-family dwelling in the E-1 District.
- (10) On a farm, as defined herein, not more than two manufactured homes for the farm owner, tenant or member of his immediate family or for persons primarily engaged in the operation of the farm, provided that such manufactured homes are located in the farm building group, no closer to any public road right-of-way than the principal building, no closer than the required front yard setback and not less than one hundred feet from any side or rear lot line. Such manufactured homes shall be located only with the Environmental Programs Division approval, subject to the provisions of § **ZS 1-314** hereof. A manufactured home in the farm building group shall be located within two hundred feet of the main farm building or accessory farm structure.
- (11) The keeping of not more than two roomers or boarders.
[Added 10-15-2019 by Bill No. 19-3]
- (e) Height regulations. Except for certain other buildings, structures or parts thereof as provided in § **ZS 1-305** hereof, no flat-roofed principal structure shall exceed a height of thirty-five feet, no pitched-roofed principal structure shall exceed a height of forty-five feet, and no flat- or pitched-roofed principal structure shall exceed four stories. In addition, no accessory structure shall exceed either two stories or twenty-five feet in height.
- (f) Other regulations. The uses and structures permitted in the E-1 District shall be subject to the applicable regulations contained in Subtitle ZS1:I, General Provisions, and Subtitle ZS1:III, Supplementary Districts and District Regulations, of this Title.

Rezoning Case No. 451
Applicant's Exhibit No. 2



Scarborough Creek

200 m

Rezoning Case No. 451

Applicant's Exhibit No. 3

DEED OF CONSERVATION EASEMENT

CLERK'S NOTATION
Document submitted for
record in a condition not
permitting satisfactory
photographic reproduction.

THIS DEED OF CONSERVATION EASEMENT ("Conservation Easement") is made this 22ND day of JUNE, 2009, by and between PUBLIC LANDING LLC, 9428 Stephen Decatur Highway, Berlin, MD 21811-2674 ("Grantor") and the STATE OF MARYLAND, to the use of the DEPARTMENT OF NATURAL RESOURCES, 580 Taylor Avenue, Annapolis, MD 21401 ("Grantee").

WITNESSETH

WHEREAS, the Department of Natural Resources is a body corporate and an instrumentality of the state of Maryland created pursuant to the Natural Resources Article of the Annotated Code of Maryland (2000 Replacement Volume as amended) for the purpose generally of preserving and maintaining the natural resources of the State;

WHEREAS, Grantor owns in fee simple 232.12 acres based upon a survey of the Property dated May 13, 2009 of certain real property ("Property") situate, lying and being in Worcester County, Maryland, and more particularly described in Exhibit A attached hereto, which was conveyed to Grantor by the followings deeds recorded among the Land Records of Worcester County, Maryland, by Deed dated June 6, 2005, recorded in Liber S.V.H. No. 4456 Folio 705;

WHEREAS, Grantor is willing to grant a perpetual Conservation Easement over the Property, thereby restricting and limiting the use of the Property as hereinafter provided in this Conservation Easement for the purposes hereinafter set forth, and Grantee is willing to accept such Conservation Easement;

WHEREAS, Grantor and Grantee have identified significant conservation values in Exhibit B, including high quality coastal habitat for fish and wildlife, including migratory birds, and have common purposes in conserving and preserving these values and the natural, agricultural, forestry, environmental, scenic, cultural, rural, woodland and wetland characteristics of the Property, viable resource-based land use and proper management of tillable and wooded areas of the Property, and, to the extent hereinafter provided, preventing the use or development of the Property for any purpose or in any manner that would conflict with the maintenance of the Property in its open-space condition; and

WHEREAS, the Grantee has agreed, with the approval of the Maryland Board of Public Works, to pay to Grantor the sum of One Million Two Hundred Eighty Thousand Five Hundred Dollars (\$1,280,500), from funds provided through the Program Open Space, land conservation program administered by the Department of Natural Resources, as partial monetary consideration for granting this Conservation Easement.

WHEREAS, a federal National Coastal Wetlands Conservation Grant Program administered by the Department of Interior, acting by and through the United States Fish and Wildlife Service ("Service"), for the purpose of protecting and restoring coastal habitat for fish and wildlife, including migratory birds, has agreed to pay the sum of Five Hundred Thirty Nine

Worcester County Circuit Court, Clerk's Office, 547 W. Main St., Worcester, MD 21201-3812. Date available 06/30/2009. Printed 05/09/2025.
Return: WRIGHT, Constable, 100 N. Charles St - 16th Floor, Balto MD 21201-3812

FILED
JUN 26 P 3:28
STEPHEN V. NALES
CLK. CT. CL.
WOR. CO

STAFF REPORT**REZONING CASE NO. 451**

PROPERTY OWNERS: Richard and Elizabeth Smithson
1053 Cape May Avenue
Cape May, NJ 08204

ATTORNEY: Hugh Cropper, IV
9927 Stephen Decatur Highway, F-12
Ocean City, Maryland 21842

TAX MAP/PARCEL INFO: Tax Map 65, Parcel 48, Tax District 2

SIZE: The petitioned area consists of approximately 150 acres out of a 232.12-acre parcel.

LOCATION: Northerly side of MD Route 365 (Public Landing Road), Snow Hill, west of Outten Road.

CURRENT USE OF PETITIONED AREA: The petitioned area is under agricultural production and improved with a dwelling and accessory residential and agricultural structures.

CURRENT ZONING CLASSIFICATION: E-1 Estate District. The remaining lands are currently zoned RP Resource Protection District and are not the subject of the requested rezoning.

As defined in the Zoning Code, the intent of this district is to preserve the rural and estate character of low-density residential areas, particularly those located in environmentally sensitive or hazard-prone zones. This district is intended for large-lot residential development that maintains open space, minimizes environmental impact, and aligns with the County's vision for rural preservation. Due to the unique characteristics of these areas, including hurricane inundation risks and limited infrastructure capacity—development must be carefully managed. Design standards, landscaping, buffering, and site layout must be compatible with the natural landscape and community character. Urban-style or high-density development forms are strongly discouraged.

REQUESTED ZONING CLASSIFICATION: A-1 Agricultural District.

As defined in the Zoning Code, the intent of this district is to preserve, encourage, and protect the county's farms and forestry operations along with their economic productivity. It ensures that agricultural and forestry enterprises retain the necessary flexibility to adjust their production as economic conditions evolve. Furthermore, the district provides that there shall be no basis, under this title, for recourse against the effects of any normal farming or forestry operation permitted in this district, including but not limited to noise, odor, vibration, fumes, dust, or glare. Additionally, the district aims to protect the land base resources essential for the county's agricultural and forestry industries from the encroachment of incompatible uses.

APPLICANT’S BASIS FOR REZONING: The application indicates that there was a mistake made during the Comprehensive Rezoning on November 3, 2009, since the property was under a Deed of Conservation Easement with the State of Maryland that was recorded on June 26, 2009. The easement restricts the use of the property to limited residential and agricultural functions.

ZONING HISTORY: At the time zoning was first established in 1964, the petitioned area was given an A-1 Agricultural District classification, with a small portion near Outten Road zoned R-2 Suburban Residential District. The property also had C-1 Conservation District zoning along the creek. These zoning classifications were retained in the 1978 comprehensive rezoning. In the 1992 comprehensive rezoning, the petitioned area was given an E-1 Estate District zoning classification and retained C-1 Conservation District zoning along the creek. In 2009, the E-1 Estate District was retained, and the C-1 Conservation District was renamed to RP Resource Protection District. The E-1/RP boundary was modified to follow the existing woods line.

SURROUNDING ZONING: Adjoining properties to the west are zoned A-1 Agricultural and RP Resource Protection Districts; to the south E-1 Estate and V-1 Village Districts; to the east E-1 Estate and V-1 Village Districts; and to the north RP Resource Protection District.

IN REGARD TO THE APPLICANT’S ARGUMENT FOR MISTAKE: The applicant is arguing that a mistake was made on November 3, 2009, that supports a rezoning classification to A-1 Agricultural District. Staff notes that during the drafting of the initial zoning maps, the subject property received preliminary plat approval for a 37-lot single-family major cluster subdivision under the 1992 E-1 Estate District regulations (January 2007). Subsequently, construction plans for the subdivision were reviewed in December 2008. As Mr. Cropper references in his application, the Deed of Conservation Easement with the State of Maryland was recorded on June 26, 2009, subsequent to the initial public hearing held by the County Commissioners on the draft code and maps on June 2, 2009.

COMPREHENSIVE PLAN:

The County’s Comprehensive Plan was adopted by the County Commissioners on March 7, 2006, and is intended to be a general guide for future development in the County. Whether a proposed rezoning is compatible with the recommendations of the Comprehensive Plan is one of the criteria that is considered in all rezoning requests, as listed in Section 1-113(c)(3) of the Zoning Ordinance and as summarized at the end of this Staff Report.

According to Chapter 2 – Land Use of the Comprehensive Plan and the associated land use map, the petitioned area lies within the Agricultural Land Use Category. Regarding the Agricultural Land Use Category, the Comprehensive Plan states the following:

“The importance of agriculture to the county cannot be overstated. Its significance is economic, cultural, environmental, and aesthetic. Agriculture is simply the bedrock of the county’s way of life. . . . The county must do all it can do to preserve farming as a viable industry. This category is reserved for farming, forestry and related industries with minimal residential and other incompatible uses permitted. Large contiguous areas of

productive farms and forest shall be maintained for agricultural uses. . . . Residential and other conflicting land uses, although permitted, are discouraged. . . . Also as a general policy, the practice of not rezoning agricultural land for other uses should continue.”
(Page 18)

Pertinent objectives cited in Chapter 2 – Land Use state the following:

2. Continue the dominance of agriculture and forestry uses throughout the county’s less developed regions.
4. Provide for appropriate residential, commercial, institutional, and industrial uses.
5. Locate new development in or near existing population centers and within planned growth centers.
8. Regulate development to minimize consumption of land, while continuing the county’s rural and coastal character.
9. Minimize conflicts among land uses due to noise, smoke, dust, odors, lighting, and heavy traffic.
11. Set high environmental standards for new development, especially in designated growth areas.
12. Develop green infrastructure system.
19. Limit rural development to uses compatible with agriculture and forestry.
20. Direct new development in growth areas to planned communities.

(Pages 12 & 13)

Much of the surrounding area is also designated as “Agriculture” on the Land Use Plan; the only exceptions are an area designated “Village” to the east that recognizes existing residences along Public Landing Wharf Road and the surrounding roads; and land designated “Green Infrastructure” to the north along the tributary of Chincoteague Bay (Scarboro Creek).

In Chapter 3 – Natural Resources, pertinent objectives include:

3. Identify and protect environmentally sensitive areas.
5. Reduce imperviousness of existing and new development.
8. Conserve resources by reducing unnecessary consumption.
10. Establish sufficient buffers for sensitive areas.

(Page 33)

In Chapter 4 – Economy, the Plan notes that the agricultural industry, among others, “relies on the county’s natural resources and its rural and coastal character for their success” (page 58).

Pertinent objectives cited in the agriculture and forestry section of Chapter 4 – Economy state the following:

1. Work to preserve farming and increase its economic viability.
2. Provide for sufficient agricultural support services
3. Reduce farm area fragmentation through agricultural zoning permitting only minor subdivisions (five or less lots).
6. Review permitted land uses in the agricultural zone to ensure compatibility with agriculture as a quasi-industrial use.

(Pages 59 & 60)

“Preservation of farming is a key to the county’s rural character. Therefore, it is important to continue the “right to farm” policies and work to develop alternative income sources for farmers” (page 63).

Chapter 6 – Public Infrastructure acknowledges the county’s policy to have developers provide all on-site infrastructure relative to new development. In addition, “infrastructure costs should be borne by those who directly benefit; developers will remain responsible for the services required by new development” (Page 70). Sewer service is identified as “one of the county’s most powerful growth management tools” (Page 74).

Pertinent objectives cited in Chapter 6 – Public Infrastructure - General state the following:

2. Permit development to occur only as rapidly as services can be provided.
3. Ensure adequate public facilities are available to new development.
4. Require new development to “pay its way” by providing adequate public facilities to meet the infrastructure demands it creates. (Page 70)

WATER AND WASTEWATER: According to the attached response memo from Mr. Mitchell, the subject properties have a planning designation of S-6 (no planned service). The existing dwelling is served by private well and septic. The parcel has two additional residential septic reserve areas on record.

The primary soil types on the petitioned areas according to the Worcester County Soil Survey are KsA – Klej loamy sand; HbB – Hambrook sandy loam; and GaB – Galestown loamy sand. As illustrated on the attached soil map, the property contains predominantly well drained, moderately well drained, and somewhat excessively drained soils, with small pockets of poorly drained soils.

EMERGENCY SERVICES: Fire and ambulance service are available from the Snow Hill Volunteer Fire Company, located approximately 6.5 miles away. No comments were received from the fire company regarding this review. Police protection will be available from the Maryland State Police Barracks in Berlin, 21.8 miles away, and the Worcester County Sheriff's Office in Snow Hill, approximately 7.4 miles away. No comments were received from the Sheriff's Office or the Maryland State Police.

ROADWAYS AND TRANSPORTATION: The petitioned area has frontage on MD Route 365 (Public Landing Road), a State-owned and maintained minor collector highway.

No comments were received from the Maryland Department of Transportation State Highway Administration (MDOT SHA). Any future development will be required to be reviewed, approved and permitted by District 1 Access Management. No comments were received from the County Roads Division of the Department of Public Works.

SCHOOLS: The petitioned area is within Zone 4 of the Worcester County Public School Zones and is served by the following schools: Snow Hill Elementary, Snow Hill Middle, and Snow Hill High School. Chapter 6 – Public Infrastructure of the Comprehensive Plan calls for the county to conduct long-term planning for educational facilities. The 2024-2025 Educational Master Facilities Plan prepared by the Worcester County Board of Education states that the population of Snow Hill has remained relatively stable, which is reflected in the enrollment numbers. No comments were received from the Worcester County Board of Education (WCBOE).

CHESAPEAKE/ATLANTIC COASTAL BAYS CRITICAL AREAS: The petitioned area is partially located within the Atlantic Coastal Bays Critical Area with a designation of Resource Conservation Area (RCA). Comments from the State Critical Area Commission have been received. The letter states that they are not opposed to the requested rezoning, provided that any future development within the RCA is compliant with the Critical Area regulations.

FOREST CONSERVATION LAW: The portion of the petitioned area located outside of the Critical Area is subject to the Forest Conservation Law.

DEED OF EASEMENT: This parcel is subject to a deed of conservation easement that was recorded in the Land Records of Worcester County on June 26, 2009, held by the Maryland Department of Natural Resources (MD DNR). As described in Mr. Mitchell's memo, the easement was funded through Program Open Space and US Fish and Wildlife's National Coastal Wetlands Conservation Grant Program. He notes that the proposed rezoning would be consistent with the terms of the easement, as the property could not be developed as a major subdivision due to the easement and the fact that the subdivision was not grandfathered under the Sustainable Growth and Agricultural Preservation Act. Any proposed activities or new construction would require MD DNR approval under the terms of the easement. MD DNR (Forest Service) has supported the request.

FLOOD ZONE: The FIRM map (24047C0270H, effective July 16, 2015) indicates that the petitioned areas are located outside of the floodplain in Zone X (Area of Minimal Flood Hazard).

PRIORITY FUNDING AREAS: The petitioned area is not within a designated Priority Funding Area (PFA). The closest PFA is the village area surrounding Public Landing Wharf Road immediately to the east and south.

INCORPORATED TOWNS: The petitioned area is approximately five miles from the Town of Snow Hill.

ADDITIONAL COMMENTS RECEIVED: The following agencies submitted responses:

- Email from Will Dyer, DNR.
- Memo from Bob Mitchell, Director, Department of Environmental Programs
- Letter from Kathryn Hayden, Natural Resources Planner, Critical Area Commission

!!**IMPORTANT!**!!

THE PLANNING COMMISSION MUST MAKE FINDINGS OF FACT IN EACH SPECIFIC CASE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING MATTERS:

1. Does the Planning Commission concur with the applicant’s claim of a change in the character of the neighborhood or that there was a mistake in the existing zoning as of November 3, 2009?
2. Does the Planning Commission concur with the applicant’s definition of the neighborhood? If not, how does the Planning Commission define the neighborhood? (Not applicable if request is based solely on a claim of mistake in existing zoning.)
3. Relating to population change.
4. Relating to availability of public facilities.
5. Relating to present and future transportation patterns.
6. Relating to compatibility with existing and proposed development and existing environmental conditions in the area, including having no adverse impact on waters included on the State’s impaired waters list or having an established total maximum daily load requirement.
7. Relating to compatibility with the Comprehensive Plan.
8. Would a change in zoning be more desirable in terms of the objectives of the Comprehensive Plan?

From: [Will Dyer -DNR-](#)
To: [Jennifer Keener](#)
Subject: Re: Rezoning Case #451 – Smithson Memo
Date: Tuesday, July 15, 2025 10:10:42 AM

Hi Jennifer,

I agree with and support the proposed rezoning to Ag use.

Thank you

On Tue, Jul 15, 2025 at 9:40 AM Jennifer Keener <jkkeener@worcestermd.gov> wrote:

Good morning,

This is just a reminder that comments are due on this requested rezoning by the end of the day on **Friday, July 18, 2025**.

Thank you,

Jen

Jennifer K. Keener, AICP

Director

Dept. of Development, Review and Permitting

Worcester County Government

One West Market Street, Room 1201

Snow Hill, MD 21863

(410) 632-1200, ext. 1123

jkkeener@worcestermd.gov

From: Maria McVey <mmcvey@co.worcester.md.us>

Sent: Wednesday, June 11, 2025 11:40 AM

To: Robert Mitchell <bmitchell@worcestermd.gov>; Matt Owens <mowens@worcestermd.gov>;



Worcester County Department of Environmental Programs
 Worcester County Government Center, 1 West Market Street, Rm 1306 | Snow Hill MD 21863
 Tel: (410) 632-1220 | Fax: (410) 632-2012

Memorandum

To: Jennifer Keener, Director, DDRP

From: Robert J. Mitchell *hy*
 Director, Environmental Programs

Subject: **EP Staff Comments on Rezoning Case No. 451**
 Reclassify approximately 150 Acres of
 From E-1 Estate District to A-1 Agricultural District

Date: 7/16/25

This response to your request for comments is prepared for the map amendment application associated with the above referenced property. The Worcester County *Zoning and Subdivision Control Article*, Section ZS1-113(c)(3), states that the applicant must affirmatively demonstrate that there has been a substantial change in the character of the neighborhood since the last zoning of the property or that a mistake has been made in the existing zoning classification. The application argues that there was a mistake in the Comprehensive Rezoning that was approved by the County Commissioners on November 3, 2009. The Code requires that the Commissioners find that the proposed “change in zoning” would be more desirable in terms of the objectives of the *Comprehensive Plan*.

The Department of Environmental Programs has the following comments:

1. The property has an Agricultural land use designation in the Land Use Map in the *Comprehensive Plan*. This land use designation is common in the general vicinity of the property, except for sensitive natural areas bordering this property containing wetlands and marsh areas which are not being actively farmed or otherwise disturbed and those lands carry a Green Infrastructure designation. Regarding the agricultural land use designation, according to Chapter 2 - Land Use of the *Comprehensive Plan*, the *Plan* states the following: “This category is reserved for farming, forestry and related industries with minimal residential and other incompatible uses permitted. Large contiguous areas of productive farms and forest shall be maintained for agricultural uses.” (Page 18) Some particularly relevant objectives cited in Chapter 2 - Land Use relatable to this application would include:
 - a. Continue the dominance of agriculture and forestry uses throughout the county’s less developed regions.
 - b. Regulate development to minimize consumption of land, while continuing the county’s rural and coastal character
 - c. Develop green infrastructure system.
 - d. Limit rural development to uses compatible with agriculture and forestry.
 (Pages 12-13)
2. The subject property has a designation of Sewer Service Category S-6 (*no Planned Service*). The existing dwelling is served by existing well and septic. There are two additional residential septic reserve areas for this property in addition to the existing system serving the dwelling. The property had received approval for thirty-three (33) building lots, which were mostly eliminated with the acceptance of a conservation easement.

3. The property is encumbered by a June 2009 Conservation easement funded through Program Open Space and US Fish and Wildlife's National Coastal Wetlands Conservation Grant Program. The proposed zoning reclassification to A-1 appears to be consistent with the terms of the easement and is considerably more consistent than an E-1 classification. This property cannot be developed as a major subdivision because of the acceptance of the conservation easement. Even if the easement were not present, a major subdivision would also be prohibited as the property was not grandfathered for a major subdivision consistent with the requirements under the state's Sustainable Growth and Agricultural Preservation Act.
4. We would note that a reclassification to A-1 zoning for the property doesn't mean the owners can enjoy any use that the zoning district might allow. In addition to review by county staff, any new activities proposed will also need to be reviewed by MD DNR. Since this is a conservation easement we do not hold at the local level, deference is given MD DNR on any related compliance reviews.
5. This proposed rezoning is located within the Atlantic Coastal Bays Critical Area (ACBCA). The parcel is partially designated as a Resource Conservation Area ("RCA").
6. All rezonings located wholly or partially within the Critical Area require a notification to be sent to the Critical Area Commission for comment. In the attached letter dated July 2, 2025, Kathryn Hayden stated the Commission is not opposed to the proposed rezoning. The Commission commented that future development and redevelopment will need to comply with RCA requirements.
7. We also comment that an A-1 zoning classification is not inconsistent with the requirements of the RCA as there are many other county properties located within the RCA with A-1 zoning.

If you have any questions regarding these comments, please do not hesitate to contact me.

Attachment

Wes Moore
Governor
Aruna Miller
Lt. Governor



Erik Fisher
Chair
Nick Kelly
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

July 2, 2025

Mr. Brian Soper
Worcester County Department of Environmental Programs
One West Market Street – Room 1306
Snow Hill, Maryland 21863

Re: Smithson Rezoning

Dear Mr. Soper,

Thank you for submitting the above referenced rezoning to our office for review. The applicant is proposing to rezone approximately 128 acres in the Resource Conservation Area (RCA) from E-1 Estate District to A-1 Agriculture District. The petitioned area is located at 8145 Public Landing Road in Snow Hill Maryland (Tax Map 65 Parcel 48).

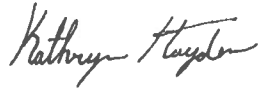
The property is 232.12 acres, of which, 128 acres is within the Critical Area on lands designated RCA. There is one dwelling unit on the property and portions of the property are actively farmed, growing corn, soybeans, wheat, and other crops. In June 2009, the entire property was subject to a Deed of Conservation Easement to the benefit of the State of Maryland Department of Natural Resources.

Our office is not opposed to this rezoning provided that any future development within the RCA meets the requirements for development in the RCA. These requirements include a lot coverage limit of 15%, limitations on tree clearing of 30% without the granting of a variance, and restrictions on density (1 dwelling per 20 acres). In addition to meeting the RCA requirements, future development will need to comply with Habitat Protection Area (HPA) requirements, including for nontidal wetlands and Forest Interior Dwelling Species (FIDS) habitat which appear to be located on site. Authorization from the Department of the Environment is required prior to any proposed impacts to regulated wetlands, including the wetland buffers. Development in FIDS habitat may require additional mitigation in accordance with COMAR 27.01.09 and the Critical Area Commission's [A Guide to the Conservation of Forest Interior Dwelling Birds in the Chesapeake Bay Critical Area](#). Please note that development for agricultural activities may follow development provisions within COMAR 27.01.06 provided that the applicant has an up-to-date Soil Conservation and Water Quality Plan with the Worcester County Soil Conservation District.

Thank you for the opportunity to provide comments. If you have any questions, please contact me at 410-260-3479 or kathryn.hayden@maryland.gov.

Smithson Rezoning
Page 2 of 2

Sincerely,

A handwritten signature in cursive script that reads "Kathryn Hayden".

Kathryn Hayden
Natural Resources Planner .

File: WC 0163-25
CC: Jennifer Esposito, Critical Area Commission

MEMORANDUM

TO: Robert Mitchell, Director, Worcester County Environmental Programs
 Matt Owens, Director, Worcester County Emergency Services & Fire Marshal
 Matthew Crisafulli, Sheriff, Worcester County Sheriff’s Office
 Dallas Baker, P.E., Director, Worcester County Public Works Department
 Chris Classing, P.E., Deputy Director, Worcester County Public Works Department
 Kevin Lynch, Roads Superintendent, Worcester County Public Works Department
 Melanie Pursel, Director of Tourism & Economic Development
 Louis H. Taylor, Superintendent, Worcester County Board of Education
 Daniel Wilson, Assistant District Engineer - Traffic, Maryland State Highway Administration
 Lt. Earl W. Starner, Commander, Barracks V, Maryland State Police
 Mark Crampton, District Engineer, Maryland State Highway Administration
 Rebecca L. Jones, Health Officer, Worcester County Health Department
 Will Dyer, Project Manager, Maryland Forest Service
 Anderson Spratt, District Conservationist, Worcester County NRCS
 Andrew Quillen, Snow Hill Volunteer Fire Department

FROM: Jennifer Keener, Director

DATE: June 12, 2025

RE: Rezoning Case No. 451– Tax Map 65, Parcel 48, located on the North side of Public Landing Road
 Snow Hill, MD (100 feet west of Outten Road), Richard S. Smithson and Elizabeth R. Smithson,
 Property Owners and Hugh Cropper, Attorney

This application seeks to rezone approximately **150 acres** of land shown on Tax Map 65, Parcel 48, from **E-1 Estate District** to **A-1 Agricultural District**. The property is currently a working farm growing corn, soybeans, and wheat, among other crops, and is under a conservation easement held by the State of Maryland, Department of Natural Resources. For your reference I have attached a copy of the rezoning application package, location and zoning maps showing the property requested to be rezoned.

The applicant is alleging a **mistake in the existing zoning** and that a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan. The Planning Commission must consider if: 1. There was a mistake made in assigning the property to an E-1 District zoning classification in 2009; and/or 2. There has been a significant change based upon a comparison of the current conditions to the neighborhood in 2009 at the time of the last Comprehensive Rezoning.

By Friday, July 18, 2025, the Planning Commission is requesting any comments, thoughts or insights that you or your designee might offer with regard to past and present conditions in the delineated neighborhood, as well as the effect that this application and potential subsequent development of the site under the proposed zoning classification may have on plans, facilities, or services for which your

agency is responsible. Your response is requested even if you determine that the proposed rezoning will have no effect on your agency, that the application is compatible with your agency's plans, and that your agency has or will have adequate facilities and resources to serve the property and its potential land uses. ***If no comments are received, we will document such and assume that you have no objection to the Planning Commission stating this information in its report to the Worcester County Commissioners.***

General Zoning Information:

The purpose and intent of the E-1 Estate District is to preserve the rural and estate character of low-density residential areas, particularly those located in environmentally sensitive or hazard-prone zones. This district is intended for large-lot residential development that maintains open space, minimizes environmental impact, and aligns with the County's vision for rural preservation. Due to the unique characteristics of these areas, including hurricane inundation risks and limited infrastructure capacity—development must be carefully managed. Design standards, landscaping, buffering, and site layout must be compatible with the natural landscape and community character. Urban-style or high-density development forms are strongly discouraged.

Permitted uses by right include single-family detached dwellings, limited agricultural activities, and certain community and recreational uses compatible with estate living. Special exception uses may include private clubs, schools, religious facilities, and similar low-impact community-oriented uses. For a full list of permitted and special exception uses in the E-1 District, please refer to the County Code here: [§ 267-41 - E-1 Estate District](#).

The purpose and intent of the A-1 Agricultural District is designed to preserve, encourage, and protect the county's farms and forestry operations along with their economic productivity. It ensures that agricultural and forestry enterprises retain the necessary flexibility to adjust their production as economic conditions evolve. Furthermore, the district provides that there shall be no basis, under this title, for recourse against the effects of any normal farming or forestry operation permitted in this district, including but not limited to noise, odor, vibration, fumes, dust, or glare. Additionally, the district aims to protect the land base resources essential for the county's agricultural and forestry industries from the encroachment of incompatible uses.

The A-1 Agricultural District allows uses such as crop production, livestock farming, forestry, single-family dwellings, roadside stands for local produce and seafood, and public/private conservation areas by right. Additionally, uses such as private noncommercial storage buildings, large and utility-scale solar energy systems, kennels, and sawmills are allowed by special exception. For a complete list of permitted and special exception uses, please refer to the following link: [§ ZS 1-201 – A-1 Agricultural District](#).

If you have any questions or require further information, please do not hesitate to reach me by phone at (410) 632-1200, ext. 1123 or via email at jkkeener@worcestermd.gov. On behalf of the Planning Commission, thank you for your attention to this matter.

Attachments

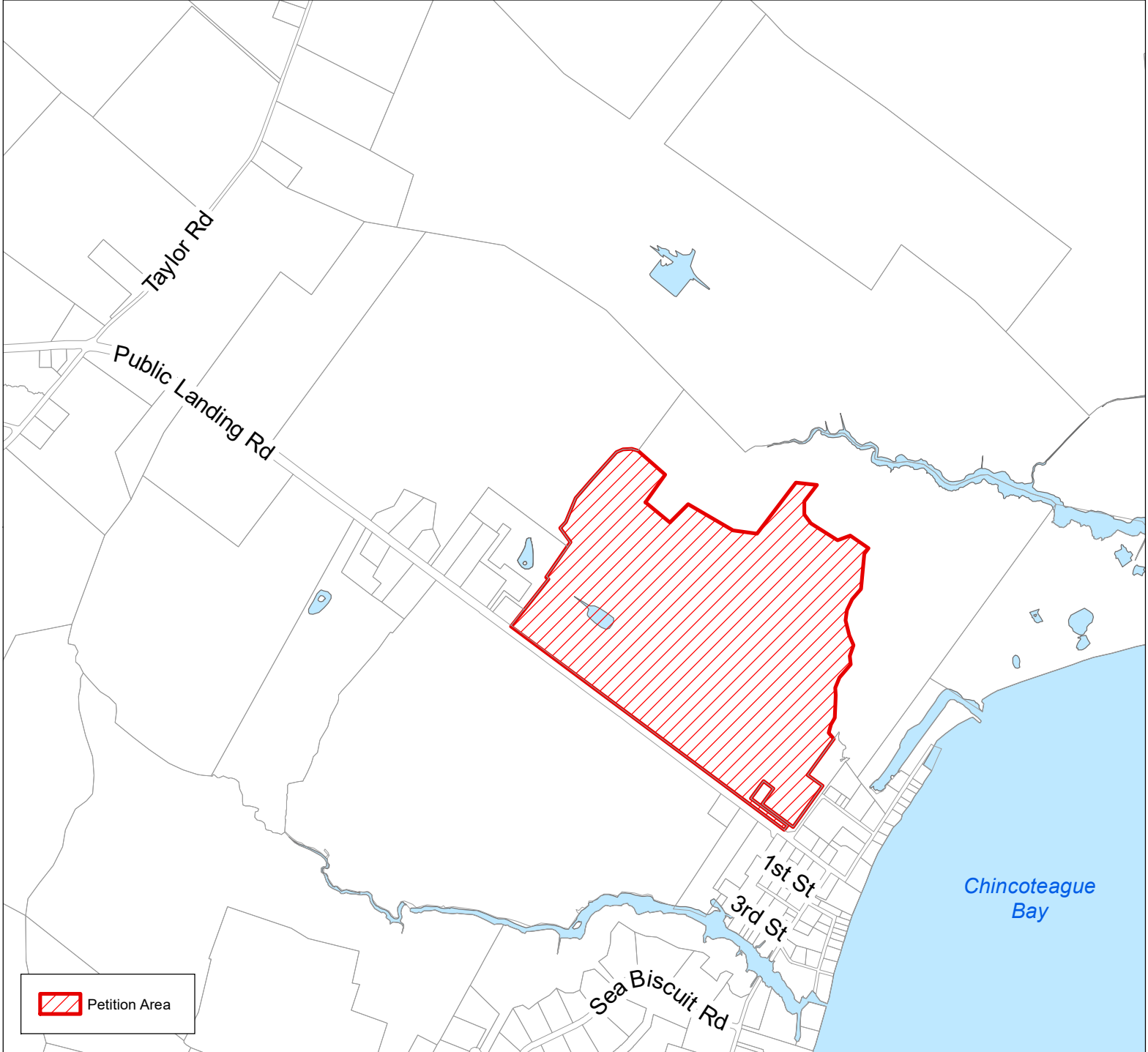
WORCESTER COUNTY, MARYLAND ITEM 20



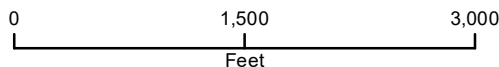
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



LOCATION MAP



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



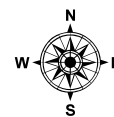
Prepared: June 2025
Source: County GIS Data Layers

Drawn By: KLH Reviewed By: JKK

WORCESTER COUNTY, MARYLAND ITEM 20



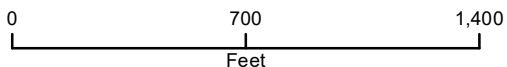
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



AERIAL MAP



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



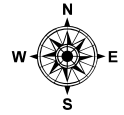
Prepared: June 2025
Source: County GIS Data Layers, 2024 Aerial Imagery

Drawn By: KLH Reviewed By: JKK

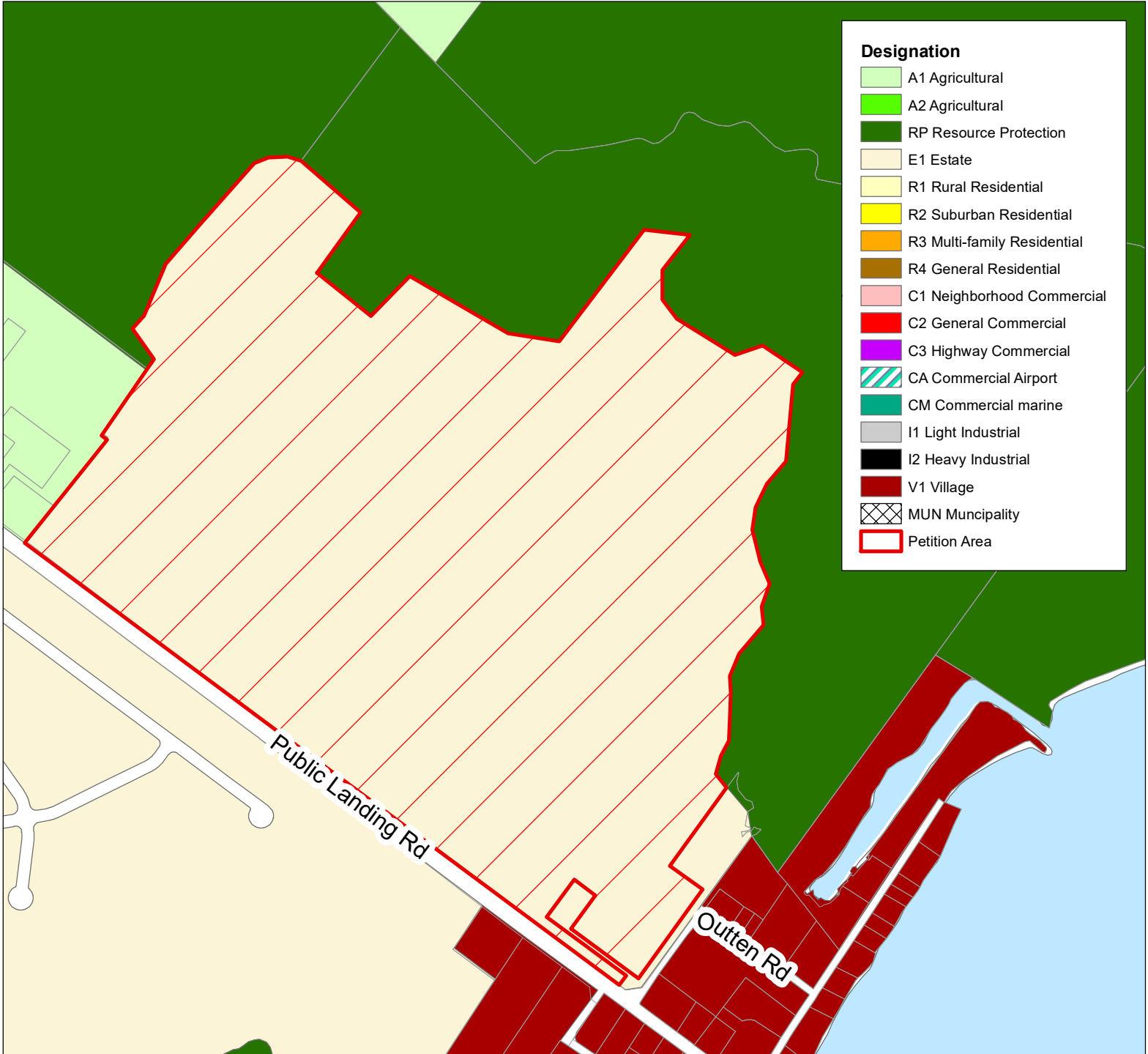
WORCESTER COUNTY, MARYLAND ITEM 20



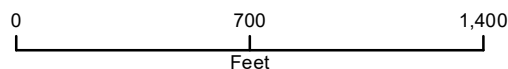
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



ZONING DISTRICT MAP



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



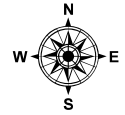
Prepared: June 2025
Source: County GIS Data Layers, 2009 Zoning Map

Drawn By: KLH Reviewed By: JKK

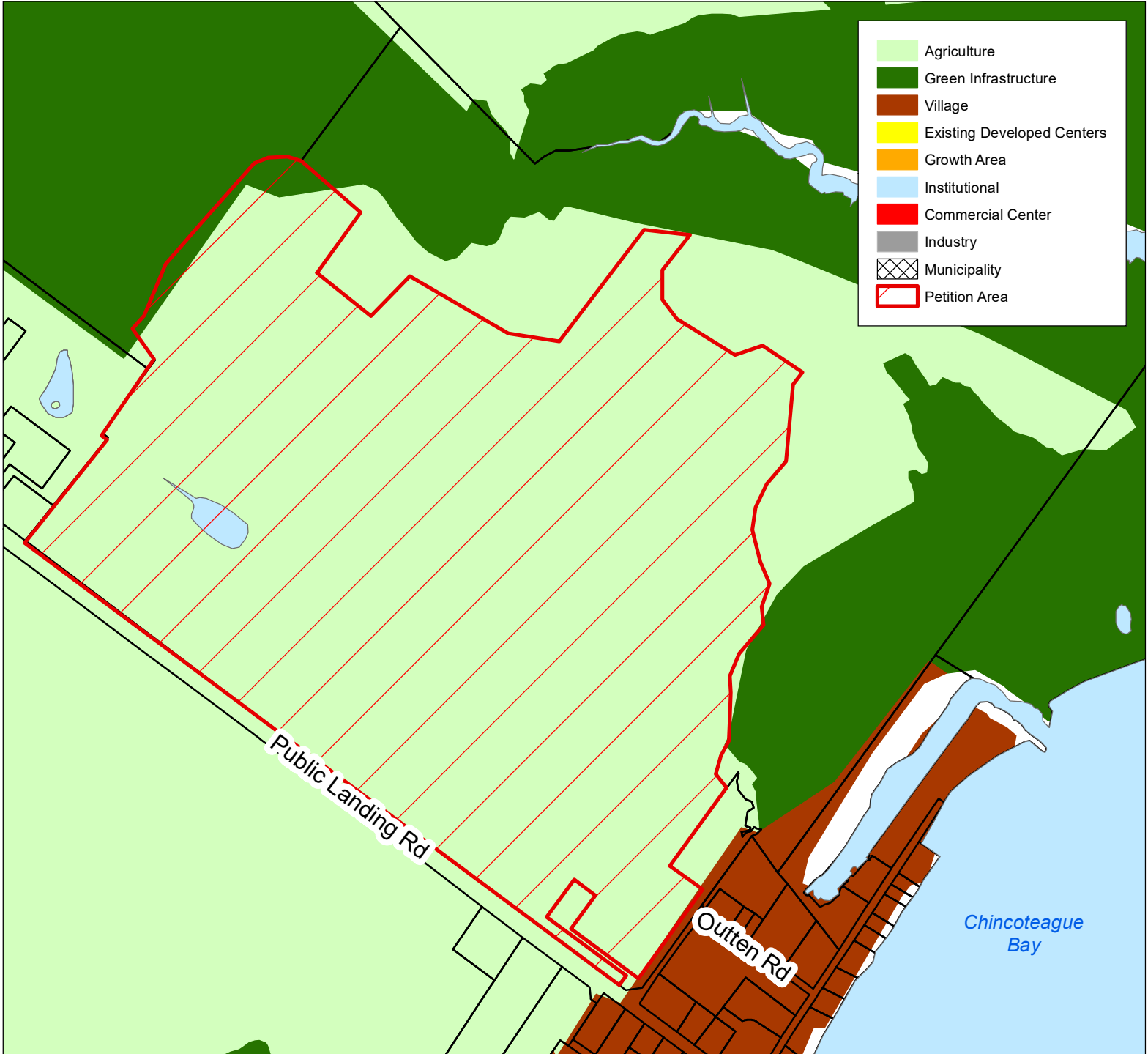
WORCESTER COUNTY, MARYLAND ITEM 20



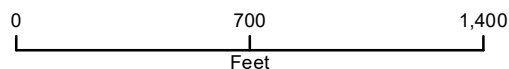
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



LAND USE PLAN MAP



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



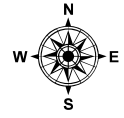
Prepared: June 2025
Source: County GIS Data Layers, 2006 Land Use Plan

Drawn By: KLH Reviewed By: JKK

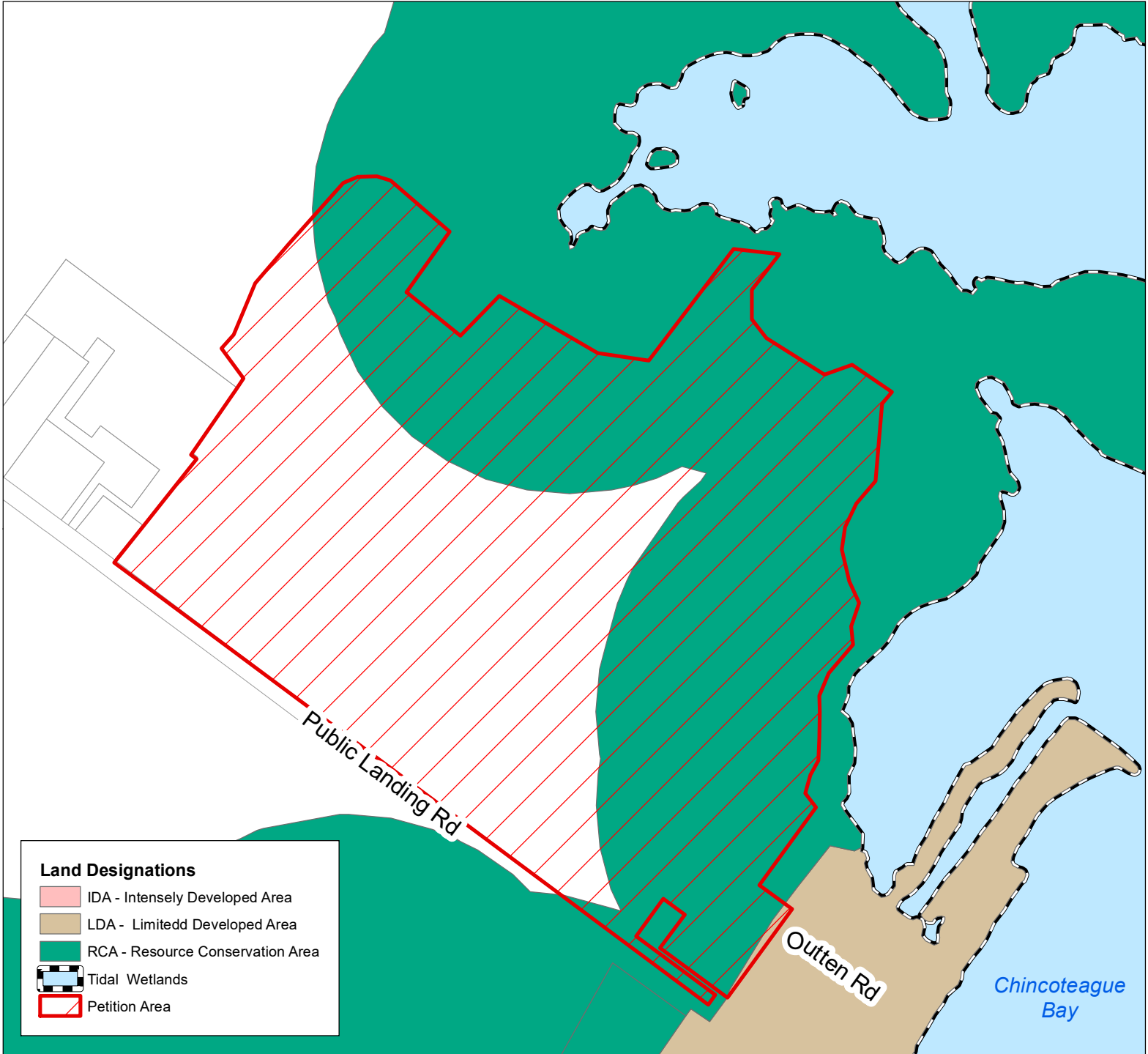
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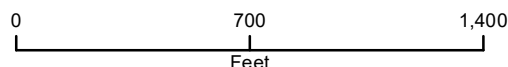
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



COASTAL BAY CRITICAL AREA MAP



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



Prepared: June 2025

Source: County GIS Data Layers, MD Coastal Bay Critical Area

Drawn By: KLH

Reviewed By: JKK

This map is intended to be used for illustrative purposes only and is not to be used for regulatory action.

WORCESTER COUNTY, MARYLAND

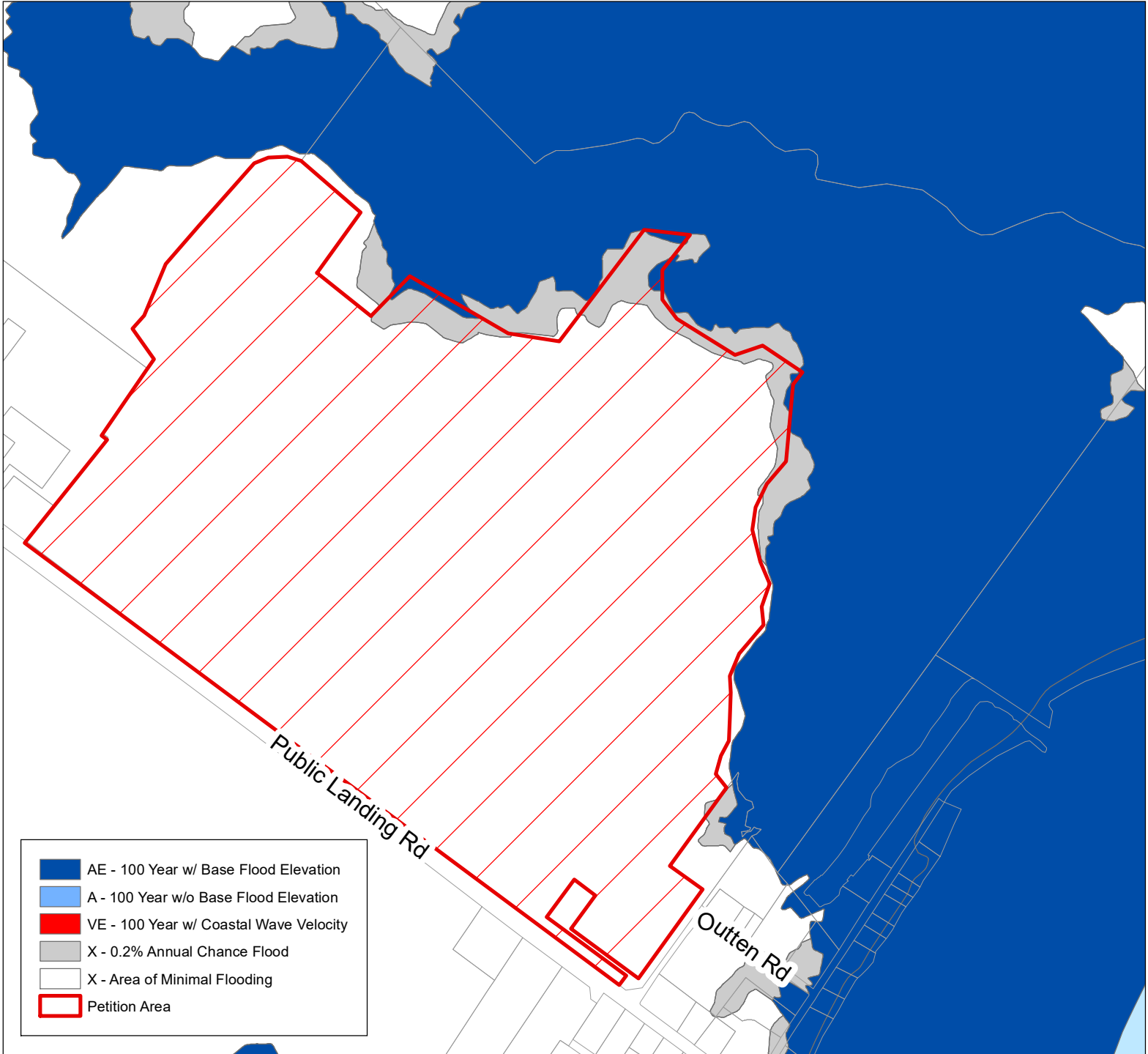
ITEM 20



REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



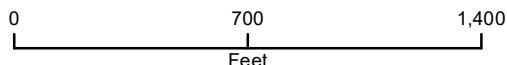
FEMA FLOOD RATE MAP



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division

Prepared: June 2025

Source: County GIS Data Layers, 2015 FEMA Flood Rate Map



Drawn By: KLH

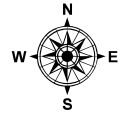
Reviewed By: JKK

WORCESTER COUNTY, MARYLAND

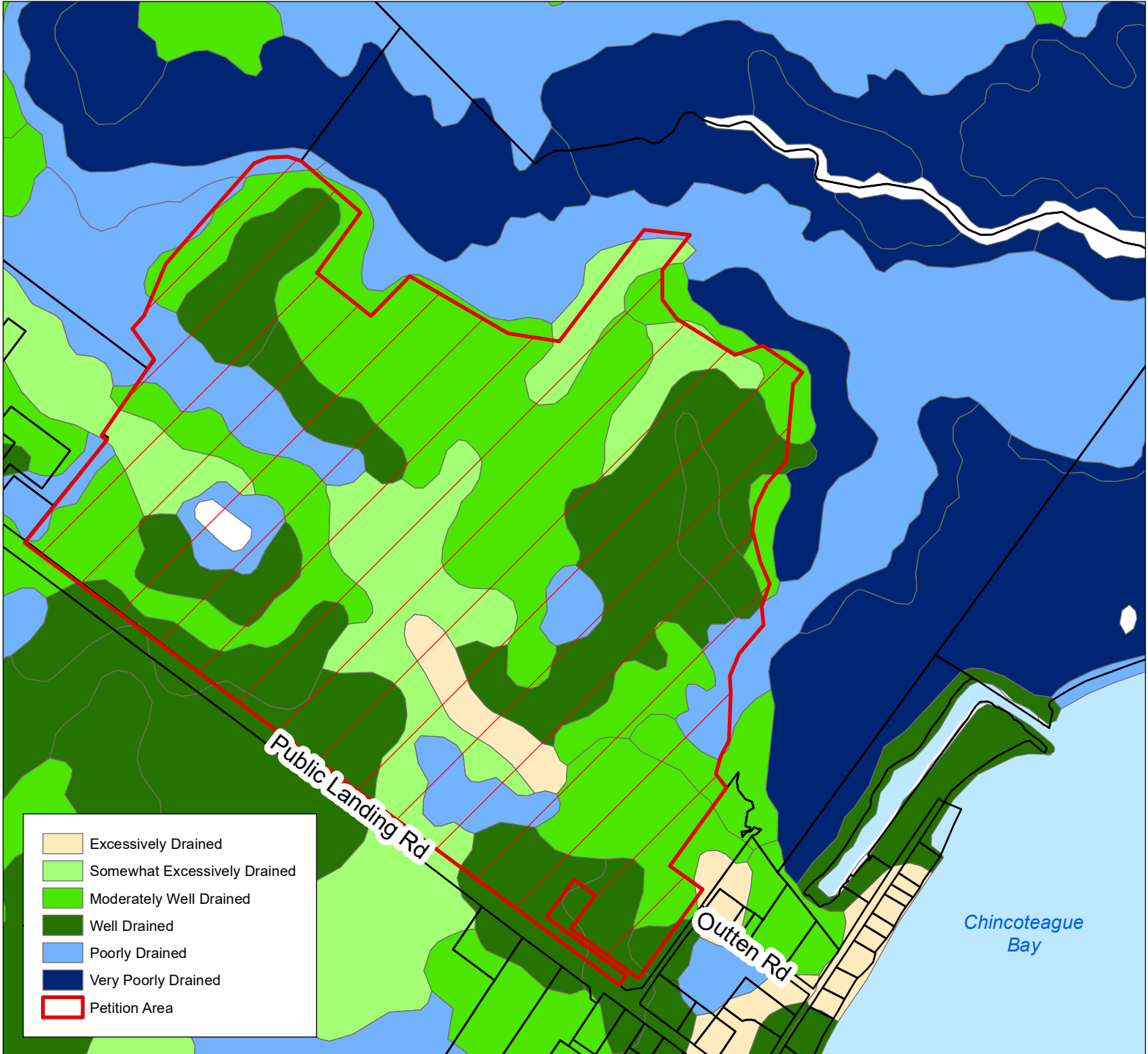
ITEM 20



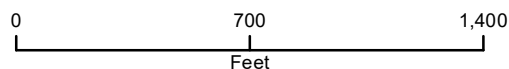
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



SOILS



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



Prepared: June 2025

Source: County GIS Data Layers, 2007 Soil Survey

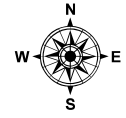
Drawn By: KLH

Reviewed By: JKK

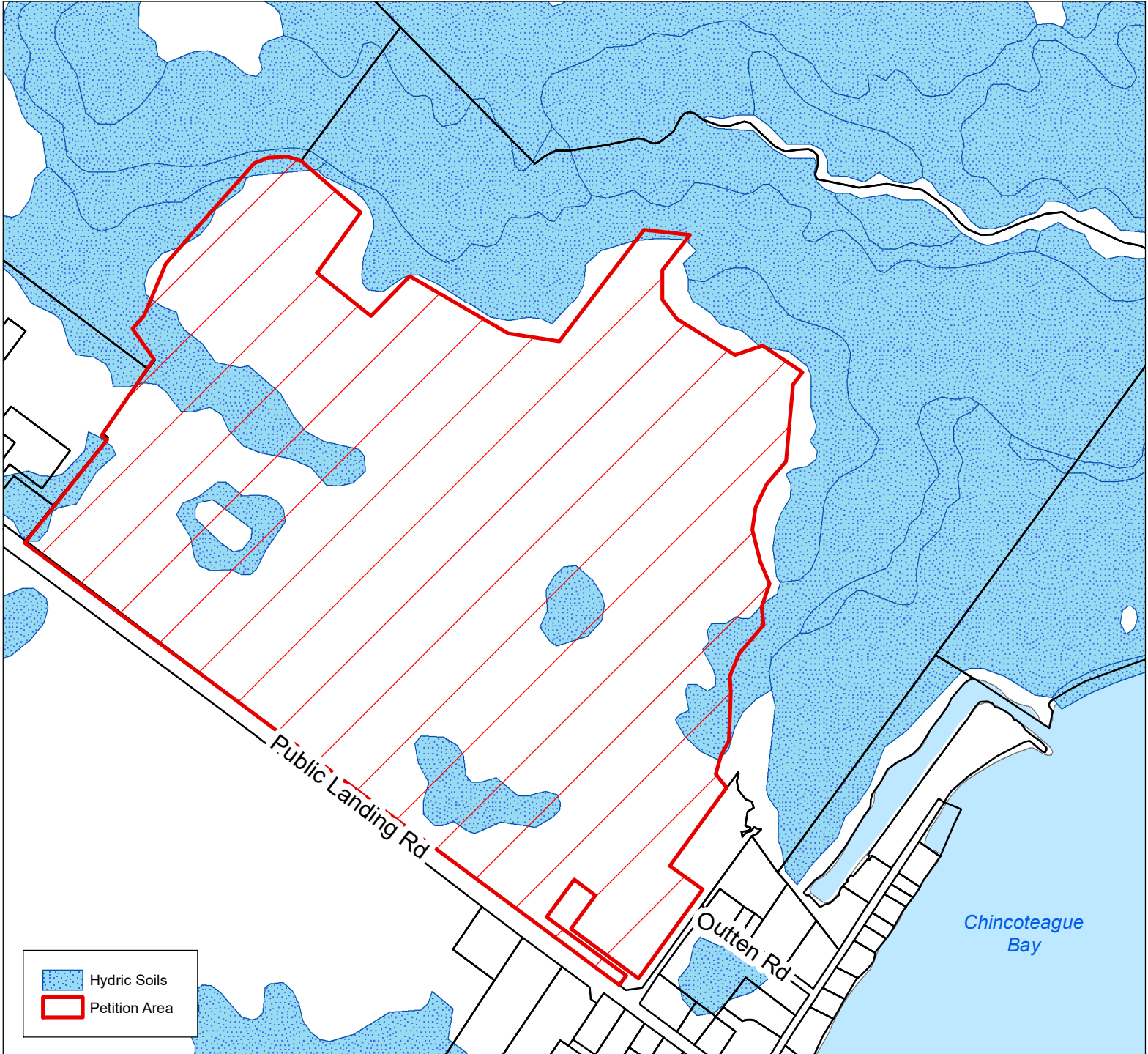
WORCESTER COUNTY, MARYLAND ITEM 20



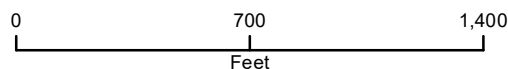
REZONING CASE NO. 451
E-1 Estate District to A-1 Agricultural District
Tax Map: 65, P/O Parcel 48



HYDRIC SOILS



DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING
Technical Services Division



Prepared: June 2025

Source: County GIS Data Layers, 2007 Soil Survey

Drawn By: KLH

Reviewed By: JKK



Worcester County Commissioners
Worcester County Government Center
One W. Market Street, Room 1103
Snow Hill, Maryland 21863

APPLICATION FOR AMENDMENT OF THE OFFICIAL ZONING MAP

(For Office Use Only – Please Do Not Write in this Space)

Rezoning Case No. 451

Date Received by Office of the County Commissioners _____

Date Received by Development Review and Permitting 5/30/25

Date Reviewed by the Planning Commission August 7, 2025

I. Application: Proposals for amendments to the Official Zoning Maps may be made only by the property owner, contract purchaser, option holder, lease, or their attorney or agent of the property to be directly affected by the proposed amendment. Check applicable status below:

- A. Governmental Agency: _____
- B. Property Owner: _____
- C. Contract Purchaser: _____
- D. Option Holder: _____
- E. Leasee: _____
- F. Attorney for X (insert A, B, C, D or E) B
- G. Agent for _____ (insert A, B, C, D or E) _____

II. Legal Description of Property

- A. Tax Map/Zoning Map Number(s): 65
- B. Parcel Number(s): 48
- C. Lot Number(s), if applicable: _____
- D. Tax District Number: 02

III. Physical Description of Property

- A. Located on the north side of Public Landing Road, approximately _____ to the _____ side of _____ Road.
- B. Consisting of a total of 232.12 acres of land.
- C. Other descriptive physical features or characteristics necessary to accurately locate the petitioned area: _____
- D. Petitions for map amendments shall be accompanied by a plat drawn to scale showing property lines, the existing and proposed district boundaries and other such information as the Planning Commission may need in order to locate and plot the amendment on the Official Zoning Maps.

IV. Requested Change to Zoning Classification(s)

- A. Existing zoning classification(s): E-1, Estate District
(name and zoning district)
- B. Acreage of zoning classification(s) in "A" above: 150
- C. Requested zoning classification(s): A-1, Agricultural District
(name and zoning district)
- D. Acreage of zoning classification(s) in "C" above: 150

V. Reasons for Requested Change

The County Commissioners may grant a map amendment based upon a finding that there: (a) has been a substantial change in the character of the neighborhood where the property is located since the last zoning of the property, or (b) is a mistake in the existing zoning classification and a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan.


- A. Please list reasons or other information as to why the zoning change is requested, including whether the request is based upon a claim of change in the character of the neighborhood or a mistake in existing zoning:

VI. Filing Information and Required Signatures

A. Every application shall contain the following information:

1. If the application is made by a person other than the property owner, the application shall be co-signed by the property owner or the property owner's attorney.
2. If the applicant is a corporation, the names and mailing addresses for the officers, directors and all stockholders owning more than 20 percent of the capital stock of the corporation.
3. If the applicant is a partnership, whether a general or limited partnership, the names and mailing addresses of all partners who own more than 20 percent of the interest in the partnership.
4. If the applicant is an individual, his/her name and mailing address.
5. If the applicant is a joint venture, unincorporated association, real estate investment trust or other business trust, the names and mailing addresses of all persons holding an interest of more than 20 percent in the joint venture, unincorporated association, real estate investment trust or other business trust.


B. Signature of Applicants in Accordance with VI.A. above.

Signature(s): 
 Printed Name(s): Hugh Cropper IV
 Mailing Address: 9927 Stephen Decatur Hwy, F-12, Ocean City, MD 21842
 Phone Number: 410-213-2681 Email: hcropper@bbcmlaw.com
 Date: 5/27/25

C. Signature of Property Owner in Accordance with VI.A. above.

Signature(s):  attorney for Smithson
 Printed Name(s): Richard S. Smithson & Elizabeth R. Smithson
 Mailing Address: 1053 Cape May Avenue, Cape May, New Jersey 08204
 Phone Number: 856-297-4928 Email: doug@bigskyaviation.net
 Date: 5/27/25

D. Signature of Attorney in Accordance with VI.A. above.

Signature(s): 
 Printed Name(s): Hugh Cropper IV
 Mailing Address: 9927 Stephen Decatur Highway, F-12, Ocean City, MD 21842
 Phone Number: 410-213-2681 Email: hcropper@bbcmlaw.com
 Date: 5/27/25

(Please use additional pages and attach to the application if more space is required.)

VII. General Information Relating to the Rezoning Process

- A. Applications shall only be accepted from January 1st to January 31st, May 1st to May 31st, and September 1st to September 30th of any calendar year.
- B. Applications for Map Amendments shall be addressed to and filed with the Office of the County Commissioners. The required filing fee must accompany the application.
- C. Any officially filed amendment or other change shall first be referred by the County Commissioners to the Planning Commission for an investigation and recommendation. The Planning Commission may make such investigations as it deems appropriate or necessary and for the purpose may require the submission of pertinent information by any person concerned and may hold such public hearings as are appropriate in its judgment.

The Planning Commission shall formulate its recommendation on said amendment or change and shall submit its recommendation and pertinent supporting information to the County Commissioners within 90 days after the Planning Commission's decision of recommendation, unless an extension of time is granted by the County Commissioners.

After receiving the recommendation of the Planning Commission concerning any such amendment, and before adopting or denying same, the County Commissioners shall hold a public hearing in reference thereto in order that parties of interest and citizens shall have an opportunity to be heard. The County Commissioners shall give public notice of such hearing.

- D. Where the purpose and effect of the proposed amendment is to change the zoning classification of property, the County Commissioners shall make findings of fact in each specific case, including but not limited to the following matters: population change; availability of public facilities; present and future transportation patterns; compatibility with existing and proposed development and existing environmental conditions for the area including having no adverse impact on waters included on the State's Impaired Waters List or having an established total maximum daily load requirement; the recommendation of the Planning Commission; and compatibility with the County's Comprehensive Plan. The County Commissioners may grant the map amendment based upon a finding that (a) there was a substantial change in the character of the neighborhood where the property is located since the last zoning of the property or (b) there is a mistake in the existing zoning classification and a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan.

The fact that an application for a map amendment complies with all of the specific requirements and purposes set forth above shall not be deemed to create a presumption that the proposed reclassification and resulting development would in fact be compatible with the surrounding land uses and is not, in itself, sufficient to require the granting of the application.

- E. No application for a map amendment shall be accepted for filing by the office of the County Commissioners if the application is for the reclassification of the whole or any part of the land for which the County Commissioners have denied reclassification within the previous 12 months as measured from the date of the County Commissioners' vote of denial. However, the County Commissioners may grant reasonable continuance for good cause or may allow the applicant to withdraw an application for map amendment at any time, provided that if the request for withdrawal is made after publication of notice of public hearing, no application for reclassification of all or any part of the land which is the subject of the application shall be allowed within 12 months following the date of such withdrawal, unless the County Commissioners specify by formal resolution that the time limitation shall not apply.

REZONING FINDINGS OF FACT FORM

- A. Is the request for rezoning based upon a claim that there has been a change in the character of the neighborhood where the property is located since the last zoning of the property or upon a claim that there is a mistake in the existing zoning and that a change in zoning would be more desirable in terms of the objectives of the Comprehensive Plan.**

Richard D. Smithson and Elizabeth R. Smithson, are the owners of Worcester County Tax Map 65, Parcel 48, 232.12 acres, more or less, located on the north side of Public Landing Road. The majority of the property is zoned E-1, Estate District. This is a request to rezone the E-1 Estate District to A-1, Agricultural District.

By estimation, the upland portion of the property is approximately 150 acres, and is currently zoned E-1, Estate District, and is the subject of this request. The remainder of the property, namely the non-tidal wetlands and the area along Scarborough Creek, is zoned RP, Resource Protection District. The property owners are **not** seeking a rezoning of the RP District.

A copy of the official Zoning Map is attached hereto as an exhibit.

At the time of the Comprehensive Rezoning, November 3, 2009, the entirety of the property was subject to a Deed of Conservation Easement to the benefit of the State of Maryland, to the use of the Department of Natural Resources, which was actually dated June 22, 2009, and recorded among the Land Records of Worcester County on June 26, 2009.

Therefore, at the time of the Comprehensive Rezoning, the property was ineligible for the vast majority of the uses described in the E-1, Estate District.

Furthermore, although the property has high, well drained soils, and many opportunities for on-site septic systems, it is not eligible for public sewer. Worcester County did not adopt a tier system, so the property is not eligible for a major subdivision, as contemplated by the E-1, Estate District Zoning.

A portion of the property is in the Atlantic Coastal Bays Critical Area (now combined with the Chesapeake Bay Critical Area) and is designated Resource Conservation Area, or RCA, with a

residential density of one unit per twenty acres. Again, this is incongruent with the E-1, Estate Zoning.

The property is a working farm, growing corn, soybeans, wheat, among other crops.

The property is in the Agricultural District pursuant to the Worcester County Land Use Plan, which accompanies the Worcester County Comprehensive Plan.

The property owners respectfully request that the property be rezoned (actually downzoned) from E-1, Estate District to A-1, Agricultural District, for the foregoing reasons, and for additional reasons to be presented at the hearing before the Planning Commission.

B. What is the definition of the neighborhood in which the subject property is located, as determined by the applicant.

At this time, the property owners are not proffering a definition of the neighborhood, because the rezoning is based solely upon a mistake.

C. Findings of Fact as to Section 1-113(c)(3) of the Zoning Code:

1. Relating to population change: There has been little, if any, population change since the last Comprehensive Rezoning.

2. Relating to the availability of public facilities: The property is served by an on-site septic system. The availability of public facilities will not be impacted by the rezoning request. In fact, to the extent that the E-1, Estate District, provides the density of one unit per two acres (which is approximately 75 units in 150 acres), the agricultural zoning will provide a much, much less imposition on public facilities.

3. Relating to present and future transportation patterns: As stated in the last paragraph, an E-1, Estate District Subdivision includes densities of up to one unit per two acres. This would definitely impact the traffic patterns in the Public Landing area. The agricultural zoning will be consistent with the surrounding neighborhood, and will have no impact on transportation patterns.

4. Relating to the compatibility with existing and proposed development and

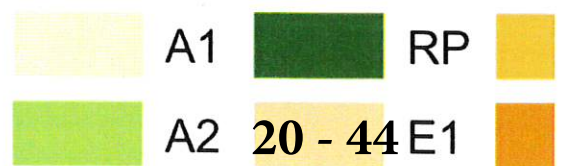
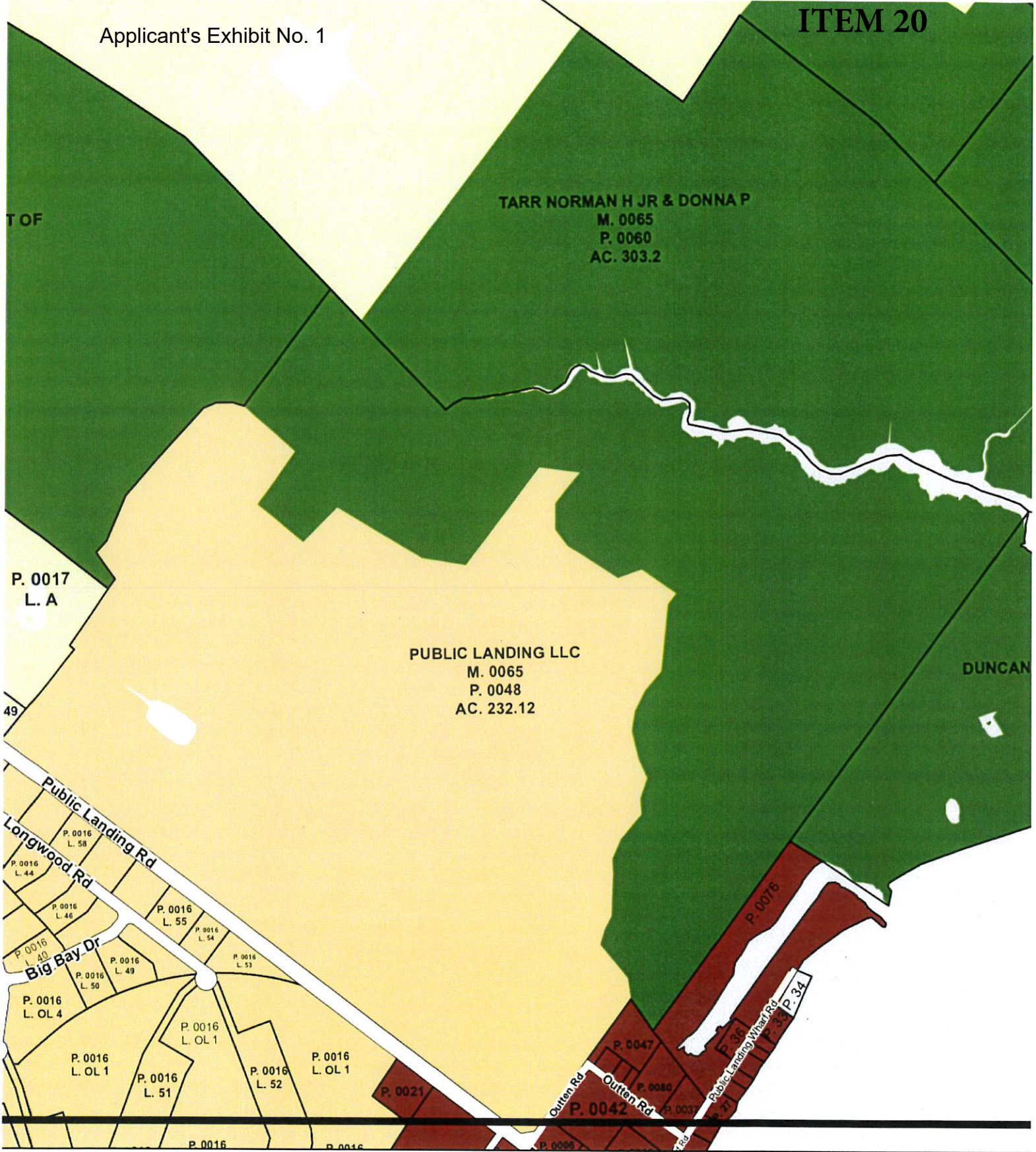
existing environmental conditions for the area: The entire area is agricultural at this time, with a variety of agricultural uses. This is a working farm, with agricultural uses. The rezoning will be compatible with existing and proposed development in the area.

5. Relating to compatibility with the Comprehensive Plan: The Comprehensive Plan designates this farm as agriculture, and it is in a large area of agriculture. The agricultural zoning will definitely be more consistent with the terms of the Comprehensive Plan.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'H. Cropper IV', written over a horizontal line.

Hugh Cropper IV, Attorney for Property Owners





Worcester County Administration
One West Market St. Room 1103 | Snow Hill MD 21863 | (410) 632-1194 | www.co.worcester.md.us

TO: The Salisbury Daily Times and OC Today Dispatch Group
FROM: Candace Savage, Deputy Chief Administrative Officer
DATE: October 16, 2025
SUBJECT: Worcester County Public Hearing Notice

Please print the below Public Hearing Notice in The Salisbury Daily Times and Ocean City Digest/OC Today Dispatch on October 2, 2025 and October 9, 2025. Thank you.

NOTICE OF INTRODUCTION OF BILL 25-05
WORCESTER COUNTY COMMISSIONERS

Take Notice that Bill 25-05 (Taxation – Homestead Property Tax Credit) was introduced by Commissioners Abbott, Bertino, Bunting, Elder, Fiori, Mitrecic, and Purnell on September 2, 2025.

A fair summary of the bill is as follows:

§ TR 1-210 Homestead Property Tax Credit. (Amends the subsection to reduce the homestead property tax credit from three percent to zero percent effective July 1, 2026.)

A Public Hearing

will be held on Bill 25-05 at the Commissioners’ Meeting Room, Room 1101 – Government Center, One West Market Street, Snow Hill, Maryland on Tuesday, October 21, 2025 at 10:35 a.m.

This is only a fair summary of the bill. A full copy of the bill is posted on the Legislative Bulletin Board in the main hall of the Worcester County Government Center outside Room 1103, is available for public inspection in Room 1103 of the Worcester County Government Center once County Government Offices are opened to the public. In the interim, a full copy of the bill is available on the County Website at www.co.worcester.md.us.

THE WORCESTER COUNTY COMMISSIONERS

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND
BILL 25-05

BY: Commissioners Abbott, Bertino, Bunting, Elder, Fiori, Mitrecic, and Purnell

INTRODUCED: September 2, 2025

A legislative bill for the purpose of amending the Homestead Property Tax Credit from 103% to 100%.

- I. **Be It Enacted by the County Commissioners of Worcester County, Maryland**, that Title TR1 (Taxation) of the Taxation and Revenue Article of the Code of Public Local Laws of Worcester County, Maryland is amended as follows:

Title TR1, Taxation, Subtitle II

Property Tax Levy and Collection

§ TR 1-210 Homestead Property Tax Credit

- (a) Credit adopted. A homestead property tax credit, as provided by and subject to § 9-105 of the Tax-Property Article of the Annotated Code of Maryland, as from time to time amended, is hereby established for County property tax purposes which shall serve to limit the increase in taxable assessment for owner-occupied dwellings in Worcester County, Maryland.
- (b) Homestead credit percentage. Effective July 1, 2006²⁶, the homestead property tax credit in Worcester County, Maryland shall be one hundred ~~and three~~ percent for County property taxes which shall serve to limit the taxable assessment increase for owner-occupied dwellings to ~~zero~~^{three} percent over the taxable assessment of the prior year.

II. **Be It Further Enacted by the County Commissioners of Worcester County, Maryland** that this Bill will take effect 45 days from the date of its passage.

PASSED this 21st day of October, 2025.

Attest:

Worcester County Commissioners

Weston S. Young
Chief Administrative Officer

Theodore J. Elder
President

Eric J. Fiori
Vice President

Caryn G. Abbott
Commissioner

Anthony W. Bertino, Jr.
Commissioner

Madison J. Bunting, Jr.
Commissioner

Joseph M. Mitrecic
Commissioner

Diana Purnell
Commissioner

Introduced by Commissioners
Abbott, Bertino, Bunting, Elder,
Fiori, Mitrecic and Purnell

MEMORANDUM

TO: Worcester County Commissioners
FROM: Candace Savage, Deputy Chief Administrative Officer
DATE: August 28, 2025
SUBJECT: Homestead Tax Credit Proposed Bill

This memo is to request the introduction of legislation to amend the Homestead Property Tax Credit in Worcester County. The bill would reduce the Homestead Property Tax Credit cap from 103% to 100%, effectively lowering the allowable increase in taxable assessment for eligible properties from 3% to 0%.

This legislative change is being proposed in accordance with the vote taken by the County Commissioners during the Fiscal Year 2026 budget work sessions, where the reduction of the Homestead Credit Cap from 3% to 0% was approved. As required by state law, this change must be enacted through local legislation.

The Homestead Property Tax Credit is a state program that limits the annual increase in taxable assessment for a homeowner's principal residence. Homeowners must apply once through the Maryland Department of Assessments and Taxation to be eligible. While the statewide cap is 10%, counties and municipalities may set a lower cap. Worcester County previously maintained a 3% cap. The proposed reduction to 0% provides the maximum protection allowed under state law, ensuring that eligible homeowners will not experience any increase in their taxable assessment from year to year.

Pending the passage of this bill, Worcester County will become one of only two counties in Maryland to offer a 0% Homestead Credit Cap, based on the most recent statewide report.

To apply for the Homestead Property Tax Credit, homeowners must complete a one-time application through the Maryland Department of Assessments and Taxation. Applications can be submitted online at <https://sdathtc.dat.maryland.gov>. Once approved, the credit remains in place as long as the property continues to be the applicant's principal residence.



Worcester County Administration
One West Market St. Room 1103 | Snow Hill MD 21863 | (410) 632-1194 | www.co.worcester.md.us

TO: The Salisbury Daily Times and OC Today Dispatch Group
FROM: Candace Savage, Deputy Chief Administrative Officer
DATE: October 16, 2025
SUBJECT: Worcester County Public Hearing Notice

Please print the below Public Hearing Notice in The Salisbury Daily Times and Ocean City Digest/OC Today Dispatch on October 16, 2025. Thank you.

NOTICE OF PUBLIC HEARING

The Worcester County Commissioners will conduct a Public Hearing to obtain the views of citizens on community, economic development, and housing needs to be considered for submission of an application to the Maryland Community Development Block Grant Program (CDBG). Citizens will have the opportunity to discuss proposed projects and to provide input on other needs to be considered. The hearing will be held on Tuesday, October 21, 2025, at 10:40 AM in the Worcester County Government Center, Room 1101, One West Market Street, Snow Hill, MD. The draft application will be available for the public to review on October 7, 2025, until October 24, 2025, at the Department of Development, Review and Permitting, One West Market Street, Room 1201, Snow Hill, MD during normal business hours.

Citizens will be furnished with information including but not limited to:
* the amount of CDBG funds available for State Fiscal Year 2026;
* the range of activities that may be undertaken with CDBG funds; and
* the proposed projects under consideration by Worcester County.

The Maryland Community Development Block Grant (CDBG) Program is a federally funded program designed to assist governments with activities directed toward neighborhood and housing revitalization, economic development, and improved community facilities and services. It is administered by the Department of Housing and Community Development. The Maryland CDBG Program reflects the State's economic and community development priorities and provides public funds for activities which meet one of the following national objectives, in accordance with the federal Housing Community Development Act of 1974, as amended, that:

- 1. benefit to low and moderate income persons and households;
2. aid in the prevention or elimination of slums or blight;
3. meet other community development needs of an urgent nature, or that are an immediate threat to community health and welfare.

Efforts will be made to accommodate the disabled and non-English speaking residents with 3 days advance notice to Candace Savage, Deputy Chief Administrative Officer at 410-632-1194.

WORCESTER COUNTY COMMISSIONERS



WSY 10/07/25



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL:410.632.1200 / FAX: 410.632.3008

<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

To: Weston S. Young, Chief Administrative Officer
From: Jennifer K. Keener, AICP, Director
Date: September 30, 2025
Re: Request to Schedule Public Hearing: Community Development Block Grant Application

I am requesting that the Worcester County Commissioners schedule a required public hearing for Tuesday, October 21, 2025, associated with a grant application under the Maryland Community Development Block Grant Program. The application is due on Friday, October 24, 2025. A draft public hearing notice is attached, which must be published a minimum of five days in advance of the hearing.

The Department would like to request \$300,000 in funds for grants associated with the Housing Rehabilitation Program. One hundred percent of the funding will be utilized to meet the national objective of benefit to low- and moderate-income persons. The grant does not require any matching funds, but our application will show that matches will be met through county expenditures associated with the administration of the program over the two-year period, State Special Loan Program grants/loans, and the recently awarded Maryland Affordable Housing Trust (MAHT) Plumbing Poverty Program grant for \$300,000. Qualifying expenditures may include inspection fees and reports, credit reports, appraisals, advertising expenses, mailings and office supplies.

Thank you for your attention to this matter. Should you have any questions or require additional information, please do not hesitate to contact me.

NOTICE OF PUBLIC HEARING

The Worcester County Commissioners will conduct a Public Hearing to obtain the views of citizens on community, economic development, and housing needs to be considered for submission of an application to the Maryland Community Development Block Grant Program (CDBG). Citizens will have the opportunity to discuss proposed projects and to provide input on other needs to be considered. The hearing will be held on **Tuesday, October 21, 2025, at ____ AM** in the Worcester County Government Center, Room 1101, One West Market Street, Snow Hill, MD. The draft application will be available for the public to review on October 7, 2025, until October 24, 2025, at the Department of Development, Review and Permitting, One West Market Street, Room 1201, Snow Hill, MD during normal business hours.

Citizens will be furnished with information including but not limited to:

- * the amount of CDBG funds available for State Fiscal Year 2026;
- * the range of activities that may be undertaken with CDBG funds; and
- * the proposed projects under consideration by Worcester County.

The Maryland Community Development Block Grant (CDBG) Program is a federally funded program designed to assist governments with activities directed toward neighborhood and housing revitalization, economic development, and improved community facilities and services. It is administered by the Department of Housing and Community Development. The Maryland CDBG Program reflects the State's economic and community development priorities and provides public funds for activities which meet one of the following national objectives, in accordance with the federal Housing Community Development Act of 1974, as amended, that:

1. benefit to low and moderate income persons and households;
2. aid in the prevention or elimination of slums or blight;
3. meet other community development needs of an urgent nature, or that are an immediate threat to community health and welfare.

Efforts will be made to accommodate the disabled and non-English speaking residents with _____ days advance notice to _____ (name and phone number of contact).

WORCESTER COUNTY COMMISSIONERS

STATE OF MARYLAND CDBG PROGRAM

**SFY 2026
APPLICATION**

**COMMUNITY DEVELOPMENT
SPECIAL PROJECTS**



**Wes Moore, Governor
Aruna Miller, Lt. Governor**

*Jacob R. Day, Secretary
Julia Glanz, Deputy Secretary*

*DHCD
Division of Neighborhood Revitalization
7800 Harkins Road
Lanham, MD 20706
301/429-7525
TTY/RELAY 711 or 1/800-735-2258*

.....

MARYLAND COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM APPLICATION SFY 2026	
1. Name of Jurisdiction: <p style="text-align: center;">WORCESTER COUNTY</p>	2. County (Municipal applicants only):
2. Address: <p style="text-align: center;">One W. Market St., Snow Hill, MD 21863</p>	4. Name of Subrecipient or Business, if applicable, and their Unique Entity Number: <p style="text-align: center;">N/A</p>
5. FID Number: 52-6001064 Unique Entity Number: KEA9KRV8GPG3	6. Name, phone number and email of jurisdiction's contact person for this application: Davida Washington, (410)632-1200, ext. 1171 dwashington@worcesstermd.gov
7. Project title, brief description & location (Full Street address(es) and zip code of Project is required): <p style="text-align: center;">County Wide Housing Rehabilitation Program</p> <p>Worcester County has successfully rehabilitated 338 homes since the founding of its rehabilitation program in 1987. We are seeking funds to rehabilitate an additional 10 dwellings over the next year occupied by low to moderate income homeowners throughout Worcester County. Our program guidelines ensure that we target homes in need of moderate repair or emergency repair with priority placed on eliminating health or safety hazards and rendering homes more accessible to the handicapped or elderly.</p>	
B. Project type: <input checked="" type="checkbox"/> Housing <input type="checkbox"/> Public Facilities <input type="checkbox"/> Infrastructure <input type="checkbox"/> Economic Development <input type="checkbox"/> Other <input type="checkbox"/> Public Services	9. National objective(s): <input checked="" type="checkbox"/> Low and moderate income benefit <input type="checkbox"/> Elimination of slum/blight
10. CDBG request: \$ <u>300,000.00</u> Local funds \$ <u>70,000.00</u> Other funds \$ <u>440,000.00</u> Total costs \$ <u>810,000.00</u>	11. U.S. Congressional District No. __ State District No. ____ (List State legislators for <i>entire</i> district): Senator Mary Beth Carozza Delegate Charles J. Otto, 38A Delegate Wayne A. Hartman 38C
12. Date Public Hearing held: <i>(Attach minutes and hearing notice to application)</i>	13. Required Resolution attached? <input checked="" type="checkbox"/> Yes No
14. Is Citizens Participation Plan current? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Dated: June 7, 2022 – June 7, 2027 If not, did you attach new plan? <input type="checkbox"/> Yes <input type="checkbox"/> No	
15. Is Anti-Displacement Plan current? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Dated: Dated: June 1, 2022 – June 1, 2027 If not, did you attach new plan? <input type="checkbox"/> Yes <input type="checkbox"/> No	
16. If applicable, did you complete Debarment Check on application subrecipient or business? <input type="checkbox"/> Yes <input type="checkbox"/> No	
17. Digital Photos and Drive included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>(each must be labeled)</i>	18. Date: October 21, 2025

PART A

PROJECT DESCRIPTION: Describe the proposed project in detail. Include location and specific activities to be undertaken.

Worcester County is requesting funding from the Community Development Block Grant to support the continuance of our housing rehabilitation program. The Housing Rehabilitation Program of Worcester County partners with other funding agencies and is committed to providing the best quality construction services by collaborating with other funding agencies and projects that are guided by detailed work scopes and building inspections.

CDBG funding is leveraged with monies from the state Special Loans Program (Maryland Housing Rehabilitation Program, Indoor Plumbing Program, Maryland Accessible Homes to Seniors Program and STAR), MAHT, and state funded Bay Restoration Fund. This allows the program to complete overall rehabilitations, well and septic replacement, and bring each home up to code with current fire safety standards, energy efficient standards, and MDE/EPA standards.

The Worcester County Housing Rehabilitation Program prioritizes applications, giving first consideration to the disabled and those over age 62, extremely low-income households, and living conditions that present health and safety hazards. Please find attached a list of potential grantees that have completed the underwriting process and await funding. Once funding is awarded, all cases will be presented to the Housing Review Board for approval. Once approved by the Board, all bid requests will be sent to the contractors' pool. The coordinator will share the bid results with the owner. The staff will determine the award based upon the Housing Guidelines for projects under \$25,000.00. The County Commissioners will review only the projects that are \$25,000 and over. The Commissioners will award contracts based on the program coordinator's suggestion, completion of bid, and fairness of pricing of the project. After contract selection, the grantee will sign a construction contract with the contractor and a grant/loan agreement with the Commissioners that outlines the terms of assistance. An order to proceed is issued to the contractor granting authority to get necessary permits for the work. During the construction process, periodic inspections are performed by the Program Inspector to ensure that all work is in conformity to code and quality standards. Payments are issued to the contractor as steps of progression in the construction are completed and approved by the contractor, the homeowner, Program Inspector, and Program Coordinator. For a complete description of our operating procedures, please refer to the attached Worcester County Housing Rehabilitation Program Guidelines.

PART B

PROJECT NEED/IMPACT: Describe the need for the proposed project. Include statistics and other documentation supporting the described need. Discuss how the project will make an impact on the described need? If existing infrastructure or facility, discuss past maintenance and improvements undertaken or deferred.

SEE ATTACHED

PART B

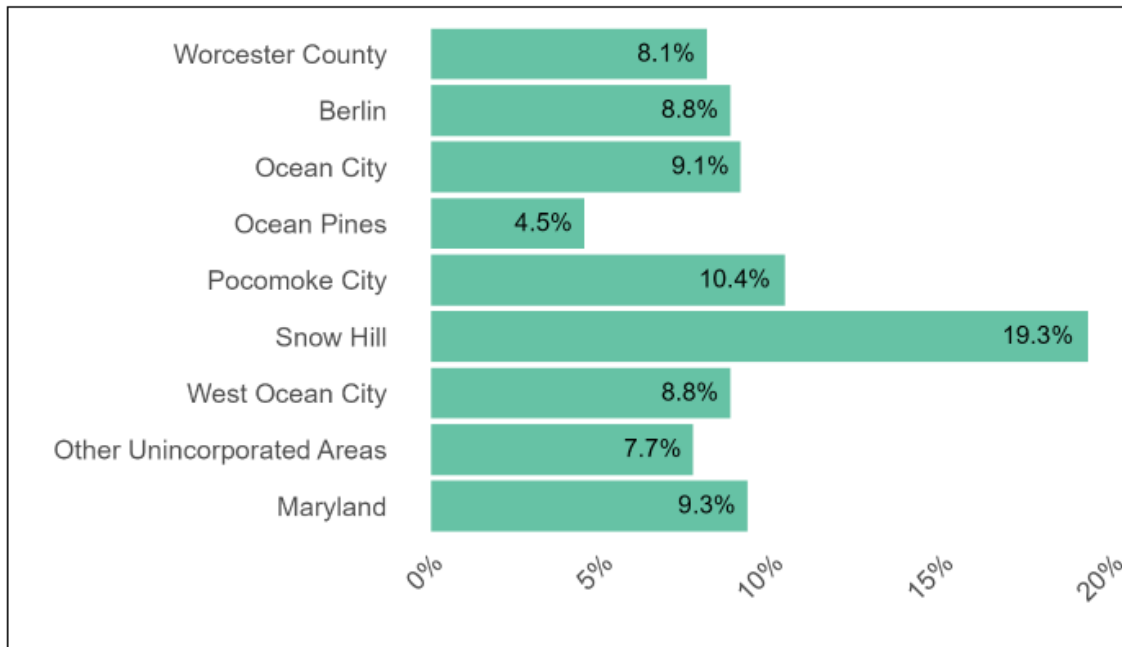
PROJECT NEED/IMPACT: Describe the need for the proposed project. Include statistics and other documentation supporting the described need. Discuss how the project will make an impact on the described need? If existing infrastructure or facility, discuss past maintenance and improvements undertaken or deferred.

Several factors from our recent housing study substantiate the need for housing repair financial assistance. Just a few of those factors include poverty, economic structure by sector, educational attainment, and a homeownership market that includes cost burdened residents.

Housing insecurity is a threat for those living under the poverty level.

The 2023 ACS poverty threshold for a family of four was approximately \$31,500. Overall, 8.1% of the County’s residents lived below the poverty line. This rate was slightly below the statewide average of 9.3%, even though Worcester’s median household income is significantly lower. The seemingly conflicting findings may be due in part to the County’s older population, many of whom rely on retirement income that places them just above the poverty threshold. Snow Hill reported the highest poverty rate at 19.3%, followed by Pocomoke City at 10.4%, while Ocean Pines had the lowest at just 4.5%. These conditions highlight the importance of preserving and expanding deeply affordable housing options, particularly in communities where poverty is more concentrated and residents are more likely to face housing insecurity.

Figure 14. Individual Poverty Rate, 2023



Source: Five-Year American Community Survey; Matrix Design Group, Inc.

Note: Individual poverty status is based on family income relative to federal poverty thresholds, which vary by family size and composition. For reference, the poverty threshold for a family of four was \$31,500 in the 2023 ACS.

The economic structure by sector is dominated by service and retail trade that are associated with low earnings.

The County’s economy is heavily service-oriented, with Accommodation and Food Services standing out as the dominant sector. In 2024, it accounted for 32% of all jobs (8,330 employees) and nearly 500 establishments, yet offered relatively low average earnings of just \$32,924, consistent with the seasonal, tourism-driven nature of this sector. Retail Trade is another major source of jobs, with 374 establishments and 3,902 employees, but similarly low wages, averaging \$36,245 annually. Together, these sectors highlight the prevalence of low- to moderate-wage employment that shapes the County’s housing needs and affordability challenges.

Table 4. Worcester County Economic Profile, 2024

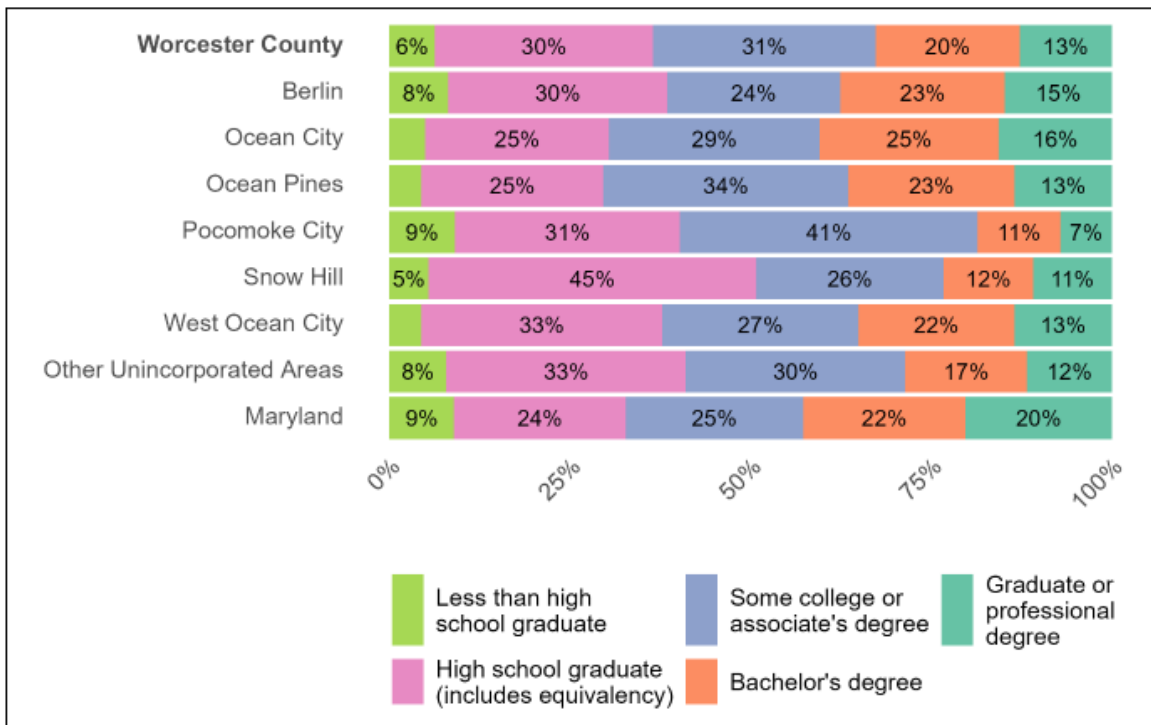
Sector	Establishments		Employment		Average Annual Earnings
Information	24	1%	114	0%	\$88,697
Utilities	5	0%	12	0%	\$86,384
Finance and Insurance	90	4%	430	2%	\$83,666
Management of Companies and Enterprises	11	0%	101	0%	\$68,229
Public Administration	37	2%	1,656	6%	\$62,308
Educational Services	36	1%	1,708	7%	\$61,771
Professional, Scientific, and Technical Services	238	10%	1,003	4%	\$61,104
Health Care and Social Assistance	155	6%	2,390	9%	\$60,185
Wholesale Trade	69	3%	294	1%	\$59,042
Manufacturing	57	2%	786	3%	\$57,716
Transportation and Warehousing	52	2%	246	1%	\$56,694
Construction	224	9%	1,211	5%	\$54,559
Administrative and Support and Waste Management and Remediation Services	115	5%	783	3%	\$50,291
Real Estate and Rental and Leasing	186	8%	721	3%	\$44,133
Other Services (except Public Administration)	171	7%	796	3%	\$38,850
Arts, Entertainment, and Recreation	71	3%	1,341	5%	\$37,797
Retail Trade	374	15%	3,902	15%	\$36,245
Accommodation and Food Services	492	20%	8,330	32%	\$32,924
Unclassified	10	0%	5	0%	\$18,667
Agriculture, Forestry, Fishing and Hunting	36	1%	0	0%	—
Mining, Quarrying, and Oil and Gas Extraction	2	0%	0	0%	—
Total	2,455	100%	25,829	100%	\$45,653

Source: Bureau of Labor Statistics Quarterly Census of Employment and Wages; Matrix Design Group, Inc.
 Note: Annual average earnings are reported in current (2024) dollars. Employment reflects the job location, not where workers live, and includes full- and part-time positions covered by Unemployment Insurance. Self-employed individuals, informal workers, and active-duty military are excluded. Wages include regular pay, overtime, bonuses, tips, and back wages, but not employer-paid benefits. Weekly wages were annualized. Some sectors may show establishments without employees due to reliance on self-employed operators, seasonal closures, or periods of inactivity.

A lower educational level will affect affordability for repairs.

Statistics for Worcester County show that educational attainment for a bachelor’s degree or higher for residents aged 25 and over is only at 33% compared to 42% statewide. This gap may reflect the structure of the local economy, which is heavily oriented around tourism and seasonal service-sector jobs that often do not require a college degree. Educational attainment varies widely across the County: Ocean City (40%), Berlin (38%), Ocean Pines (36%), and West Ocean City (35%) all exceed the County average, likely influenced by in-migration of retirees and professionals who live locally but work remotely. In contrast, Pocomoke City (19%) and Snow Hill (23%) reported much lower rates of college attainment, which may limit access to higher-wage employment and constrain economic mobility in those communities.

Figure 5. Educational Attainment, 2023



Source: Five-Year American Community Survey; Matrix Design Group, Inc.

Note: Rates are for the 25-years-and-over population.

The homeownership market includes lower-income communities that are cost burdened.

Just 3% of homes sold between July 2023 and July 2024 were affordable for a household earning \$50,000, while 10% of homes were affordable at the \$75,000 income level. Moreover, 31% of mortgaged homeowners—and a notable share of mortgage-free owners, particularly in lower-income communities—were cost burdened. These patterns highlight growing access challenges for prospective buyers, particularly those in lower- and moderate-income brackets, as well as affordability pressures facing current owners, including seniors living on fixed incomes who may struggle to maintain housing stability even after paying off their mortgages.

These statistics show there is a need in Worcester County. Our program has successfully rehabilitated 338 homes. Based on our aging housing stock and economic status of the residents, the Worcester County Housing Rehabilitation Program has and will continue to make a direct positive impact on the living conditions of residents in Worcester County.

PART B WORKSHEET

NOTE: First time applicants must provide a copy of the most recent audit and copy of the most recent single audit.

1. As CDBG funds are "Gap" financing, did you pursue *appropriate* other funds from state, federal agencies and/or private sources? What other funding sources did you pursue for this project? What is the status of those requests?

The Worcester County Housing Rehabilitation Program has been awarded \$300,000 from the Maryland Affordable Housing Trust for FY 26. For eligible recipients the Worcester County Environmental Programs will fully or partially fund septic installation with the Bay Restoration Grant and are available as needed for any applicants that do not meet the metrics for the CDBG program their applications are forwarded to the state special loans program and are under review through STAR, IPP, MHR P, LHRGLP, and AHSP funding. Shore Up is an agency that we collaborate with for HVAC installation, crawlspace encapsulation, and weatherization for homes.

2. Please provide copies of award and rejection letters. SEE ATTACHED
3. Will your project require payment from beneficiaries including, but not limited to: rent, fees for services, fees for participation, and utility charges? No

If yes, what is the estimated monthly cost? _____

Is the cost per person or household? _____ No

If this project improves existing facilities, housing or utilities, is the estimated cost higher than the current amount? _____

If yes, what is the % increase? _____

Discuss how new or increased costs were determined:

Discuss how grantee or subrecipient determines that charges are affordable to beneficiaries:

We have an underwriting sheet where there is a computation for feasibility and affordability based upon household income, monthly housing expense, and long term debt.

PART C

COMMUNITY SUPPORT AND INVOLVEMENT: Describe community involvement with developing this project and application. Attach current letters of support for this project and the CDBG funding. *NOTE: This activity is separate from the public hearing(s).*

Several community boards comprised of County residents that are appointed by each Commissioner (representing each district) support the operation of this program. The Housing Review Board contributes vital assistance by volunteering their time to analyze each application which includes income, credit report, repayment ability, and housing condition, to objectively prioritize projects. The Economic Advisory Board meets quarterly where they solicit feedback on housing issues.

Secondly, various municipalities in Worcester County show full support for the program. The website for The Town of Berlin, The Town of Snow Hill, The Town of Ocean City, and Pocomoke City have all agreed to post information and a link to grant more accessibility and exposure of the program. The Program Coordinator has been invited to share information at several public events: Ocean Pines Business Expo, Worcester County Health Fair, Berlin Memorial Day Parade, Blessing of the Combines-Snow Hill, etc. Support letters from several agencies and grant recipients are attached.

Finally, Worcester County Partners with several agencies to provide housing rehabilitation: Van Hollen Congressional Grant, the Special Loans Program, and Shore-Up Agency. Over the past grant cycle, grantees have received \$335,610.00 in grants and \$93,967.90 in loans. Please find attached letters of endorsement from these agencies.

PART D

LOCAL PLANNING/GROWTH MANAGEMENT: Answer the following questions:

1. Describe how the proposed project conforms to revitalization strategies, marketing studies, economic development strategies, capital improvement plans, housing study, a comprehensive plan or other community plan. Do *not* submit copies of the entire plan(s), but reference the name and date of the plan, the section and the page. You should ATTACH a copy of the REFERENCED portion which specifically mentions your project.
2. For economic development projects discuss any feasibility studies, economic conditions survey, financial analysis, economic impact assessment or market analysis completed in relation to the proposed activity. Provide the dates those items were completed and information on who prepared them.
3. Is your project located in a Priority Funding Area? Yes No

ATTACH **MAP(S)** OF PROJECT AREA: SEE ATTACHED

List Census Tract(s) and Block Groups for all projects:

The anticipated housing needs of the County are addressed in the Comprehensive Plan that was adopted March 7, 2006. Page 67 outlines several objectives The Housing Program operates to meet several of the objectives that they have put in place:

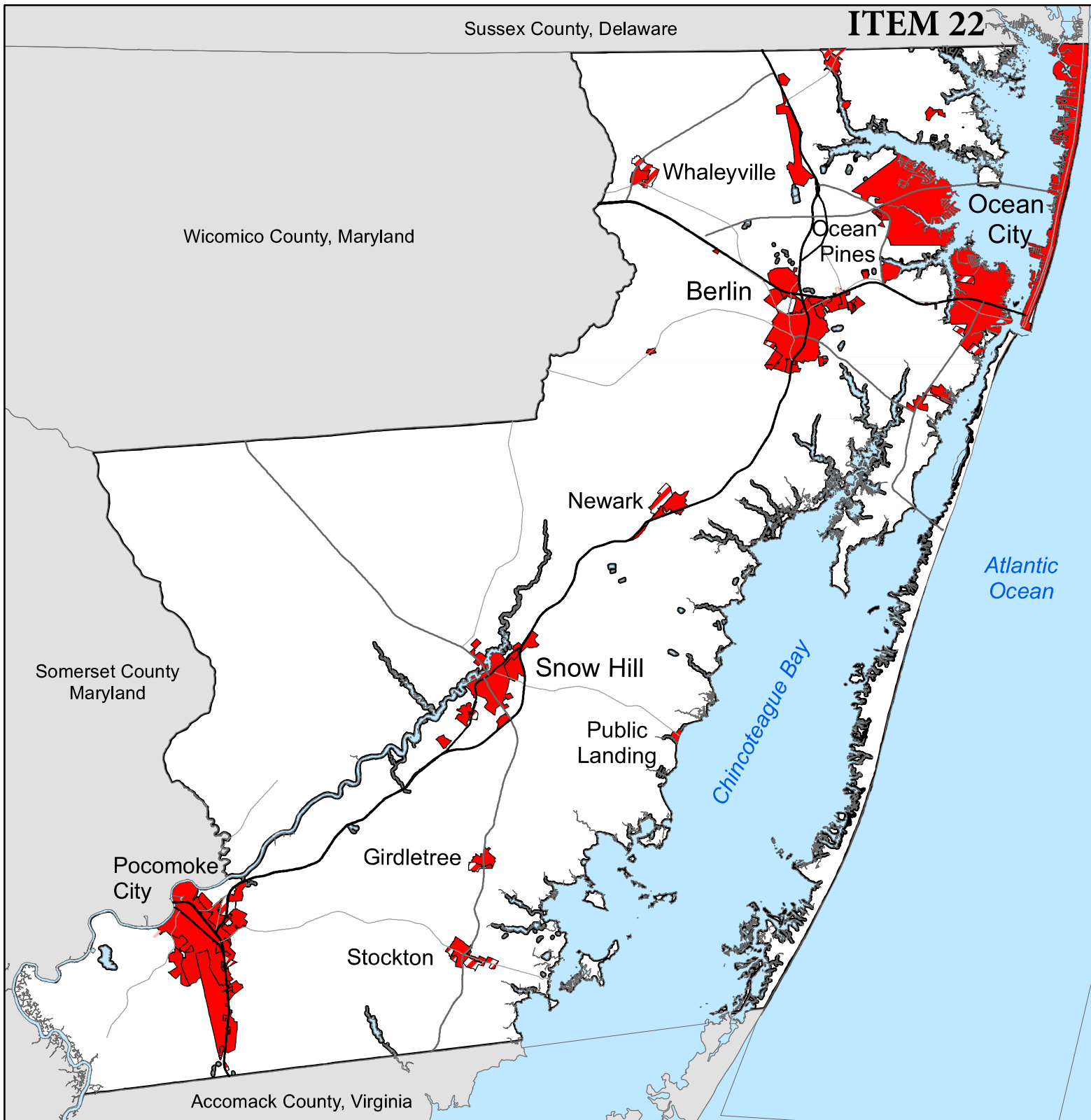
- ❖ *Provide for the continuation and stability of the county's traditionally black neighborhoods.* Over the past ten years, 72% of the homes rehabilitated through the Worcester County Housing Rehabilitation Program were owned and occupied by African American Families.
- ❖ *Housing, livability, and building codes should continue to be enforced to insure safe and adequate housing.* The Worcester County Housing Rehabilitation Program Guidelines specify that all home repairs must meet the County's standards for minimum livability code.
- ❖ *Federal and state programs should be used to help meet Worcester County's low and moderate income household's needs.* The Wor. Housing Rehabilitation program collaborates with USDA, Special Loans, and Shore-Up Community Agency. All of these programs are federal or state funded. All 338 properties rehabilitated to date are owned and occupied by families in the low to moderate income category.

Chapter five of the Worcester County Comprehensive Plan includes the following statement in its closing paragraph on page 69: "The renovation programs should be continued to address the remaining substandard homes."

Worcester County just completed its Housing Study, which is scheduled for public hearing with the County Commissioners on November 4, 2025. The study provides an assessment of housing conditions, affordability and future needs in the county. With a relatively high median age (50.7 years) and 28% aged 65 and over, there is high demand for aging in place. Data presented indicates that there are high poverty rates within communities such as Snow Hill and Pocomoke City, where one-third of mortgaged homeowners were cost burdened, and 16% of mortgage-free homeowners were cost burdened, highlighting the need for assistance with basic maintenance and repairs of owner-occupied dwellings.

We receive applications daily. These are waiting for funding:

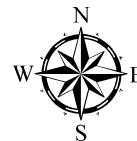
2006 Cropper Court, Pocomoke, MD 21851	9515.00/1017
617 Clarke Ave., Pocomoke, MD 21851	9515.00/5013
7121 Ayres Lane Road, Snow Hill, MD 21863	9512.00/3080
4227 Keep Court, Snow Hill, MD 21863	9513.00/1016
11821 Steam Hill Road, Whaleyville, MD 21872	9508.00/2018
10261 Harrison Road, Berlin, MD 21811	9510.00/3026
506 Maple St., Snow Hill, MD 21863	9513.00/1033
320 H 136 th St., Ocean City, MD 21842	9503.00/5038



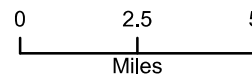
**Worcester
County**

PRIORITY FUNDING AREAS

- Priority Funding Area
- Comment Area
- Annexed but not PFA



DEPARTMENT OF DEVELOPMENT
REVIEW & PERMITTING
Technical Services Division



PART E

NATIONAL OBJECTIVE:

1. Using the attached "National Objective" chart, determine which national objective will be met by the proposed project.
2. **Next, fill out the appropriate worksheet {A, B, C, D or E}. Insert that page behind this one in your application.**
3. **In the space below, describe in narrative form how the project will meet at least ONE of the national objectives.**

1. Benefit to Low and Moderate Income Persons:

Area Benefit (LMA) 0% Determined by survey or census (Attach Survey Approval Ltr)

Housing (LMH) Single Family Multi-Family
 Financial Assistance
 Water and Sewer Connections

Limited Clientele (LMC) Presumed
 51% of clientele are persons whose family is LMI
 Nature and location conclude area is primarily LMI
 Removal of architectural barriers

Jobs (LMJ) Job Creation
 Job Retention

Total estimated# of beneficiaries 7 CDBG \$ per beneficiary \$40,000.00
 Total estimated# of LMI beneficiaries 7 CDBG \$ per LMI beneficiary 40,000.00
 % of LMI beneficiaries to total 100 %

D 2. Elimination of Slum and Blight: **D** Area Basis **D** Spot Basis

The national objective accomplished by this project is benefit to low and moderate income persons. This is a direct benefit activity as rehabilitation assistance is limited to homes occupied by low to moderate income families. Worcester County Housing Rehabilitation Program guidelines require that all applicants be of low to moderate income to receive funding. Applicants provide verification of income in the form of Social Security award letters, copies of two most recent tax returns or a verification form completed by the employer and submit copies of their two most recent bank statements. These materials are then used to complete a Part 5 income determination for each applicant.

The ranking procedures set forth in our guidelines give those applicants within the low and extremely low income categories priority when awarding grant funding. 31% of grant recipients under the MD23CD25 housing rehabilitation grant were of extremely low income 54% were low income, and 15% were low to moderate income.

NATIONAL OBJECTIVE CHART				
Nat. Objective	Subcategory	Definition	Test	Examples
Low/Moderate Income Persons	Area Benefit (LMA)	Activity benefits all residents in an area where at least 51% of the residents are LMI	<ul style="list-style-type: none"> * Census - 51% of persons residing in the service area are LMI, determined by using the most recent data provided by State for cities or towns * Survey - applicant may do a survey of residents in the service area. The results must meet statistical reliability standards and be approved by DHCD. 	<ul style="list-style-type: none"> * water and sewer lines * neighborhood facilities * roadway improvements
Low/Moderate Income Persons	Limited Clientele (LMC)	Activity that benefits a limited number of people as long as at least 51% of those served are LMI	<p>Activity must qualify under one of the following:</p> <ul style="list-style-type: none"> * Presumed Clientele - benefit to a group presumed to be principally LMI: abused children, battered spouses, elderly persons, severely disabled adults, homeless persons, illiterate adults, persons living with AIDS and migrant workers; or * Require documentation on family size and income in order to show that at least 51% of the clientele are LMI; or * Be of such a nature and in such a location that it can be concluded that clients are primarily LMI 	<ul style="list-style-type: none"> * construction of senior center * services for the homeless * meals on wheels for the elderly * construction of job training facilities for the disabled * construction of Head Start Center
Low/Moderate Income Persons	Housing Activities (LMH)	Activity that is undertaken for the purpose of providing or improving permanent residential structures which, upon completion, will be occupied by LMI persons	<ul style="list-style-type: none"> * Structures with one unit must be occupied by LMI persons * If structure contains more than 1 unit, at least 51% must be LMI occupied * 2-unit structures must have at least one unit occupied by a LMI household * Rental buildings under common ownership and management located on the same or contiguous properties may be considered as a single structure 	<ul style="list-style-type: none"> * rehabilitation of owner-occupied housing * conversion of non-residential structures into permanent housing * infrastructure for new housing
Slum/Blight	Area Basis (SMA)	Activity that aids in the prevention or elimination of slums or blight in a designated area	<ul style="list-style-type: none"> * Delineated area in which the activity occurs must meet definition of slum, blighted, deteriorated or deteriorating area under state or local law; and * Substantial number of deteriorated or deteriorating buildings or public improvements in the area, and the activity must address one or more of the conditions which contributed to the deterioration of the area; and * Documentation must be maintained by recipient on the boundaries of the area and the conditions that qualified the area at the time of its designation 	<ul style="list-style-type: none"> * public facilities or improvements * elimination of safety hazards
Slum/Blight	Spot Basis (SBS)	Activity that eliminates specific conditions of blight or physical decay on a spot basis not located in a slum or blighted area	<ul style="list-style-type: none"> * Only acquisition, clearance, relocation, historic preservation and building rehabilitation activities qualify for this national objective * Rehabilitation is limited to the extent necessary to eliminate a specific condition detrimental to public health and safety <p>NOTE: Must demonstrate code enforcement actions taken by the local government</p>	<ul style="list-style-type: none"> * elimination of damaged retaining wall creating danger for pedestrians * demolition of vacant, deteriorating building
Low/Moderate Income Persons	Jobs (LMJ)	Activity that results in the creation and/or retention of jobs	<ul style="list-style-type: none"> * At least 51% of jobs must be taken by LMI persons * At least 51% of jobs must be retained by LMI persons * Permanent, full-time jobs only • LMI status is determined by income of the family 	<ul style="list-style-type: none"> * acquisition of land to construct a distribution center * extension of water and sewer service to land to be developed for a business(s) * acquisition of equipment

**Worksheet C
Housing (LMH)**

If you have determined that the proposed project will meet the national objective of benefit to low and moderate income (LMI) by providing, constructing or improving permanent residential housing, please fill out this form and attach it to Part E of your application.

1. **Estimated** Total Beneficiaries *Count* 7 *Units AND* 14 *Persons*

2. For new construction, acquisition and/or renovation of rental units, how many units will be made available to rent? N/A Of these, how many are to be occupied by LMI persons?

3. For new construction, acquisition and/or renovation of homeownership units, how many units will be made available to sell? N / A Of these, how many are to be occupied by LMI persons?

4. For housing rehabilitation, how many total units will be rehabilitated? 6

5. For housing rehabilitation, how many total units will receive emergency repairs? 1

6. If we provide financial assistance to homebuyers, how many homebuyers will be assisted? N/A

7. Will requested funds for new housing be targeted to an area of minority concentration or a specific geographical area? **Y** **N** If yes, provide specific explanation of why this area was targeted.

8. Will program income be generated by this activity? **Y** **N**
If yes, provide Re-Use Plan as an attachment to this application. Previously approved Re-Use Plans will not be accepted

SEE ATTACHED

PART F							
SOURCES AND USES OF FUNDS: List each specific project activity separately (<i>please break down the costs as far as possible</i>). Type In the actual sources of other funding. Indicate whether funds are "L" for loan or "G" for grant. INDICATE STATUS OF FUNDS using "P" for pending, "C" for committed, "R" for received, "N" for no action. Attach commitment letters and cost estimates directly behind this page of the application. For administrative costs, indicate what portion of local contribution is cash and what portion is in-kind.							
THE APPLICANT IS THE JURISDICTION. ALL PROJECTS MUST INCLUDE ADMINISTRATIVE COSTS FOR THE APPLICANT.							
ACTIVITY	SOURCES OF FUNDS					TOTALS BY ACTIVITY	STATUS
	CDBG	APPLICANT	MHRP/IPP/AHSP	MAHT	SHORE UP		
County-wide Housing Rehabilitation	\$235,000.00		\$125,000.00	\$300,000.00	\$15,000.00	\$675,000.00	P C
Emergency Repairs (Well & Septic)	\$40,000.00					\$40,000.00	P
Relocation	\$5,000.00					\$5,000.00	P
Project Admin. (Cash)	\$20,000.00	\$25,000.00				\$45,000.00	C
Project Admin. (In-Kind)							
General Admin. (Cash)							
General Admin. (In-Kind)		\$45,000.00				\$45,000.00	
TOTALS BY SOURCES OF FUNDS	\$300,000.00	\$70,000.00	\$125,000.00	\$300,000.00	\$15,000.00	\$810,000.00	

PART G			
<p>STAFFING AND PROJECT MANAGEMENT: This section will discuss the capacity of the applicant to administer the project and how CDBG funds will be used for project administration costs. Project costs for engineering, architectural services and inspections are to be identified as separate line items in Part F.</p>			
<p>1. Identify the primary person for the <i>jurisdiction</i> who will administer this project. Discuss their experience with CDBG regulations and requirements as well as past grant and project implementation.</p> <p> Davida T. Washington is the Housing Rehabilitation Coordinator and has been the coordinator for the last three cycles: MD20CD22, MD23CD25, and MD25CD29</p>			
<p>2. Identify others who will assist in the administration of this CDBG project.</p> <p> The program inspector will assist her with the inspections and assessing the needs for each project.</p>			
<p>3. Amount of funds requested for Project Administration, if any: \$20,000.00</p>			
<p>4. If Project Administration funds requested for staffing, please identify the following:</p>			
Person	# Hours Anticipated to Work on Project	Hourly Wage	Total Funds
Program Inspector	50 initial inspections	\$350 each	\$17,500
Program Inspector	22 final inspections	\$275 each	\$6,050
Program Inspector	35 Scope of work and cost estimates	\$175 each	\$6,125
Program Inspector	33 site meetings/ progress inspections	\$175 each	\$5,775
Program Inspector	4 Review Board Presentations	\$175 each	\$700
<p>5. If planning to use Project Administration funds for other expenses other than staffing, identify those expenses and estimated costs.</p>			
Expenses		Estimated Costs	
Pest Assessment		\$3,000.00	

PARTH

PROJECT SCHEDULE: Using the anticipated month of grant award as the start of the activities, list all project activities and the anticipated dates for the start and end of specific activities. A CDBG grant agreement provides a 24-month Implementation period so all activities to be paid for with CDBG funds must occur within this timeframe. If an activity is completed prior to application or award, indicate the actual dates.

EXAMPLE: For a Community Development application, CDBG funds are being requested for site acquisition and construction. The applicant provided the following schedule:

<u>Activity</u>	<u>Begin</u>	<u>Completion</u>
Grant Award	December 15, 2025	
Environmental Review	December 16, 2025	February 28, 2026
Preliminary Engineering	Completed	
Site Acquisition	March	
Bidding & Selection Engineering	April	
Meeting 180 Day Expenditure Requirement	June 13, 2026	
Engineering	July	
Bidding & Selection Construction	November	
Construction		

NOTE: An *Environmental Review* is the first step for every funded grant after award date

	<u>BEGIN</u>	<u>COMPLETION</u>	<u>RESPONSIBLE PERSON</u>
GRANT AWARD	December 15, 2025		Housing Coordinator
ENVIRONMENTAL REVIEW	December 16, 2025	February 28, 2026	Housing Coordinator
Bid & Award 4 House Rehab Contracts	March, 2026	April, 2026	Housing Coordinator
Rehabilitation Work	May, 2026	July, 2026	Program Inspector
Finalize 3 Write Ups/Estimations	May, 2026	July, 2026	Program Inspector
Meeting 180 Day Expenditure Requirement	July, 2026	July, 2026	Housing Coordinator
Bid & Award 3 House Rehab Contracts	August, 2026	September, 2026	Housing Coordinator
Complete Construction	September 2026	November, 2026	Housing Coordinator and Program Inspector

PART I

DAVIS BACON/ BUILD AMERICA BUY AMERICA:

1. Do Davis-Bacon wage rates apply to the project? Y N

If yes, do cost estimates reflect the use of Davis-Bacon rates? Yes No

2. Discuss Davis-Bacon rates and their impact on the project.

3. Explain how you calculated the rates into your cost estimates.

4. Explain how you factored in Build America Buy America requirements for iron and steel and listed construction materials, if applicable.

BABA does NOT apply to housing rehabilitation or renovation projects if the total cost of the work per house is \$250,000 or less.

PART J					
ACQUISITION/ RELOCATION:					
1. Has site control been secured? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, explain how:					
2. Has an option been secured? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, explain how:					
3. Estimated cost of acquisition: \$N/A			4. Sources of funds for acquisition:		
5. Number of parcels to be acquired: Residential: --0 Business --0			6. Will acquisition be done with eminent domain if needed? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N		
7. Is acquisition of easements required? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, did applicant include costs associated with the Uniform Act? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
8. Has anyone been forced to move from the site within the three months prior to the initial application for funds? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If yes, explain:					
9. Estimated cost of relocation: \$5,000.00			10. Sources of funds for relocation:		
# Units in Property(s) <u>7</u>	Number of Units Occupied at time of anolication		Number of Occupants to be Displaced	Number of Occuoants to Remain	
	Owner	Tenant		Total	Temporarily Relocated
Residential	7				
Business					
10. Do the activities of this project trigger the one-for-one replacement housing requirements? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, discuss how you plan to meet these requirements.					
11. If property is to be leased, describe lease terms.					

PART K

FAIR HOUSING/EQUAL OPPORTUNITY: Applicants certify that a grant will be conducted and administered in conformity with applicable federal fair housing and equal opportunity laws and regulations. Complete the following to show what steps have been taken by the jurisdiction in these areas in recent years.

1. Does the jurisdiction have written employment and personnel policies and practices with equal opportunity guidelines? Y N

2. In the past three years, have any complaints of discrimination in employment been filed against the jurisdiction by employees regarding employment? Yes No If yes, please explain:

3. Has the jurisdiction adopted a fair housing ordinance? Y N

4. Has the jurisdiction taken any actions to affirmatively further fair housing through activities such as land development, zoning, site selection policies or programming or needs assessment? Y N If yes, please describe:

The Worcester County Commissioners commissioned an assessment of the housing needs of low to moderate income families from Beacon of Salisbury University. Results of the study were used to develop the Housing section of the County's Comprehensive Plan. The County's Fair Housing Plan outlines the County's policy of supporting equal housing opportunities. Implementation of the housing rehabilitation program and local administration of the Special Loans Program attest to the County's commitment to quality housing.

5. Are there fair housing advocates or agencies that work in your county? If yes, who are they? Have they informed you of either public or private issues or complaints regarding discrimination?

The Shore Housing Resource Board promotes fair housing in the tri-county area. No discrimination complaints have been reported in Worcester County.

6. Are all buildings owned or occupied by the jurisdiction that are open to the public in compliance with the Americans with Disabilities Act? If not, which ones, and what are the plans to bring them into compliance?

PART L

ENVIRONMENTAL IMPACT: Complete the following information related to your overall project to the best of your knowledge. Provide copies of letters or other information received to date from state and/or federal agencies about these issues related to your project. Schedule and budget should account for any mitigation or corrective actions to be taken.

1. Will your project involve the renovation of a building that is at least 50 years old or is located in a national historic register district? Y No
2. Will your project involve or impact an archaeological site? Y No
3. Will your project impact any wildlife that is threatened or endangered? Y No
4. Will your project involve the abatement or removal of asbestos from a building?
 Yes No
5. Will your project involve the abatement or removal of lead-based paint from a building?
 Yes No
6. Is your project new construction? Yes No

If you answered YES, is the proposed project located in any of the following:

D Special Flood Hazard Area - an area that is lower than the base flood elevation level and has special flood or mudflow, and/or flood related erosion hazard

0 100 Year Floodplain- an area that has a 1 in 100 or 1% probability of a flood event occurring in a given year

0 Regulatory Floodway - an area beside a river or other watercourse that has certain restrictions placed on it related to discharging moving floodwaters downstream

0 Coastal High Hazard Area - an area along the coast subject to high velocity wave action from storms or seismic sources

0 500 Year Floodplain - an area that has a 1 in 500 or .02% probability of a flood event occurring in a given year

0 Non-Special Flood Hazard Area - an area that has a moderate to low risk of flooding

Comments:

PARTM

PROCUREMENT: All procurement must comply with the requirements and processes identified in the **CDBG** Financial and Procurement Manual.

REMINDER - For existing contractual agreements with an engineering firm, the applicant must be able to demonstrate that they hired the specific firm through a competitive process AND that the contract was for no more than a three year period with an option to extend twice for one year periods for a total of five years. Additionally, the contract must have identified all potential projects to be undertaken during the three to five year period including the one included in this application.

1. Will your project use CDBG funds for professional services? Yes No If yes, is it for new services? Yes No
If yes, will services be under a new contract? Yes No
If no, please explain:

2. Will your project use CDBG funds for construction? Yes No
3. If yes, will construction be under a new contract(s)? Yes No

If no, is it for a change order? Yes No If the answer is yes, please contact CDBG staff to discuss further.

STATEMENT OF ASSURANCES AND CERTIFICATIONS

The applicant hereby assures and certifies that it:

1. has adopted and maintains a written Citizen Participation Plan in accordance with the citizen participation requirements for the Community Development Block Grant (CDBG) Program at the Code of Federal Regulations 24 Part 570.486; and
2. held a public hearing and provided appropriate notice to ensure participation of citizens in the development the project and of this application for CDBG funding; and
3. assures that all reasonable steps have been taken to minimize the displacement of persons as a result of CDBG assisted activities identified in this application; and
4. in the event that our project does trigger displacement of persons, we will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended, and implementing regulations at 49CFR Part 24 and it has in effect and is following a Residential Anti-Displacement and Relocation Assistance Plan required under Section 104(d) of the Housing and Community Development Act of 1974, 42 U.S.C. § 5304(d), as amended, in connection with any activity assisted with funding under the CDBG Program; and
5. will not attempt to recover any capital costs of public improvements assisted with CDBG funds, by assessing any amount against properties owned and occupied by persons of low and moderate income, including any fee charged or assessment made as a condition of obtaining access to such public improvements. However, if CDBG funds are used to pay the proportion of a fee or assessment attributable to the capital costs of public improvements (assisted in part with CDBG funds) financed from other revenue sources, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than with CDBG funds. In addition, with respect to properties owned and occupied by moderate-income (but not low-income) families, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG funds if the State certifies that it lacks CDBG funds to cover the assessment; and
6. will conduct and administer grant in conformity with title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d) and the Fair Housing Act (42 U.S.C. 3601-3619) and implementing regulations and agrees to take action to affirmatively further fair housing; and
7. has adopted and is enforcing or will adopt if a new applicants:
 - a) a policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and
 - b) a policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location that is the subject of such non-violent civil rights demonstrations within its jurisdiction.
8. will certify, to the best of the certifying official's knowledge and belief, that:
 - a) no Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a

Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement; and

- b) if any funds other than Federal funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress with this Federal contract, grant, loan or cooperative agreement, it will complete and submit Standard Form- LLL, Disclosure Form to Report lobbying in accordance with its instructions; and
 - c) it will require that the language of paragraphs (a) and (b) of this certification be included in the award documents for all sub-awards at all tiers (including subcontracts, subgrants and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.
9. will adhere to federal and state Code of Conduct or Conflict of Interest standards relative to conflict of interest restrictions and financial disclosure requirements for local elected officials and candidates; and
 10. will prevent fraud, waste and abuse of federal funds and ensure that funds are expended on activities that are reasonable and necessary;
 11. will comply with the requirements of the Build America, Buy America Act which was included in the federal Infrastructure Investment and Jobs Act which was signed into law on November 15, 2021;
 12. will comply with the requirements of the Right to Report Crime and Emergencies from One's Home which was included in the Violence Against Women Act Reauthorization Act of 2022;
 13. will comply with the provisions of Title I of the Housing and Community Development Act of 1974, 42 U.S.C. § 5301 et seq., as amended, Title 24 CFR Part 570, and with other applicable State and Federal laws if awarded this grant; and
 14. will ensure that, if applicable, any subrecipient, developer or business will comply with all regulations, policies and laws that govern this grant.

I declare that I am duly authorized to make these certifications on behalf of the applicant and certify that the above actions have or will be taken.

Theodore J. Elder
Typed Name and Title
Chief Elected Official

Signature

10/21/2025
Date

RESOLUTION NO. 25-____

**RESOLUTION AUTHORIZING THE FILING OF A CDBG APPLICATION
TO FUND A HOUSING REHABILITATION PROGRAM IN WORCESTER COUNTY IN SFY26**

WHEREAS, the State of Maryland through the Department of Housing and Community Development (DHCD) has solicited applications from eligible jurisdictions to apply for funding under the Maryland Community Development Block Grant Program (CDBG); and

WHEREAS, Worcester County is eligible to apply for funds from the Maryland CDBG program through the Maryland Department of Housing and Community Development; and

WHEREAS, the Worcester County Commissioners have held the required public hearing(s) related to the formulation of Worcester County's Block Grant Application; and

WHEREAS, the Worcester County Commissioners understand and acknowledge that they would be responsible for completion of grant activities and any corrective actions including the repayment of funds if necessary;

NOW, THEREFORE, BE IT RESOLVED, that the Worcester County Commissioners authorize the submittal of an application for Community Development Block Grant funds in the amount of \$300,000 this 21st day of October 2025, for the following project: County-wide Owner-Occupied Housing Rehabilitation Program

BE IT FURTHER RESOLVED, that Commissioner President Theodore J. Elder is authorized and empowered to execute any and all documents required for the submission of the application.

PASSED AND ADOPTED this 21st day of October 2025.

RESOLUTION NO. 25-____

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TO FUND A HOUSING REHABILITATION PROGRAM IN WORCESTER COUNTY IN SFY26**

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PASSED AND ADOPTED this 21st day of October 2025.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL:410.632.1200 / FAX: 410.632.3008

<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

TO: Weston S. Young, Chief Administrative Officer
FROM: Jennifer K. Keener, AICP, Director
DATE: October 14, 2025
RE: Comprehensive Plan Joint Work Session

Topic: Water Resources Element review

Background: This chapter was informed with direct input from Environmental Programs, describing our current water supply and wastewater capacity, with projected demand on services based upon the preliminary growth areas recommended by the Planning Commission in spring 2025.

Action requested: Feedback on the draft chapters.

Please note that any chapter language and maps are still in draft format and may be modified before the final draft plan is consolidated.

The public may view and comment upon any of the working draft chapters from our website:

<https://www.co.worcester.md.us/comprehensive-plan>

9. WATER RESOURCES

Introduction

The Water Resources Element (WRE) articulates the County’s policy framework for sustaining public drinking water supplies and protecting the County’s waterways and riparian ecosystems by effectively managing point and nonpoint source water pollution.

Worcester County intends to meet its requirements under Maryland’s stormwater regulations with continued support in developing restoration work plans and implementing water quality best management practices (BMPs) to address the impacts of stormwater runoff and nutrient loadings. This chapter aligns with the State of Maryland’s Eight Sustainable Growth Planning Principles concerning growth areas, infrastructure, and sustainability.

This chapter identifies opportunities to manage existing water supplies, wastewater effluent, and stormwater runoff, in a way that balances the needs of the natural environment with the County’s projected growth. In this way, the WRE creates a framework to protect the local and regional ecosystems while ensuring clean and adequate drinking water for future generations of Worcester County residents. Climate change, including sea-level rise, stronger storms, and prolonged droughts, poses new challenges for water supply reliability and watershed health. Accordingly, the WRE is designed to serve not only as a regulatory compliance tool but also as a proactive resilience strategy to safeguard the County’s communities and resources.

Goals and Objectives

The goal of the WRE is to preserve and protect the County’s existing water resources for their ecological value and importance to the water supply, while also addressing the impacts of future growth. Objectives include providing adequate public services, protecting drinking water supplies, preserving ecological functions, accommodating growth through compact patterns, and ensuring that future development minimizes disruption to environmental resources.

To strengthen accountability, the County will establish measurable objectives which are listed below:

1. Provide Adequate Public Services

Water Supply and Infrastructure Resilience

- *Action Item 9.1.1:* Reduce unaccounted water loss to below 10% of system withdrawals by 2030.
- *Action Item 9.1.2:* Update design standards for water and wastewater infrastructure to account for increased flood frequency and intensity.
- *Action Item 9.1.3:* Require siting of new wells, pumping stations, and treatment facilities outside of FEMA 100-year and 500-year floodplains where feasible.
- *Action Item 9.1.4:* Require abandonment of private wells in areas with new public service connections.
- *Action Item 9.1.5:* Requiring annual monitoring and public reporting of water and wastewater performance.

Wastewater Services

9. WATER RESOURCES

- *Action Item 9.1.6:* All new private systems up to 50,000 GPD must incorporate enhanced nutrient removal technology.
- *Action Item 9.1.7:* Spray irrigation sites will undergo performance monitoring to confirm nutrient uptake effectiveness.
- *Action Item 9.1.8:* No new surface water discharges will be approved in sensitive and impaired watersheds.
- *Action Item 9.1.9:* Worcester County will develop a nutrient trading framework for agricultural, municipal, and development sectors.
- *Action Item 9.1.10:* Worcester County will adopt a goal of reducing septic nitrogen loads by 20% by 2035.
- *Action Item 9.1.11:* All Critical Area septic systems must be upgraded to BAT (Best Available Technology) by 2030.
- *Action Item 9.1.12:* The County will incentivize cluster and shared BAT systems for dispersed rural lots.

2. Protect Drinking Water Supplies

Contaminant Monitoring & Response

- *Action Item 9.2.1:* Monitor and address emerging contaminants such as PFAS and microplastics.
- *Action Item 9.2.2:* Establish a County-wide program to test public water systems and representative private wells for PFAS and other emerging contaminants.
- *Action Item 9.2.3:* Coordinate with MDE, USGS, and EPA to establish clear action thresholds for PFAS.
- *Action Item 9.2.4:* Incorporate PFAS monitoring results into water appropriation permitting and Water and Sewer Plan amendments.

Aquifer Protection

- *Action Item 9.2.5:* Monitor aquifer water levels for saltwater intrusion risks tied to sea-level rise, especially in the Pocomoke and Ocean City aquifers.
- *Action Item 9.2.6:* Prioritize monitoring in the Pocomoke aquifer area due to chloride risks.
- *Action Item 9.2.7:* Adopt wellhead protection ordinances for Pleistocene aquifer-dependent systems.

3. Preserve Ecological Functions

Groundwater & Land Use Decisions

- *Action Item 9.3.1:* Connect land use policies with groundwater recharge requirements.
- *Action Item 9.3.2:* Prioritize low-impact land development practices that maintain natural infiltration.

Stormwater and Non-Point Source Pollution

- *Action Item 9.3.4:* Require all new development greater than one acre to implement green infrastructure BMPs (e.g., bioretention, permeable pavement, green roofs).



9. WATER RESOURCES

- *Action Item 9.3.5:* Establish a retrofit program with a goal of converting at least 25% of existing stormwater facilities to enhanced BMPs by 2035.
- *Action Item 9.3.6:* Create a stormwater utility fee to fund retrofits and long-term maintenance.
- *Action Item 9.3.7:* Developers must meet nutrient reduction standards through on-site BMPs or participation in nutrient trading.

4. Accommodate Growth Through Compact Patterns

Growth and Infrastructure Coordination

- *Action Item 9.4.1:* Expand use of water conservation technologies in new developments.
- *Action Item 9.4.2:* Ensure that land use decisions and infrastructure planning support compact development and reduce strain on ecological systems.

5. Ensure that Future Development Minimizes Disruption to Environmental Resources

Unified Approach to Environmental Stewardship

- *Action Item 9.5.1:* Integrate climate resilience throughout the water management framework.
- *Action Item 9.5.2:* Establish measurable targets for nutrient reduction, water conservation, and infrastructure resilience.

Water Supply – Current Conditions and Groundwater

Worcester County's water supply relies entirely on groundwater resources, primarily from four aquifers: the Pleistocene, Pocomoke, Ocean City, and Manokin. Studies have shown both the productivity of these aquifers and their vulnerability to saltwater intrusion and over-pumping. While older reports provide a foundation, more recent USGS and MDE data will be incorporated into ongoing assessments to ensure planning decisions reflect current conditions. Development proposals in sensitive recharge areas must demonstrate no-net-loss of infiltration capacity, and future planning will emphasize cross-jurisdictional coordination with Delaware for aquifers shared across state lines.

Available Groundwater Resources

According to the State of Maryland, Department of Geology, *Mines and Water Resources Bulletin 16*, 1955, "The quantity of groundwater in the sedimentary deposits of Somerset, Wicomico, and Worcester Counties is estimated at 600,000 billion gallons."¹ Much of this water cannot be recovered because it exists in clay formations or at depths down to 8,000 feet and much is highly mineralized, which limits its uses.

As *Bulletin 16* states, "Of greater importance than the quantity of water stored in the sediments is the quantity of groundwater recharge by infiltration from rainfall and from bodies of surface water." The importance of aquifer recharge is obvious when wells are impacted by drought or saltwater intrusion

¹ http://www.mgs.md.gov/publications/report_pages/BULL_16.html

9. WATER RESOURCES

due to over-pumping. Reclaiming, reusing, and returning groundwater to the aquifer source is the best way to protect and preserve the water resources locally.

In 2016, the United States Geological Survey (USGS) published a report documenting a regional assessment of groundwater availability in the Northern Atlantic Coastal Plain Aquifer System that identified the amount, location, and character of groundwater supply sources to help Coastal Plain counties facilitate sound management of these sources.² The report noted that due to population increases and changes in land use the water levels in many of the confined aquifers are decreasing by as much as two feet per year. The report emphasizes the need to balance the water withdraw with the aquifer recharge and the potential effects of long-term climate change on changes in aquifer recharge and in sea-level rise.

General Hydrology

Worcester County lies within the Atlantic Coastal Plain Physiographic Province. This province includes roughly the area east of Interstate 95 in Maryland. It is underlain by unconsolidated elastic sediments of Lower Cretaceous to recent age, which thicken to the southeast so that they appear wedge-shaped. The thickness of these sediments is greater than 8,500 feet beneath the Atlantic shore. There are five small community water systems that pump water from the Quaternary sediments, an unconfined aquifer. This aquifer has been studied considerably, and hydrologic, lithologic, and geochemical data is available in several Maryland Geological Survey reports (1955, 1972, 1974, 1982, 2013 and 2018)

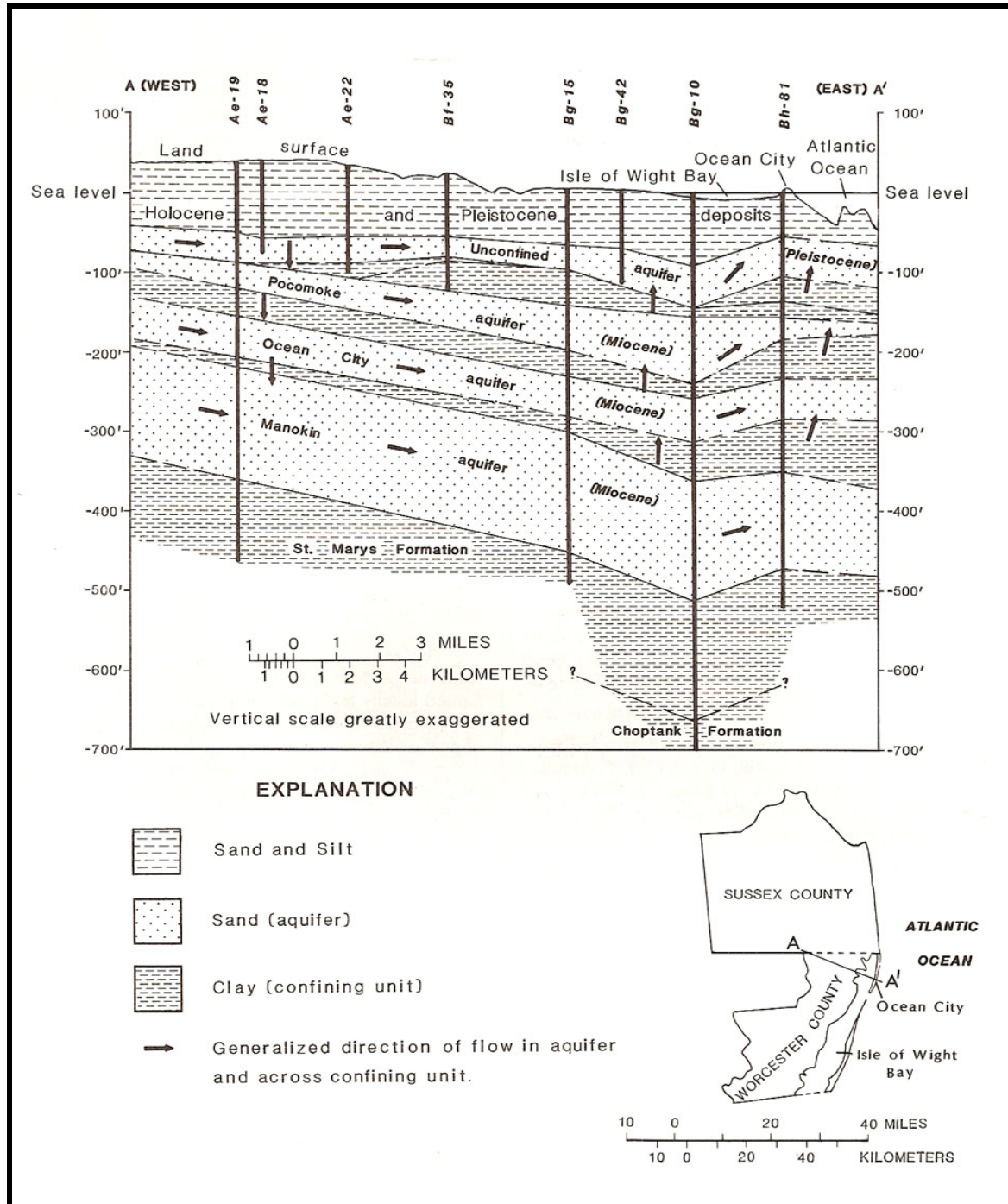
The County has four main sand and gravel aquifers that yield substantial quantities of groundwater. The four aquifers used in Worcester County, in order of increasing depth, are the Pleistocene, Pocomoke, Ocean City, and Manokin Aquifers.

Figure 9-1 shows a cross section of these aquifers in northern Worcester County. **Figure 9-2** shows the areas of the County where the principal aquifers, Pleistocene, Pocomoke, and Manokin Aquifers, are used, and **Table 9-1** lists the aquifer nomenclature-depths, thickness, and soil characteristics. A brief explanation of each aquifer follows.

² <https://pubs.usgs.gov/publication/pp1829>

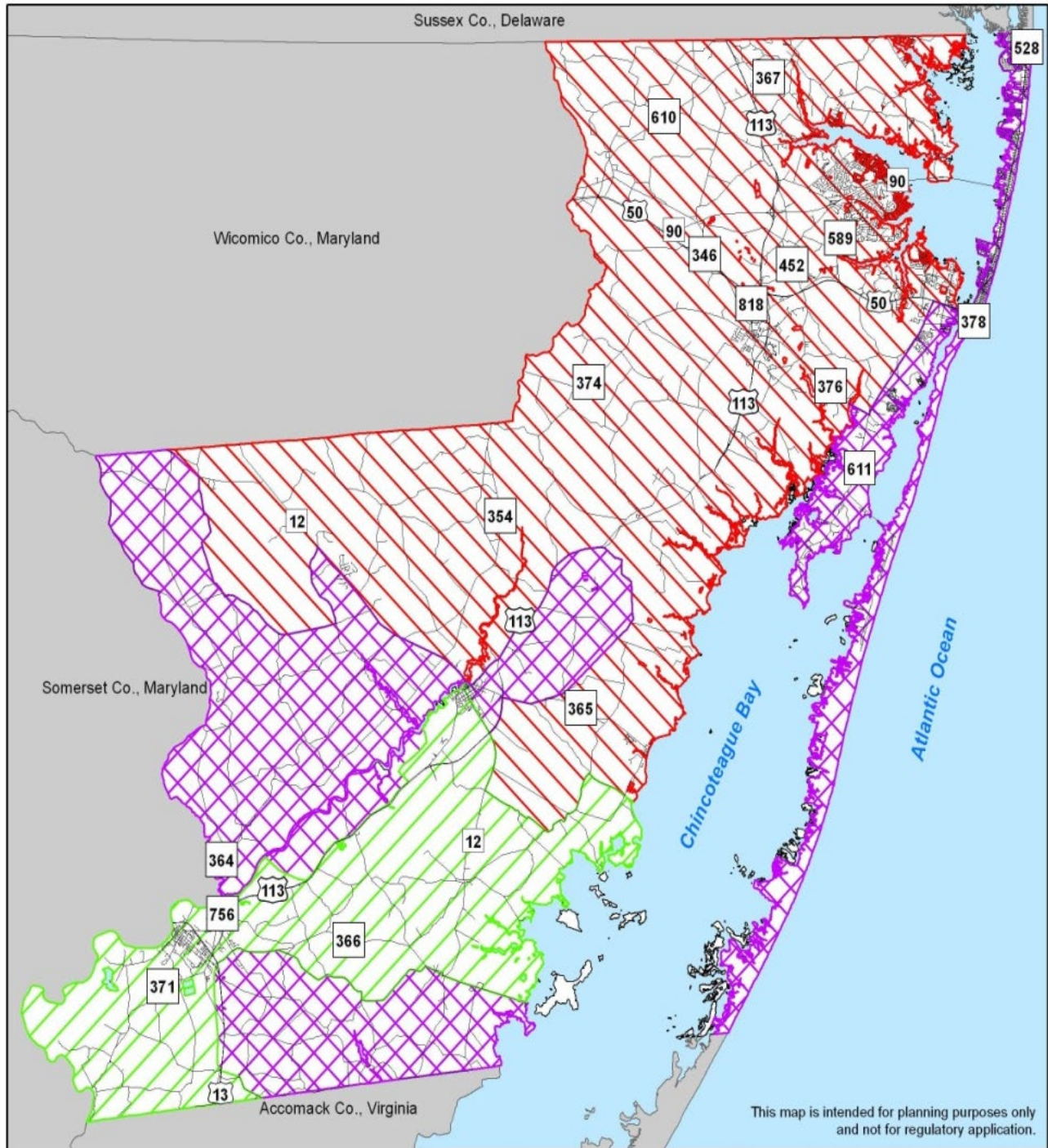
9. WATER RESOURCES

Figure 9-1. Cross Section of Aquifers in Northern Worcester County, Maryland.



9. WATER RESOURCES

Figure 9-2. Principal Aquifers in Worcester County, Maryland



9. WATER RESOURCES

Table 9-1. Coastal Plain Stratigraphic Nomenclature and Aquifers of the Eastern Shore of Maryland

System	Series (Group)	Geologic Unit		Thickness (feet)	Hydrogeologic Unit(s)	Dominant Lithologic Character
Quaternary & Tertiary	Holocene	Holocene deposits		0 – 40	-----	Soil, alluvial sand and silt, dune sand, and peat. Disconformable base.
	Pleistocene & Pliocene (Columbia Group)	Shoreline complex		0 – 230	Columbia Aquifer	Lenticular deposits of sand, silt, clay, and peat. Some beds of coarse sand and fine gravel. Tan; some gray and blue clay.
		Salisbury Formation	Beaverdam Fm. and Pensauken Fm. of Owens and Denny (1979)			Beaverdam Sand: Light gray to light tan, fine to coarse grained, moderately sorted, feldspathic sand. Pensauken Formation: Light tan to orange tan, medium to coarse grained, moderately to poorly sorted, pebbly feldspathic sand.
Tertiary	Miocene (Chesapeake Group)	Upper Miocene Aquifer Complex		0 – 50	Upper confining bed	Lenticular silts, clays, and fine sands. Green-blue silt and fine gray sand most common, but occasionally includes blue-green pebbly clay.
				0 – 80	Pocomoke Aquifer	Sand, gray or tan-gray; coarse and pebbly generally, but locally fine.
		[Yorktown and Cohansey Formations of Rasmussen and Slaughter (1955)]		0 – 85	Lover confining bed	Blue and gray clayey silt and sand; some peat. Some beds of shell and calcite and/or limestone.
					Ocean City Aquifer	Coarse gray sand, fine gravel.
		0 – 240	Manokin Aquifer	Fine to very coarse gray sand, and some lignite or peat. Some silty sand and clay. Occasional beds of shell and/or “rock”.		
		0 – 190	Confining layer	Gray fossiliferous clay, silt, fine sand, and silty and sandy clay.		
		0 – 240	Frederica Aquifer and confining layer	Gray fine sand. Thin Beds of shell and calcite. Green or brown clay and fine sand. Thin beds of shell and calcite or limestone.		

9. WATER RESOURCES

The Pleistocene Aquifer

In many areas of the County, adequate quantities of groundwater can be obtained within the upper 100 feet of land surface from the Pleistocene Aquifer. The aquifer is very productive and is the most used; however, the deeper confined aquifers are becoming more utilized now. The Town of Berlin and the Ocean Pines community both utilize this aquifer, along with many smaller public water systems and hundreds of private wells. Agricultural wells are usually limited to this aquifer as well. This aquifer is generally considered to be unconfined, although in many areas it is partially confined by shallow silty clay layers. It receives recharge by local precipitation and is vulnerable to surface contamination and saltwater intrusion.

This aquifer is also referred to as the Columbia Aquifer or Quaternary Aquifer in MGS reports. The Quaternary sediments are mostly surficial, of fluvial and estuarine origin and are composed predominantly of sand and gravel with some layers of silty clay and clay. The aquifer functions as a water-table aquifer. Its thickness ranges from a few feet to 220 feet, with the thickest layers located in the northeast and southeast parts of the County. In general, the regional movement of groundwater is from areas with a high-water table, corresponding to topographic highs, towards streams and the Chesapeake Bay and the Atlantic Ocean. In areas with high water tables, there may be hydraulic connections with underlying aquifers, and water may move downward to recharge these underlying aquifers. Aquifer tests conducted on Quaternary sediments indicate that transmissivity ranges from 100 to 50,000 ft²/day.

The Pocomoke Aquifer

The Pocomoke Aquifer is present in the southeastern two-thirds of Somerset County and most of Worcester County. The aquifer pinches out up dip in northeastern Worcester County. The altitude of the top of the Pocomoke aquifer decreases from its sub crop area to about 200 ft below sea level beneath Ocean City in Worcester County, Maryland. The Pocomoke Aquifer is composed of individual sands 10 to 20 ft thick, which cumulatively reach a maximum thickness of over 100 ft at Ocean City.³ Transmissivity of the Pocomoke aquifer calculated at three sites in Worcester County ranges from 1,070 ft²/d at Pocomoke City to 9,170 ft²/d near Ocean City. A belt of above-average transmissivity extends northeastward from Newark, Maryland to Isle of Wight Bay, near Ocean City.

The Ocean City Aquifer

The Ocean City Aquifer is present in Maryland in the eastern half of Worcester County and the easternmost portion of Wicomico County. The altitude of the top of the Ocean City aquifer ranges from about 150 ft below sea level in northern Worcester County near the Wicomico County boundary, to 254 ft below sea level south of Ocean City. The aquifer pinches out up dip in eastern Wicomico County. The aquifer ranges from about 30 to 110 ft thick and dips at about 10 ft/mi. The aquifer is thickest in the Town of Ocean City. Transmissivity of the Ocean City aquifer calculated at eight sites in Worcester County ranges from 670 to 5,500 ft²/d. The most transmissive portion of the aquifer occurs in the fine to coarse sands that dominate the section in the southern portion of the Town of Ocean City.

³ http://www.mgs.md.gov/groundwater/coastal_plain_aquifers_mobile.html



9. WATER RESOURCES

The Manokin Aquifer

The Manokin aquifer is present in Maryland in Wicomico, Worcester and Somerset Counties. The altitude of the top of the aquifer decreases from its sub crop area in the western portion of Wicomico County to approximately 370 feet below sea level at Ocean City and southeastern Worcester County. Individual sands within the Manokin aquifer average 10 to 20 ft thick, with the greatest cumulative thickness reaching 195 feet in Worcester County. The aquifer generally dips to the southeast at about 5 to 10 ft/mi. Transmissivity of the Manokin aquifer ranges from 480 to 14,800 ft²/d. At Salisbury, transmissivity is as high as 7,440 ft²/d. Storage coefficient ranges from 2 x 10⁻⁴ to 1 x 10⁻³. As described above, the County’s sole source of potable water is withdrawn from four aquifers.

The Pleistocene Aquifer is the most commonly used; however, the deeper confined Manokin and Pocomoke Aquifers, as shown in **Figure 9-3**, supply potable water to the southern and far eastern and central western parts of the County. The deeper aquifers are confined (artesian) aquifers, except for the Pocomoke Aquifer in a small area of Bishopville. The recharge areas for these aquifers may be several miles away. These aquifers are less susceptible to surface contamination but more impacted by over-pumping. Ocean City, Snow Hill, and Pocomoke utilize these aquifers, along with many smaller public systems and private wells. Combined, these aquifers have supplied and are likely to continue to supply an adequate amount of water to users in the County. In the following discussion, the *Groundwater Protection Report* is summarized.

Water Supply Infrastructure

Table 9-2. Non-transient Water Systems by Use

Use	Transient, Non-Community	Non-Transient, Non-Community
Mobile Home Parks	4	2
Golf Courses	8	0
Commercial Centers	4	9
Hotel/Motel	5	2
Racetracks	0	1
Campgrounds	8	2
Industrial	4	1
Daycare/schools	2	7
Offices	3	2
Restaurants	33	0
Parks and Recreation	<u>17</u>	<u>0</u>
TOTAL	88	26

Source: Worcester County Department of Environmental Programs, August 2025.

The County provides water service to approximately 16,900 customers through 16 supply wells and multiple treatment facilities, with Ocean City as the largest provider. To maintain reliable and resilient

9. WATER RESOURCES

service, the County will require all community water systems to prepare asset management plans addressing long-term maintenance, replacement, and funding. The County will also establish a program to monitor and reduce unaccounted-for water losses and will prioritize interconnections between systems to enhance redundancy during emergencies. County-wide PFAS testing will be initiated for all public systems and a representative sample of private wells, with thresholds for action established in coordination with MDE and USGS.

Groundwater is the sole source of potable water in the County. There are 19 community water systems: four municipalities (Ocean City, Pocomoke City), six County-owned systems, six mobile home parks, and three systems serving apartment complexes. There are 26 non-transient non-community water systems that serve a variety of large non-residential uses. **Table 9-2** lists the number of non-transient systems by use. In addition, there are 88 transient non-community water systems that serve a variety of commercial, government, office, and seasonal residential uses. There are also 4 non-transient, non-community systems within Ocean City, two that serve hotels and two that serve condominiums that provide secondary water treatment for their users.

Depending on their location, these water systems may use the shallow Pleistocene Aquifer or the deeper confined aquifers. Many of these water systems have multiple wells. The largest water supplier in the County is the Ocean City municipal system, which has 24 wells in the Ocean City Aquifer. The wells are strategically distributed across three water treatment plants in Ocean City: 15th Street Water Treatment Plant, 44th Street Water Treatment Plant and the Gorman Avenue Water Treatment Plant. The Mystic Harbor Water Service Area, which partially overlaps the West Ocean City Service area, currently has several hundred domestic and commercial wells at varying depths. These wells serve a variety of uses including existing residences. If these wells fail, user(s) must connect to a public water distribution network if it is readily accessible to the property.

Water Planning Areas

Water planning areas are tied to designated growth centers, with expansion requiring amendments to the Water and Sewer Plan. To strengthen this framework, all amendments must be supported by groundwater availability analyses that confirm long-term aquifer recharge capacity. New W1 designations will not be approved in FEMA-designated floodplains, ensuring that infrastructure investments are resilient to climate-related risks. Future amendments must explicitly demonstrate that proposed expansions will not exceed sustainable withdrawal levels.

A water planning area is an area designated as planned to receive public water service from a town or the County. The estimated time for receiving service is represented by one of the following designations: Present to two years (W1), future service 3-5 years (W2), or future service 6-10 years (W3). The areas served by private community systems can be designated W1 but are not planning areas.

Creating or amending a planning area requires an amendment to the *Water and Sewer Plan*. However, the inclusion of any water system in the *Water and Sewer Plan* does not legally obligate the County or any of its political subdivisions to take any action to implement such projects or to enforce the implementation of such projects.

The *Comprehensive Plan* has designated growth areas near existing population centers and attempted to continue the County's compact development pattern. **Figure 9-5** shows the water system planning

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areas overlain on areas zoned for development and planned for growth at urban densities. This approach will assist in the containment of water service costs.

Most of the existing water systems serve communities or uses with limited expected growth. Growth in such areas will generally be infill or modest service area expansion over the next ten years. Some of the water service areas will expand in accordance with the County's planned growth strategy. An amendment to the *County Water and Sewer Plan* is necessary for expansion of a water or sewer planning area. Compliance with this plan is a prerequisite for state approval of both groundwater discharge and groundwater appropriation permits.

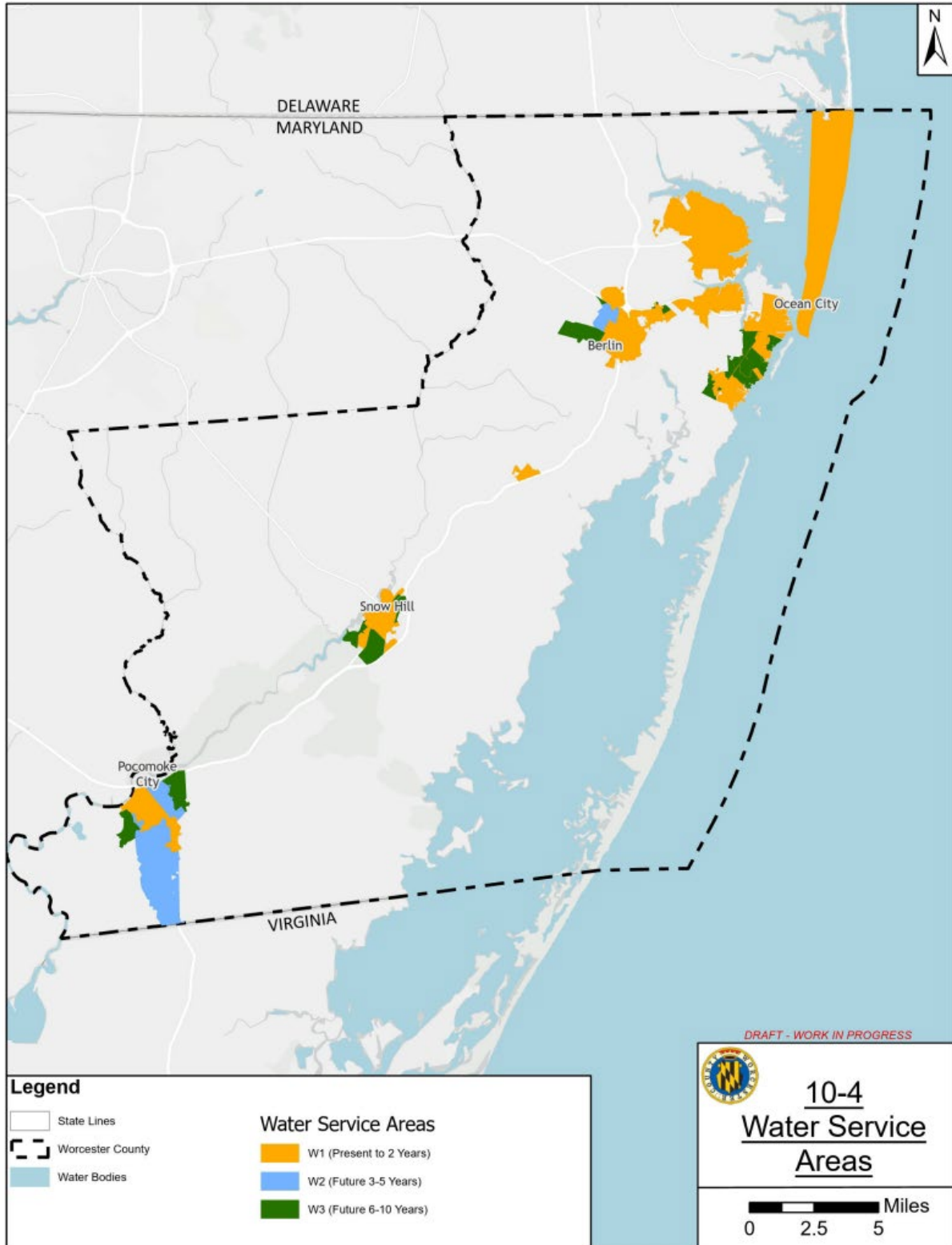
Water Management Strategy Area

The St. Martin's River/Ocean Pines area has been identified as vulnerable to saltwater intrusion.⁴ **Figure 9-4** shows the general boundary line for the strategy area. To address this, all new wells in the strategy area will be required to undergo saltwater intrusion modeling prior to permitting. Worcester County, in partnership with MDE and USGS, will implement annual chloride monitoring and public reporting to provide early warning of aquifer deterioration.

⁴ https://mde.maryland.gov/programs/Water/water_supply/Pages/WaterManagementStrategyAreas.aspx

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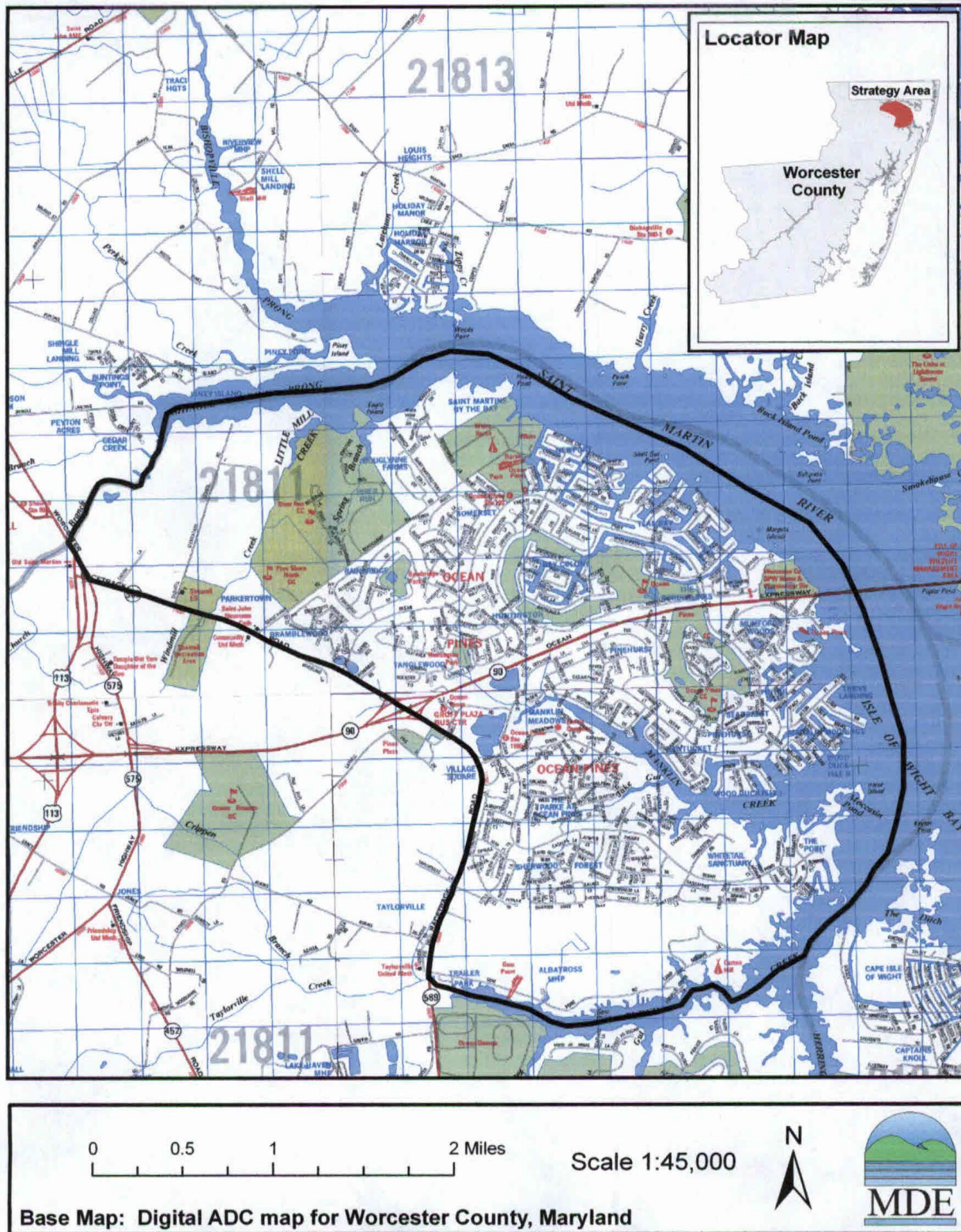
Figure 9-3. Water Planning Areas - Generalized Boundaries for W1, W2, and W3



Source: MD IMAP, Worcester County

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Figure 9-4. St. Martins River/Ocean Pines Water Management Strategy Area



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Additional State regulations address unaccounted water for capacity development for new systems, water appropriations, and water conservation plumbing fixtures. The Code of Maryland Regulations (COMAR) 26.04.01.36.G (b) requires a plan for tracking unaccounted for water. This regulation is intended to keep systems informed about how much water is leaking in distribution systems.

The MDE also issues water withdrawal permits for beneficial appropriations or use (COMAR 26.17.06.05.A). This regulation assists local jurisdictions by adding further scrutiny to the permitting process; for example, during the permit review process applicants are required by the State to determine unaccounted water in their permit application. Applicants must also certify that they will install water conserving fixtures that will conform with the State Plumbing Code. For instance, COMAR 09.20.01.02.H (1) requires low flow toilets to be installed for all new facilities. Furthermore, COMAR 09.20.01.02.J (9) and 12-605 to 12-607 in the Annotated Code of Maryland prohibits the installation or sale of a plumbing fixture which is not an approved plumbing fixture. Thus, no high flow plumbing fixtures can be legally sold or installed in buildings in the County. The County's *Water and Sewer Plan*, according to COMAR 26.03.01.07, must also conform with Maryland's Water Conservation Plumbing Fixtures Act (MWCPFA).

Water Supply Assessment and Rural Water Supply

Groundwater withdrawals are projected to increase from 31 to 38 million gallons per day over the next 20 years, with agriculture accounting for roughly one-third of this demand. To ensure sustainability, Worcester County will require annual agricultural irrigation reporting to improve accuracy of water use data. The County will also support cost-share programs to encourage precision irrigation and water reuse in farming operations. In areas such as southwestern Worcester County, where the Pocomoke Aquifer shows signs of stress, the County will develop contingency measures that may include alternate supplies and drought restrictions.

Groundwater Withdrawals

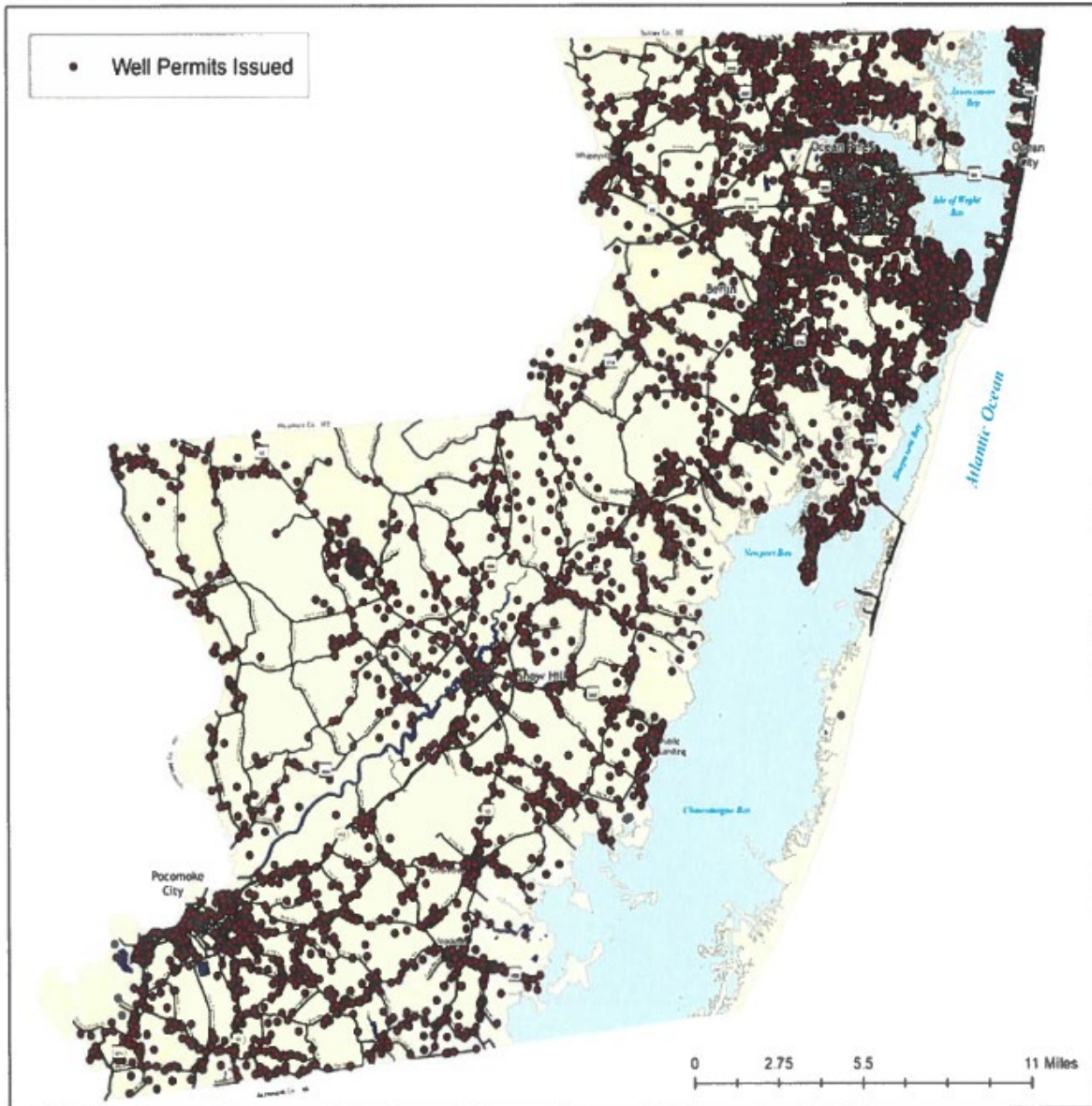
Maximum daily groundwater withdrawals in Worcester County are estimated at approximately 31 million gallons per day, or GPD (**Table 9-3**). In the future, withdrawals are projected to increase to approximately 37 million gallons per day. This reflects a 17 percent increase in withdrawals from all uses. Three fourths of the withdrawal will be in municipal water systems. Public water systems including major community water and municipal water serving residential and commercial areas as well as major industry have the potential to withdraw up to 19.5 million GPD of groundwater. Maximum withdrawal by public water systems is projected to increase by approximately 5.6 million gallons per day. There are a few industrial users on individual wells which withdraw up to 90,000 GPD of groundwater. The maximum daily withdrawal for private residential wells is approximately 2.1 million GPD, which includes approximately 5,533 wells.

Agriculture withdraws an average of 9.3 million gallons of water daily, accounting for nearly one third of the potential water usage in the County. This is common for most of Maryland's Eastern Shore, where farmers use groundwater for crop irrigation and livestock (primarily poultry) watering. Agriculture's groundwater withdrawal may increase by nearly 1 million GPD in the future.

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Figure 9-5. Well Permit Locations, Worcester County

Well Permit Locations, Worcester County



Source: Database from Department of Environmental Programs, August 2025.



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Table 9-3. Existing and Future Maximum Daily Groundwater Withdrawals (GPD)

Use	Existing Use	Future Use
Major Community Water System	3,995,000	4,623,500
Municipal Water System	15,564,000	20,570,000
Industrial	90,000	90,000
Agriculture water use*	9,352,500	10,194,225
Private residential well	2,100,000	2,306,250
Total Groundwater usage	31,101,500	37,783,975
Natural groundwater available⁵	Adequate	Adequate
Recharge rate	Adequate	Adequate
Groundwater remaining	Adequate	Adequate

Source: Maryland Department of Environmental Programs

*Agricultural water use is based on daily average amount not to exceed annual withdrawal permits.

Rural Water Supply

Worcester County is still largely a rural County, with agriculture as a primary industry (second to tourism). Poultry production and agricultural crop production (particularly corn and soybean) are the largest consumers of water in rural areas. While groundwater is the main source of water for farm irrigation, there is some surface water also used for irrigation in the southern areas of the County. Farm irrigation wells are restricted to the Pleistocene Aquifer but many poultry house wells utilize the deeper aquifers. Sufficient groundwater resources currently exist to supply the requirements of domestic wells in rural areas of the County and for the future, based on projected growth rates in those areas.

One area of concern is southwestern Worcester County, including the area surrounding Pocomoke City. This area utilizes the Pocomoke Aquifer only. The transmissivity of this aquifer has been decreasing over the years. Below the Pocomoke Aquifer, the groundwater is high in chlorides. Over-withdrawal of the Pocomoke Aquifer, causing decreased pressure in the aquifer and a large cone of depression, could cause chloride problems in the future. Monitoring water use in this region, including withdrawals from neighboring Somerset County, should be undertaken to ensure supplies are adequate for future growth in the area.

Projected Water Demand

Population growth is expected to increase demand by approximately 2.1 million gallons per day. To address capacity constraints, Worcester County will prepare a capacity gap action plan identifying areas where growth should be redirected or where additional infrastructure investment is needed. New development will be required to demonstrate water efficiency at least 20 percent above state code

⁵ Sustainability of the Ground-Water Resources in the Atlantic Coastal Plain of Maryland by Robert J. Shedlock and David W. Bolton, <https://pubs.usgs.gov/fs/2006/3009/>

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minimums. Major subdivisions will be required to incorporate rainwater harvesting and greywater reuse systems as standard practice.

An assessment was conducted to estimate potential water supply demand. based on the County's *Comprehensive Plan*. The county-wide assessment required consideration of all persons living within municipal boundaries and in the County regardless of whether a private or public water supply is provided. The *Comprehensive Plan's* growth projections estimate approximately 5,000 more residents and approximately 2.1 million more gallons per day of water demand. **Table 9-4** shows the *Comprehensive Plan's* allocation of population growth among the designated growth areas and identifies the additional water supply that will be needed to meet this demand.

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Table 9-4. Growth Projects on Water Demand

Growth Area	Population Increase	Residential EDUs Generated	Non-Residential EDUs Generated	GPD/EDU	Additional Demand Projected (GPD)
1	1067	483	0	250	120,800
3	671	304	407	250	177,700
4	1261	570	0	250	142,600
5	0	0	351	250	87,900
6	2	1	810	250	202,800
7	154	70	4	250	18,500
9	15	33	0	250	8,300
10	201	91	0	250	22,800
11	6	3	0	250	700
12	382	173	0	250	43,300
14	33	15	369	250	96,200
15	2	1	707	250	176,900
16	0	0	99	250	24,900
17	0	0	162	250	40,700
18	0	0	15	250	3,700
19	0	0	73	250	18,300
20	0	0	1,187	250	296,700
21	0	0	37	250	9,400
22	0	0	139	250	34,800
23	79	36	763	250	199,700
24	0	0	318	250	79,500
26	92	42	0	250	10,400
28	142	64	0	250	16,200
29	4	2	0	250	500
30	0	0	133	250	33,300
31	379	171	0	250	42,900
33	195	88	333	250	105,400
35	174	79	0	250	19,800
36	0	0	192	250	48,000
Totals	4,859				2,082,700

Water System Capacity for Future Projected Growth

Table 9-6 lists the County and municipal public water systems and pertinent system facts. Except for Bridletown, Newark, Pocomoke, and the Village of Showell, the majority of the water systems in the County have more than enough planned capacity to supply water to the projected population under the growth assessment. The difference between the planned capacity and current capacity is the capacity for growth. Beyond this, additional users can be hooked up to existing water distribution systems while

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considering improvements needed for infrastructure distribution as well as the location of potential users relative to nearest water distribution system.

New Development Water Supply Policy

The County’s policy regarding providing potable water to new development within a public water service area is that the developer(s) and/or property owner(s) associated with the growth area or the service area’s expansion shall bear the responsibility for all costs associated with the water system’s expansion. This includes costs that accommodate the proposed development, including infrastructure and treatment system costs. Treatment facilities and public infrastructure for new and expanded public water areas are built by the developer(s) and turned over to the County for operation and management of the systems.

Table 9-5. County and Municipal Water Systems

Water System	No. of Wells	Source Aquifer	Current Capacity (GPD) ¹	Planned Capacity (GPD) ²
Assateague Pointe	2	Ocean City	35,000	64,000
Berlin	3	Pleistocene	490,000	1,000,000
Briddletown¹	0	Pleistocene	0	0
The Landings	2	Ocean City	115,000	200,000
Mystic Harbour	3	Ocean City (1) Pocomoke (2)	512,500	1,000,000
Newark	2	Manokin (1) Pocomoke (1)	142,500	142,500
Ocean City	21	OC/Manokin	16,600,000	18,100,000
Ocean Pines	5	Pleistocene	1,500,000	2,000,000
Pocomoke	5	Pocomoke	860,000	860,000
Riddle Farms	2	Manokin	205,000	228,000
Village of Showell	n/a	n/a	n/a	n/a
Snow Hill	3	Manokin	320,000	1,094,000

Notes: Bold text indicates growth areas.

1. Briddletown is served by a contract with Berlin.
2. The current capacity for water means that the figure shown is the maximum treatment capacity of the water treatment system in conjunction with the average withdrawal limit under the water appropriation permit for the system.
3. The planned capacity is a number that was planned for the system and either has been achieved or will be achieved by infrastructure improvements and/or increases in water appropriation permits in the future. Planned capacity should be the increased capacity level needed to meet projected growth.
4. Water demand projections outside the County Growth Areas include: private residential wells which are expected to increase by 9% and the major community water systems which are projected to increase by 14% by 2025.

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Water System Conclusion and Recommendations

An adequate water supply is necessary for growth and development within the County. Equally important is water system infrastructure, which may be the limiting factor for expansion of any water service area. While the quantity of groundwater in the County may be adequate, the quality of the water may make use of the water economically unfeasible, due to treatment costs.

Protection of the groundwater in areas that use the shallow Pleistocene Aquifer is highly recommended. Abandonment of water appropriation permits for areas connected to public water is highly recommended. Well head protection ordinances should be considered for these systems. If they are approved, they should be adopted and implemented for each of the water systems that utilize this aquifer. While the deeper aquifers are not susceptible to surface contaminants, in Ocean City and Pocomoke, caution should be exercised so that increased withdrawals do not lead to saltwater intrusion either from lateral saltwater movement or upwelling from salty formations below.

Specific recommendations for water system improvements to address both quantity and quality as well as system maintenance needs are as follows.

- Adopt wellhead protection ordinances for Pleistocene aquifer-dependent systems.
- Require abandonment of private wells in areas with new public service connections.
- Prioritize monitoring in Pocomoke aquifer area due to chloride risks.
- Monitor aquifer water levels for saltwater intrusion risks tied to sea-level rise, particularly in the Pocomoke and Ocean City aquifers.
- Update design standards for water and wastewater infrastructure to account for increased flood frequency and intensity and require siting of new wells, pumping stations, and treatment facilities outside of FEMA 100-year and 500-year floodplains where feasible.
- Establish a County-wide program to test public water systems and a representative sample of private wells for PFAS (per- and polyfluoroalkyl substances) and other emerging contaminants of concern.
- Coordinate with the Maryland Department of the Environment (MDE), the U.S. Geological Survey (USGS), and the EPA to establish clear action thresholds for PFAS.
- Incorporate PFAS monitoring results into water appropriation permitting and Water and Sewer Plan amendments.

Wastewater Services

Worcester County's wastewater services guide development patterns and protect water quality. To further reduce nutrient loads, all new private systems up to 50,000 GPD will be required to incorporate enhanced nutrient removal technology. Spray irrigation sites will undergo performance monitoring to confirm nutrient uptake effectiveness. No new surface water discharges will be approved in sensitive and impaired watersheds, reflecting the County's commitment to protecting the Coastal and Chesapeake Bays.

Current Wastewater Conditions

The County adopted a policy in the 1980s that all wastewater services serving more than one lot or processing more than 5,000 gallons per day (GPD) must be owned and operated by the County or a municipality. This policy resulted from health and management issues with private systems in the



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County. It has recently been amended to permit certain larger systems up to 50,000 GPD that serve or plan to serve a shopping center, planned commercial development, unified development or cooperative campgrounds and mobile home parks to be privately owned. Provisions for County oversight and other safeguards have been provided. Systems with flows of 10,000 GPD or more must obtain an Individual Groundwater Discharge Permit from MDE per COMAR 26.04.02.05, as do systems utilizing spray irrigation for wastewater disposal of treated effluent, regardless of discharge volume. For areas outside of public service areas, development relies on on-site septic waste disposal systems. In the following discussion, the County's current wastewater planning areas and facilities, policy regarding new development and the current and future state of septic systems in the County are discussed.

Sewer Planning Areas

Worcester County has 13 wastewater treatment plants with varying levels of capacity. To ensure long-term compliance with nutrient reduction goals, all WWTP expansions will require demonstration of nutrient offsets. The County will prepare a resiliency plan to address the vulnerability of WWTPs in flood-prone areas. Facilities with remaining capacity will be prioritized for ENR upgrades to ensure consistent performance under stricter nutrient caps.

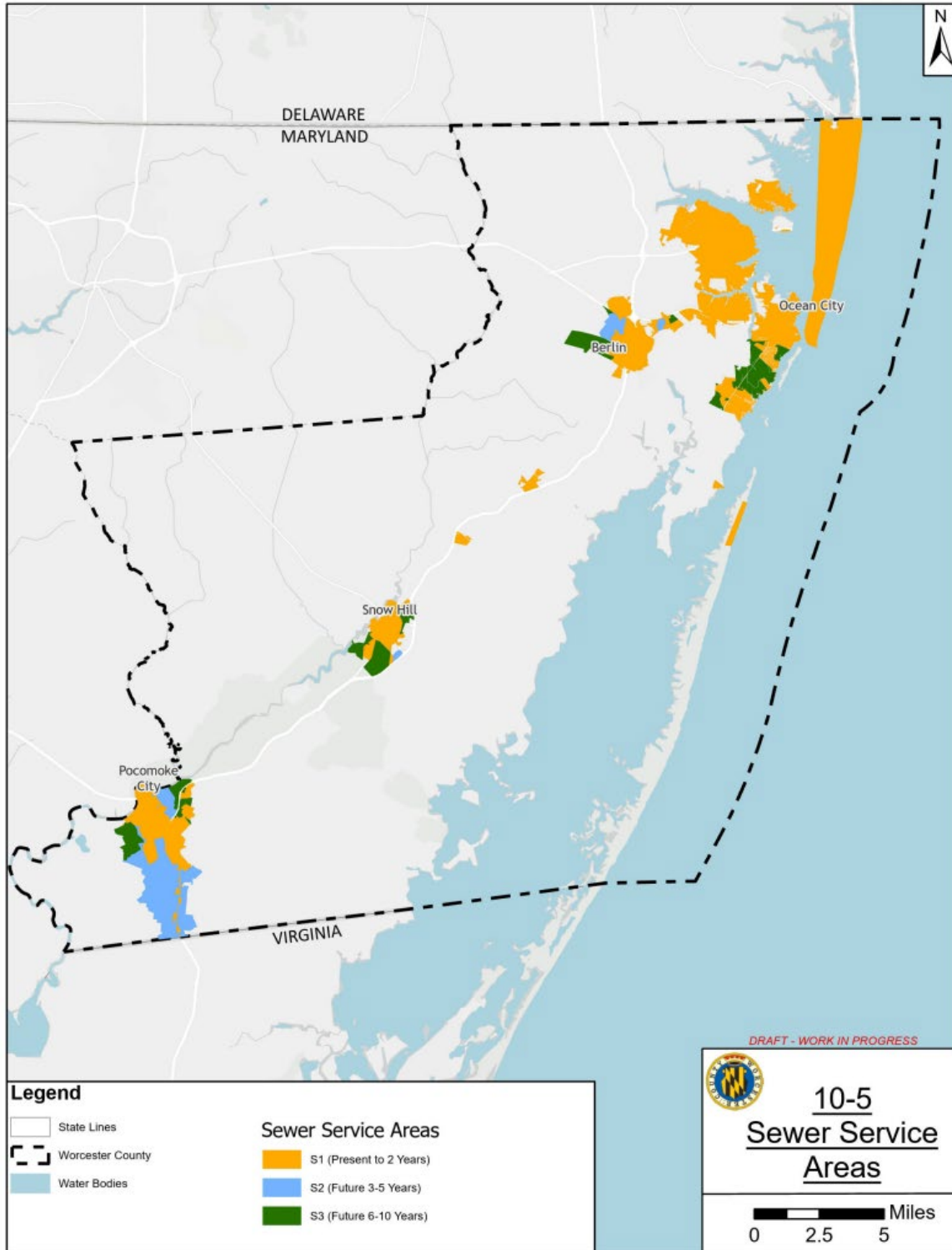
Sewer planning areas are generally adjacent to existing population centers and municipalities. A sewer planning area is an area designated as planned to receive public sewer service from a municipality or the County. The estimated time for receiving service is represented by one of the following designations: Present to two years (S1), future service 3-5 years (S2), or future service 6-10 years (S3). The areas served by private community systems can be designated S1 but are not planning areas. Creating or amending a planning area requires an amendment to the *Water and Sewer Plan*. However, the inclusion of any sewer system in the *Water and Sewer Plan* does not legally obligate the County or any of its political subdivisions to take any action to implement such projects or to enforce the implementation of such projects. Generalized sewer planning areas are shown in **Figure 9-6** along with the general location of existing wastewater treatment plants (WWTP). Using **Table 9-7** each WWTP can be named and described by its facility and discharge type.

As shown in **Figure 9-6** and **Table 9-7**, there are 13 Existing and one (1) Planned WWTPs located in the Coastal Bays Watershed: nine are owned and operated by the Worcester County Government while the National Park Service, Town of Berlin, and Ocean City each own and operate WWTPs in the watershed.

Currently, eight of the County-owned and operated WWTPs utilize spray irrigation and two discharge treated effluent via injection wells; thus, eliminating nutrient point sources from the Coastal Bays Watershed. There are three WWTPs in the watershed that discharge directly to surface waters. Converting these to spray irrigation in the future would eliminate the nutrient point sources from the watershed. The Ocean Pines WWTP will continue to discharge to St. Martin's River. This plant uses best available technology and exceeds ENR standards. In turn, this plant will serve to accept effluent from households previously on septic systems, lowering overall nonpoint source nutrient contributions to the Isle of Wight Bay.

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Figure 9-6. Sewer Planning Areas



Source: MD IMAP, Worcester County

Generalized boundaries for S1, S2, and S3 are shown above. Use **Table 9-7** to identify facility descriptions.



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Table 9-7. Wastewater Treatment Plant Description

ID No.	Watershed Name	Facility Type	Facility Name	Capacity (GPD)	Discharge Type
1.	Sinepuxent Bay	Major Community	Assateague Pointe	64,000	Spray
2.	Isle of Wight Bay	Major Community	Edgewater (Sussex County, DE)	61,000	Ocean outfall (DE)
3.	Sinepuxent Bay	Owned and operated by National Park Service	Federal Assateague Park	20,000	Overland flow *Spray in the future
4.	Newport Bay	Major Community	The Landings	100,000	Injection wells
5.	Assawoman Bay	Major Community	Lighthouse Sound	40,000	Spray irrigation onto golf course
6.	Sinepuxent Bay	Major Community	Mystic Harbor	450,000	Shallow groundwater injection wells and spray irrigation onto golf course
7.	Newport Bay	Major Community	Newark	58,000	Surface transitioning to spray irrigation
8.	Isle of Wight Bay	Major Community	Ocean Pines	2,500,000	Surface water discharge
9.	Isle of Wight Bay	Major Community	Riddle Farm	280,000	Spray onto adjacent golf course
10.	Isle of Wight Bay	Major Community	River Run	112,000	Spray in a dedicated spray field
11.	Isle of Wight Bay	Industrial *Planned for residential in the future	Village of Showell	Planned Facility	Surface (Industry permit) *Spray in the future if permitted for residential use
12.	Lower Pocomoke River	Municipal	The City of Pocomoke	1,470,000	Surface
13.	Newport Bay	Municipal	Town of Berlin	750,000	Spray in two dedicated spray fields
14.	Isle of Wight Bay	Municipal	Town of Ocean City	14,000,000	Ocean outfall
15.	Lower Pocomoke River	Municipal	Town of Snow Hill	500,000	Surface

Note: Overland flow treatment directs effluent into a wetland where three processes occur: transpiration, infiltration, and evaporation.

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There are two plants whose discharge type is ocean outfall, Edgewater and Ocean City. The County sends wastewater from West Ocean City to the Town of Ocean City WWTP where treated effluent is discharged to the Atlantic Ocean. The Town of Snow Hill and the City of Pocomoke's WWTP are located along the Pocomoke River in the Chesapeake Bay Watershed and discharge directly to the river. Continued management of these wastewater services will help to reduce nutrient loads overall, is vital to the continuation of the County's concentrated development pattern, and the Comprehensive Plan's implementation.

Current Facility Parameters

Specific parameters for existing WWTPs owned and operated by either the County or a municipality are shown in **Table 9-8**. The average current flow estimates the average daily wastewater flow by gallons from current users. To determine the current committed capacity, the designated number of gallons per day per equivalent dwelling unit (GPD/EDU) is multiplied by the total number of users. The sum equals the current committed capacity and shall not exceed the permitted capacity. The difference between the permitted and committed capacity is the remaining capacity, implying that additional users may utilize wastewater services. In some cases, WWTPs have the capacity to serve expansions of growth, while others are very limited, having committed most of their capacity to undeveloped or developed properties within their service areas. However, to determine a WWTPs remaining capacity the factors below must also be considered.

- *Disposal Capacity:* A WWTP utilizing spray irrigation is limited by the ability of the service area to locate suitable land area for the purpose of spraying treated effluent.
- *Discharge Limits:* Increasing volume of treated effluent that is sprayed may exceed the land's ability to absorb and process the treated effluent per design standards.
- *Treatment Capacity:* Each WWTP must meet total nitrogen and total phosphorus standards measured on a pounds per year basis. Increasing the volume of treated effluent will increase nutrient loads. WWTPs cannot exceed nutrient caps and/or permit limits, whichever is more restrictive.
- *Physical Constraints:* The infrastructure may not function properly if permitted design limitations for the disposal method are exceeded or volume increases.

Despite having a small remaining capacity, these plants do have committed capacity that will be available to support new growth whether from undeveloped land or the intensification of uses on previously developed lands. Each municipality is currently upgrading or planning to upgrade their WWTP as necessary to conform with State treatment standards while accommodating new growth.

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Table 9-8. Current Facility Parameters

Facility Name	Average Current Flow (GPD)	Current Committed Capacity (GPD)	Current Permitted Capacity (GPD)	Estimated Remaining Capacity (GPD)	Percent Remaining Capacity
Assateague Pointe	34,500	37,640	41,930	4,290	10%
Edgewater (Sussex County, DE)	60,750	60,750	60,750	0	0%
The Landings West	32,000	32,000	100,000	68,000	68%
Lighthouse Sound	27,750	27,750	37,950	6,600	19%
Mystic Harbor	187,000	187,000	363,000	176,000	48%
Newark	45,500	45,500	57,000	11,500	20%
Ocean Pines	1,010,000	1,010,000	2,600,000	1,590,000	61%
Riddle Farm	54,000	54,000	277,750	223,750	81%
River Run	55,000	55,000	112,000	57,000	51%
Village of Showell	Planned Growth Area				
The City of Pocomoke	707,000	707,000	1,470,000	763,000	52%
Town of Berlin	407,000	407,000	343,000	64,000	16%
Town of Ocean City	8,688,000	11,200,000	14,000,000	2,800,000	20%
West Ocean City	653,000	1,205,120	1,000,000	0	0%
Town of Snow Hill	303,000	330,500	500,000	169,500	34%

Septic System Assessment

There are approximately 6,600 septic systems countywide, with a significant portion located in Critical Areas. Worcester County will now require the use of Best Available Technology (BAT) systems for all new or replacement septic systems. A mandatory five-year inspection and pump-out program will be instituted to ensure existing systems function properly. The County will also create a septic-to-sewer conversion fund, with priority given to watersheds under TMDL nutrient restrictions.

For areas outside sewer service areas, development relies on waste disposal systems located on-site, commonly known as “septic systems”. Currently, there are approximately 6,613 septic systems in Worcester County as shown in **Figure 9-7**. There are approximately 3,576 septic systems located in the Coastal Bays Watershed, 1,562 are located in the Critical Area (**Table 9-9**). The Isle of Wight Bay Watershed has the highest number of septic systems followed by the Newport Bay Watershed, 1,677 and 1,090 respectively. By 2035, the County anticipates an overall reduction of 229 septic systems in the Coastal Bays Watershed. There are approximately 3,037 septic systems in the Chesapeake Bay Watershed (**Table 9-10**). Of this amount, 1,647 septic systems are located in the Lower Pocomoke River

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Watershed. There are currently only 202 septic systems in the Chesapeake Bay Critical Area. By 2035, the County anticipates 67 less septic systems in the Chesapeake Bay Watershed Critical Area.

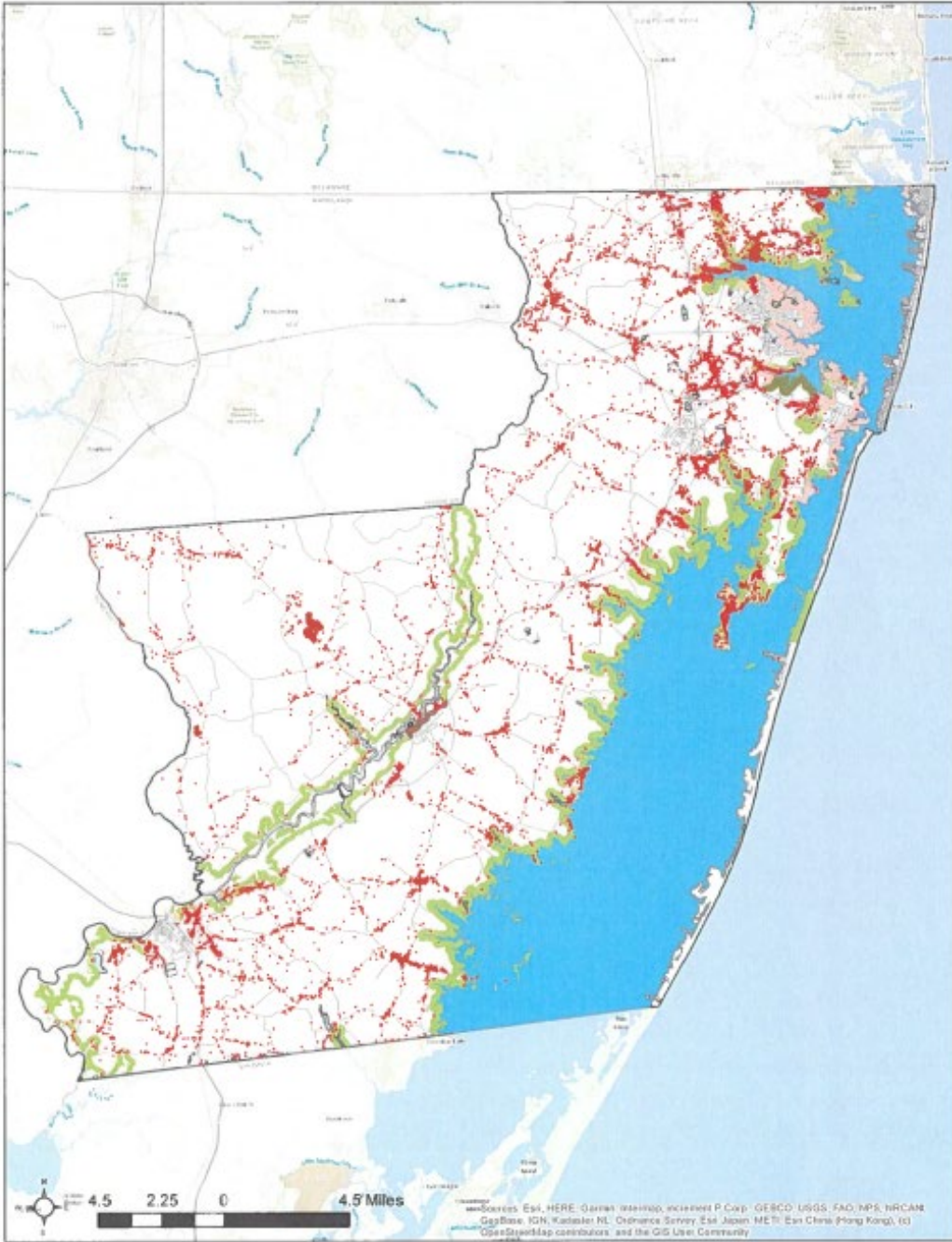
By 2035, it is anticipated that an additional 183 septic systems will be added in the Coastal Bays watershed and 178 septic systems will be added to the Chesapeake Bay Watershed, for a net increase of 361 septic systems in the County.

To estimate the number of septic systems by 2035, the County estimated the number of septic systems that may be connected to a public WWTP and estimated the number of new septic systems in the County based upon an annual application rate of 60 permits per year for 10 years. **Tables 9-19 and 9-20** shows where the County anticipates connecting septic systems and new septic systems based upon the number of potential lots in each watershed for both inside and outside the crucial areas.

Development near the water with septic systems is discouraged by the *Comprehensive Plan* and is expected to be very limited. Inland sites are also very limited and will be widely dispersed. This will result in negligible water quality impacts, if standards requiring best available technology are applied. As a result, the remainder of this section focuses on the few existing wastewater service areas where limited increases in capacity are planned and the facilities needed to address the designated growth areas.

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Figure 9-7. Worcester County Septic System Locations



Atlantic Coastal Bays Critical Area

- Septics
- IDA
- IDA_int_ex
- LDA
- LDA_int_ex
- Out
- RCA
- SH
- Tidal



Septics
Worcester County, Maryland
September 2023

Source Data: Worcester County Environmental Programs Database

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Table 9-9. Septic Systems in the Coastal Bays Watershed

Watershed Name	No. Septic (2025)	Potential Lots for New Septic	Predicted Additional Net No. of septic systems 2025-2035 ⁶
Assawoman Bay	380	372	35
Inside Critical Area	258	254	24
Outside Critical Area	122	118	11
Chincoteague Bay	182	717	67
Inside Critical Area	182	182	17
Outside Critical Area	0	535	50
Isle of Wight Bay	1,677	1,467	62
Inside Critical Area	618	599	6
Outside Critical Area	1,059	877	56
Newport Bay	1,090	919	5
Inside Critical Area	331	282	-34
Outside Critical Area	759	637	39
Sinepuxent Bay	247	211	15
Inside Critical Area	173	165	-34
Outside Critical Area	74	46	39
Total Inside CA	1,562	1,482	23
Total Outside CA	2,014	2,213	161
Grand Total	3,576	3,695	183

⁶ The predicted additional number of septic systems in **Tables 9-9** and **9-10** is based upon the current county wide average of 60 new system permits per year over the 10-year window distributed proportional to the number of potential lots within each area that would be served by septic systems less the predicted number of systems expected to switch from septic to WWTP from **Table 9-11**. A negative number indicates that it is anticipated more systems will be removed from septic systems and put on WWTP than the number of new permits expected within the watershed area.

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Table 9-10. Septic Systems in the Chesapeake Bay Watershed

Watershed Name	No. Septic (2025)	Potential Lots for New Septic	Predicted Additional Net No. of septic systems 2025-2035
Dividing Creek	216	211	20
Inside Critical Area	4	0	0
Outside Critical Area	212	211	20
Lower Pocomoke River	1,647	1,425	53
Inside Critical Area	171	0	-67
Outside Critical Area	1,476	1,425	132
Nassawango Creek	381	365	34
Inside Critical Area	16	0	0
Outside Critical Area	365	365	34
Upper Pocomoke River	792	763	71
Inside Critical Area	11	0	0
Outside Critical Area	781	763	71
Wicomico Creek	1	1	0
Inside Critical Area	0	0	0
Outside Critical Area	1	1	0
Total Inside CA	202	0	-67
Total Outside CA	2,835	2,765	257
Grand total	3,037	2,765	178

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Table 9-11. Septic Tank Connections to Public WWTP

Watershed Name	2026-2036	
	Outside Critical Area	Inside Critical Area
<i>Coastal Bays Watershed</i>		
Assawoman Bay	0	25
Chincoteague Bay	0	0
Isle of Wight Bay	25	50
Newport Bay	20	60
Sinepuxent Bay	0	5
Grand Total	45	140
<i>Chesapeake Bay Watershed</i>		
Dividing Creek	0	0
Lower Pocomoke River	12	67
Nassawango Creek	0	0
Upper Pocomoke River	0	0
Wicomico Creek	0	0
Grand Total	12	67

Pollution Impacts

Nutrient caps established through TMDLs will be directly tied to County strategies for wastewater and septic management. Worcester County will develop a nutrient trading framework that allows agricultural, municipal, and development sectors to participate in cost-effective nutrient reduction projects, provided they meet or exceed state standards.

Total nitrogen and total phosphorus (more generally referred to as “nutrients”) from WWTPs contribute to degraded water quality in the Chesapeake and Coastal Bays and their tributaries. Maryland’s involvement in the *Chesapeake Bay 2000 Agreement* requires water and sewer planning to consider the assimilative capacity of a water body—the amount of nutrients the stream can handle while preserving water quality. This section describes the key limits on assimilative capacity as they apply to the County’s WWTPs.

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Table 9-12. Nutrient Limits of Public WWTP

Facility Type	Facility Name	Permit No	Date of Expiration	Receiving Water	Discharge Type	Annual Average Effluent Permit Limitations (GPD)	Annual Max Total Nitrogen (lbs/yr)	Annual Max Total Phosphorous (lbs/yr)
Major Community	Assateague Point	24DP2608	3/31/2031	Groundwater Type I Aquifer	Spray Irrigation	41,930	N/A	See Note 1
Major Community	Edgewater (Sussec County, DE)	See Note 3		Atlantic Ocean	Point (Outfall)	60,750		See Note 1
Owned & operated by National Park Service	Federal Assateague Park	14DP2530	10/31/2024	Sinepuxent Bay	Point (Outfall)	12,000	110	11
Major Community	The Landings	See Note 3			Injection Well	100,000		
Major Community	Ocean Landings II	18DP3401	12/31/2025		Spray Irrigation	30,000	913	See Note 1
Major Community	Lighthouse Sound	20DP3155	2/28/2029	Groundwater Type I Aquifer	Spray Irrigation	37,950	1,386	See Note 1
Major Community	Mystic Harbor	10DP273	4/30/2022	Groundwater Type II Aquifer	Injection Well	250,000	2,283	See Note 1
Major Community	Mystic Harbor	10DP273	5/1/2022	Groundwater Type II Aquifer	Spray Irrigation	81,000	740	See Note 1
Major Community	Newark	24DP3851	6/30/2030	Groundwater Type I Aquifer	Spray Irrigation	57,000	1,735	See Note 1
Major Community	Ocean Pines	22DP0708	12/31/2029	St. Martin's River	Point (Outfall)	2,600,000	31,926	4566

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Major Community	Riddle Farm	20DP2710	4/30/2029	Groundwater Type I Aquifer - Columbia	Spray Irrigation	277,750	4,227	See Note 1
Major Community	River Run	20DP2394	11/30/2027	Groundwater Type I Aquifer - Beaverdam Formation	Spray Irrigation	112,000	3,409	See Note 1
Industrial	Village of Showell ⁽⁴⁾	See Note 4						
Municipal	City of Pocomoke	19DP0674	5/31/2028	Pocomoke River	Point (Outfall)	1,470,000	17,908	1,343
Municipal	Town of Berlin	See Note 3			Spray Irrigation	343,000		
Municipal	Town of Ocean City	19DP0596	4/30/2029	Atlantic Ocean	Point (Outfall)	14,000,000	333,150	10,047
Municipal	Town of Snow Hill	20DP0717	12/31/2028	Pocomoke River	Point (Outfall)	500,000	6,091	457
Municipal	West Ocean City	See Note 3				1,000,000		
Municipal	Riverview Mobile Home Park	24DP3885	7/31/2028	St. Martin's River (Bishopville Prog)	Point (Outfall)	30,000	27	0

Notes:

- (1) Monitor without limitation
- (2) The spray irrigation limits are not assigned allocations to the receiving waters because the permits assume vegetation uptake and other natural processes reduce the amount of nitrogen reaching the receiving waters i.e. these are monitoring limits
- (3) Permit and/or permit documents not available on MDE Waterwater Public Interface Tool (<https://mes-mde.mde.state.md.us/WastewaterPermitPortal/> last accessed 8/19/2022)
- (4) Planned facility not built or permitted

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The County has the benefit of a no-new point discharge requirement in the *Water and Sewer Plan*, save for a permitted discharge for an upgrade of a conventional large flow septic system in the Critical Area to be upgraded with an advanced treatment package plant. This is why all new plants in the County utilize spray irrigation. The spray irrigation limits are not assigned allocations to the receiving waters because there is an assumption that vegetation uptake and other natural processes reduce the amount of nitrogen reaching the receiving waters. Some nutrient increases will result from meeting future growth via existing WWTPs but only in those that have a significant amount of capacity left of new development. Snow Hill and Pocomoke City's WWTPs flows will be limited by the Chesapeake Bay Tributary Strategy point source caps. Action on the Chesapeake Bay TMDL could possibly lower those caps in the future and therefore lower their nutrient contributions to the Bay. The performance of those treatment plants to reduce nutrient loading by optimal operation can also contribute to lower impacts as will connection of existing septic systems to those plants that exist in adjacent sewer planning areas.

Most of the new growth in point source inputs will be mitigated by the elimination of point source discharges and transition to spray irrigation or other alternative discharges.

TMDLs

Another measure of assimilative capacity is the Total Maximum Daily Load (TMDL), the maximum amount of pollutant that a water body, such as a river or a lake, can receive without impairing water quality.

Point Source Caps

To address nutrient loads from point sources such as WWTPs, the State has established Chesapeake Bay Tributary Strategy point source caps. These caps are numerical limits on the amount of nitrogen and phosphorus that WWTPs can discharge to the Bay and their tributaries (expressed as pounds per year of nitrogen and phosphorus). Point source caps have been established for the Pocomoke and Snow Hill WWTPs and are reflected in their permits.

Future Wastewater Services

Future wastewater demand is expected to increase by nearly 2 MGD by 2035. To meet this demand without worsening nutrient loads, Worcester County will require all new growth areas to utilize spray irrigation or subsurface discharge systems. A nutrient neutrality requirement will be adopted, ensuring that no net increase in nitrogen or phosphorus results from new growth. The County will also evaluate regional treatment opportunities to reduce costs and environmental risks.

This section discusses future upgrades to existing wastewater service areas within the County as well as those growth areas designated in Chapter 4 of the *Comprehensive Plan*. In general, if an area is not associated with a growth area the existing service areas will rely on infill development of similar character to the existing community. For those existing service areas not designated for growth by the *Comprehensive Plan*, expansion of the service areas is not planned. To begin this discussion, the following highlights upgrades planned in the sewer service areas.

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Growth Area Wastewater Service

Chapter 4 of the *Comprehensive Plan* designates 29 growth areas.

The number of potential Residential and Non Residential EDU's for each growth area is identified in **Table 9-5**. If the County's population projection is realized then an additional wastewater service demand of nearly 2 million GPD by 2035 is expected and can be used for long-range planning purposes.



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Table 9-13. Anticipated Wastewater Service Demand

Facility Name	Average Current Flow (GPD)	Current Committed Capacity (GPD)	Current Permitted Capacity (GPD)	Estimated Remaining Capacity (GPD)	Current Percent Remaining Capacity	Growth EDUs Generated	Growth Gallons (GPD)	Future Remaining Capacity
Assateague Pointe	34,500	37,640	41,930	4,290	10%			10%
Edgewater (Sussex County, DE)	60,750	60,750	60,750	0	0%			0%
The Landings West	32,000	32,000	100,000	68,000	68%			68%
Lighthouse Sound	27,750	27,750	34,350	6,600	19%			19%
Mystic Harbor	187,000	187,000	400,000	213,000	53%			53%
Newark	45,500	45,500	50,250	4,750	9%			9%
Ocean Pines	1,010,000	1,010,000	2,125,000	1,115,000	52%	138	34,560	51%
Riddle Farm	54,000	54,000	237,000	183,000	77%	35	8,792	74%
River Run	55,000	55,000	100,000	45,000	45%			45%
Village of Showell	Planned Growth Area							
The City of Pocomoke	707,000	707,000	688,000	-19,000	0%			0%
Town of Berlin	407,000	407,000	343,000	-64,000	0%			0%
Town of Ocean City	8,688,000	11,200,000	14,000,000	2,800,000	20%	6,961	1,740,165	8%
West Ocean City[4]	653,000	1,205,120	1,000,000	-205,120	0%			0%
Town of Snow Hill[5]	303,000	330,500	500,000	169,500	34%			34%

Assumes that the Lower Pocomoke Growth will be served by the Ocean City WWTP

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Septic and Point Source Pollution Assessment

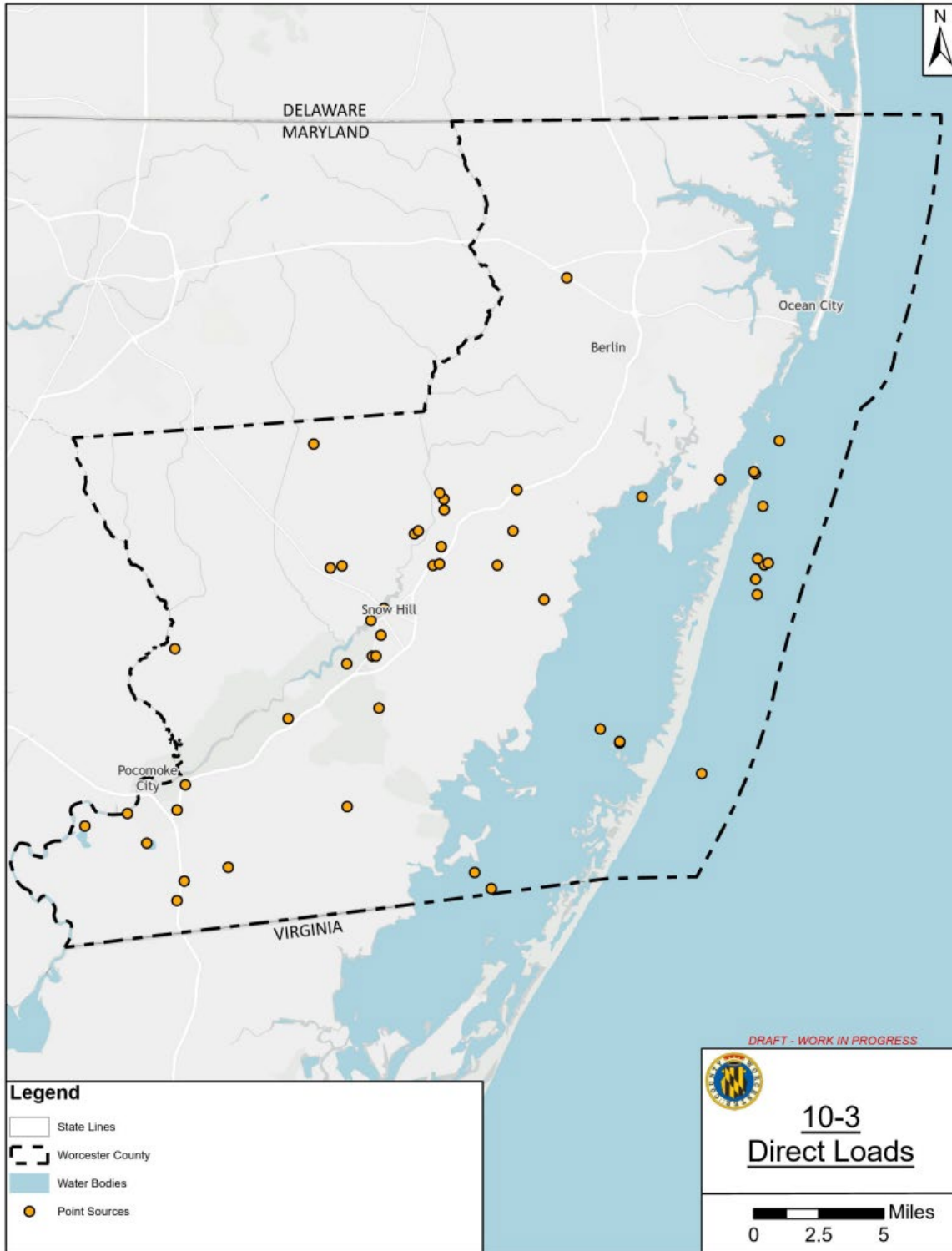
Septic system nitrogen loads remain a major contributor to nonpoint source pollution. Worcester County will adopt a goal of reducing septic nitrogen loads by 20% by 2035. All Critical Area septic systems must be upgraded to BAT by 2030. To further improve efficiency in rural development, the County will incentivize cluster and shared BAT systems to reduce nutrient leaching from dispersed rural lots.

Point sources in Worcester County are comprised of the WWTPs that discharge directly to surface waters. In the Coastal Bays Watershed, point sources are found in the Isle of Wight Bay, and Sinepuxent Bay Watersheds. There are two point-sources located in the Chesapeake Bay; both are located in the Lower Pocomoke River drainage basin.

Overall, total nitrogen (TN) and total phosphorus (TP) from WWTP may decrease in the future in the Coastal Bays Watershed. However, a closer look at the overall reduction shows that the Ocean Pines WWTP may increase its TN contribution to their respective watersheds. In the Chesapeake Bay Watershed, TN may increase in the future by 2,517 lbs largely because of the Lower Pocomoke growth areas.

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Figure 9-8. Point Source Locations of Direct Loads in Worcester County



Source: MD iMAP, Worcester County, Chesapeake Assessment Scenario Tool

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Stormwater Management and Nonpoint Source Assessments

Stormwater runoff remains one of the largest contributors to water quality degradation. Worcester County will require all new development greater than one acre to implement green infrastructure best management practices such as bioretention, permeable pavement, and green roofs. A retrofit program will be established with the goal of converting at least 25 percent of existing stormwater facilities to enhanced BMPs by 2035. A stormwater utility fee will be created to fund these retrofits and long-term maintenance. Developers will be required to meet nutrient reduction standards through either on-site BMPs or participation in a nutrient trading program.

This section provides an assessment of (1) programmatic aspects of effective stormwater management, (2) how nonpoint source pollution could impact water quality and wildlife habitat, and (3) the total potential nutrient impact based on nonpoint and point sources.

Stormwater Management Assessment

Stormwater runoff is generated when the ground's natural ability to infiltrate and hold rainwater is exceeded. This is primarily caused by impervious surfaces that do not allow the rainwater to infiltrate into the ground. Development activities can affect the ability of the ground to absorb the rainfall by compaction, removal of vegetation and the installation of impervious surfaces, such as roads, parking lots, buildings, and houses. When rainwater's ability to infiltrate is lessened, stormwater runoff is directed to the nearest rivers, streams, and bays. This increased runoff also contributes to the erosion of stream banks, more rapid introduction of pollutants to the water bodies, and reduced infiltration, which results in decreases in groundwater recharge.

Research conducted by the Center for Watershed Protection has shown that stream degradation occurs when its watershed is at least 10 percent impervious. Imperviousness is one of the few variables that can be explicitly quantified, managed, and controlled at each stage of land development. It is also a management practice that can be remedied by the homeowner simply by choosing to install pervious products to create driveways or sidewalks, maintaining more forests rather than lawns, and creating more gardens that allow stormwater to soak into the ground. Redirecting runoff from impervious surfaces towards areas that can absorb stormwater also reduces the amount of polluted runoff flowing into our storm drains that ultimately empty into our local waterways.

The Assawoman Bay and Isle of Wight Bay Watersheds have the highest percentage of impervious surfaces in the County, roughly 10 percent and 9 percent respectively⁷, mainly due to the Town of Ocean City (Table 9-14). Streets alone occupy 25 percent of the town's land area. These percentages have increased by 11 and 57 percent, respectively since 2014. County wide the increase in impervious surfaces has been approximately 49 percent. Additional efforts are required to create and/preserve more open space, increased pervious land coverage, and improved stormwater management (SWM), together with the Coastal Bays Critical Areas Program restrictions on future redevelopment projects to reduce nutrient loading in the future.

⁷ A GIS-based landcover file, digitized based on the 2025 aerial imagery, was used to calculate the acreage amount of buildings, paved and unpaved roads, paved and unpaved driveways, parking lots, sidewalks, trails, tennis courts, and dirt roads.

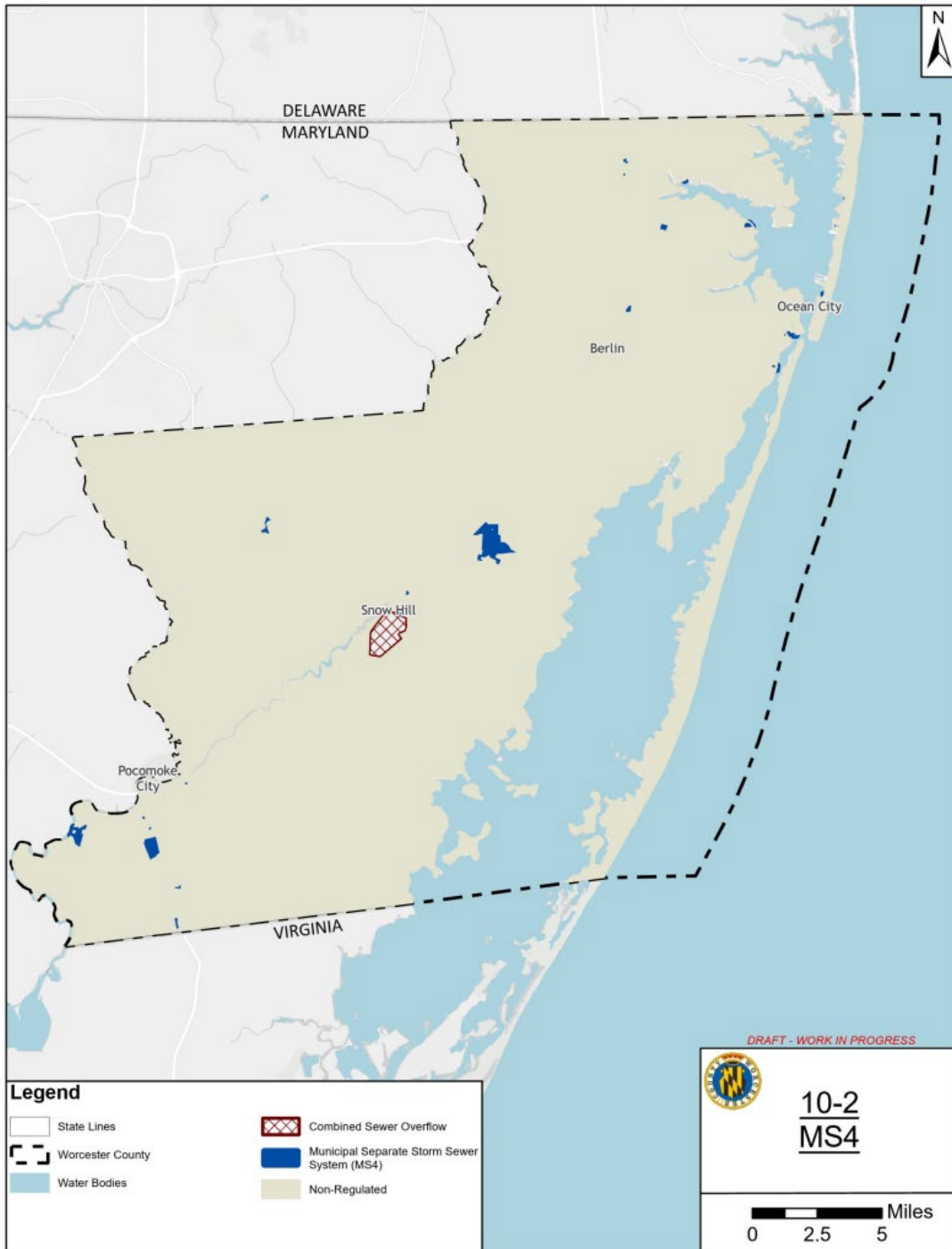
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Stormwater runoff can carry a whole host of pollutants, including sediments, heavy metals, phosphorus, and nitrogen. If left untreated, these pollutants have a serious impact on the receiving water bodies, leading to diminished water quality and less than desirable habitat.

Since 1982, the State of Maryland has had a SWM program in effect. Initially this program was primarily intended to provide abatement to flooding issues by capturing and storing stormwater. However, although not particularly planned for at the onset, regulators noticed a water quality benefit from capturing and storing stormwater before ultimate discharge to local rivers, streams and bays.

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Figure 9-9. Municipal Separate Storm Sewer System (MS4) and Combined Sewer Overflow in Worcester County



Source: MD IMAP, Worcester County, Chesapeake Assessment Scenario Tool

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Figure 9-10. The Sediment at the Edge of Stream (lbs/yr) with No Action in 2010 and ongoing progress in 2023

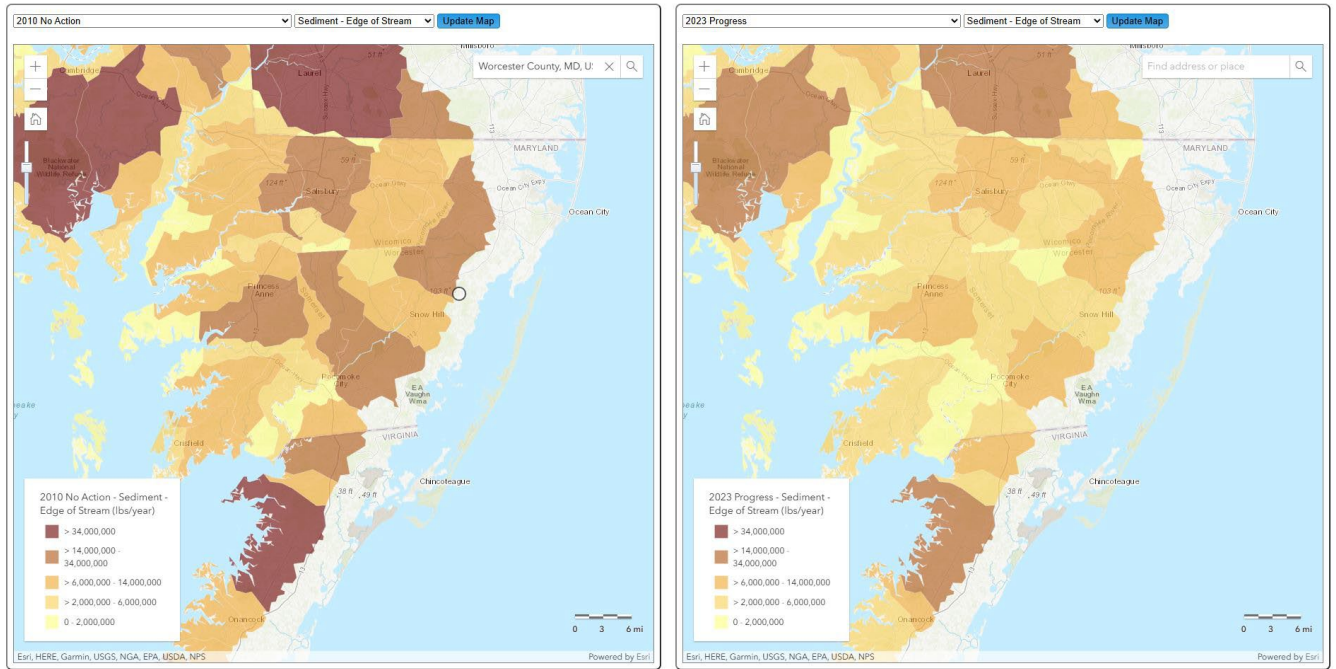
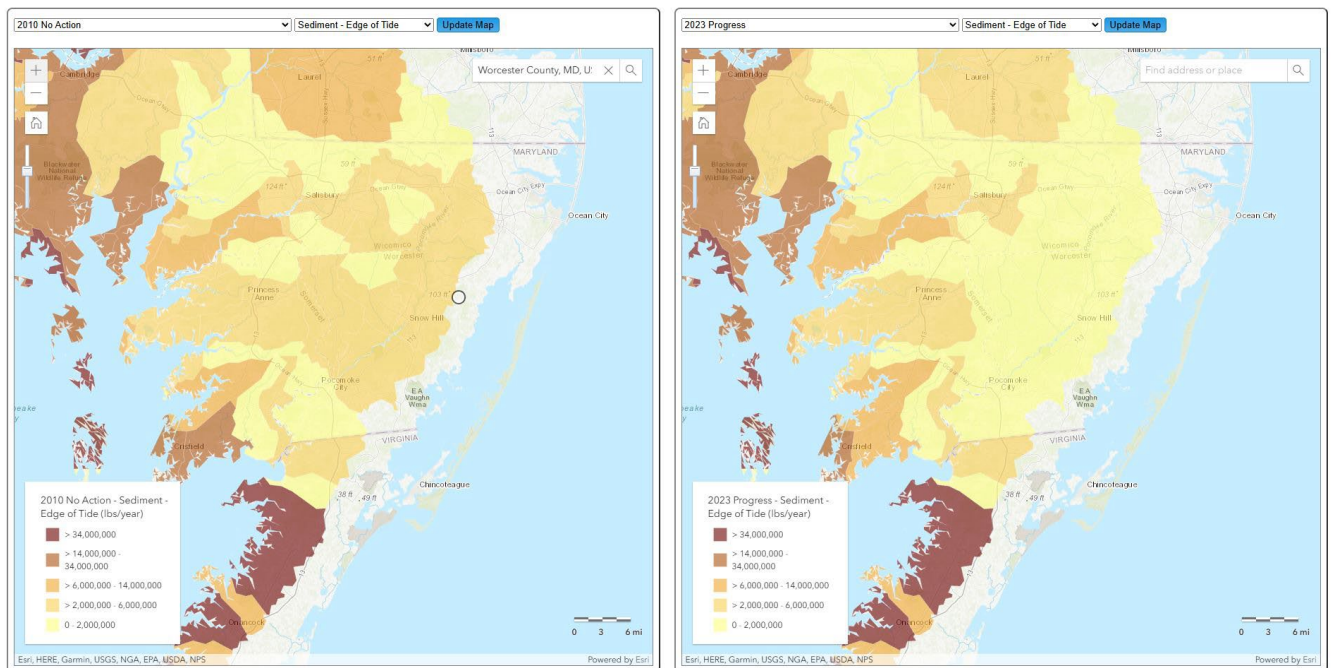


Figure 9-11. The Sediment at the Edge of Tide (lbs/yr) with No Action In 2010 and ongoing progress in 2023



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Figure 9-12. Phosphorus at Edge of Stream (lbs/yr) with No Action in 2010 and ongoing progress in 2023

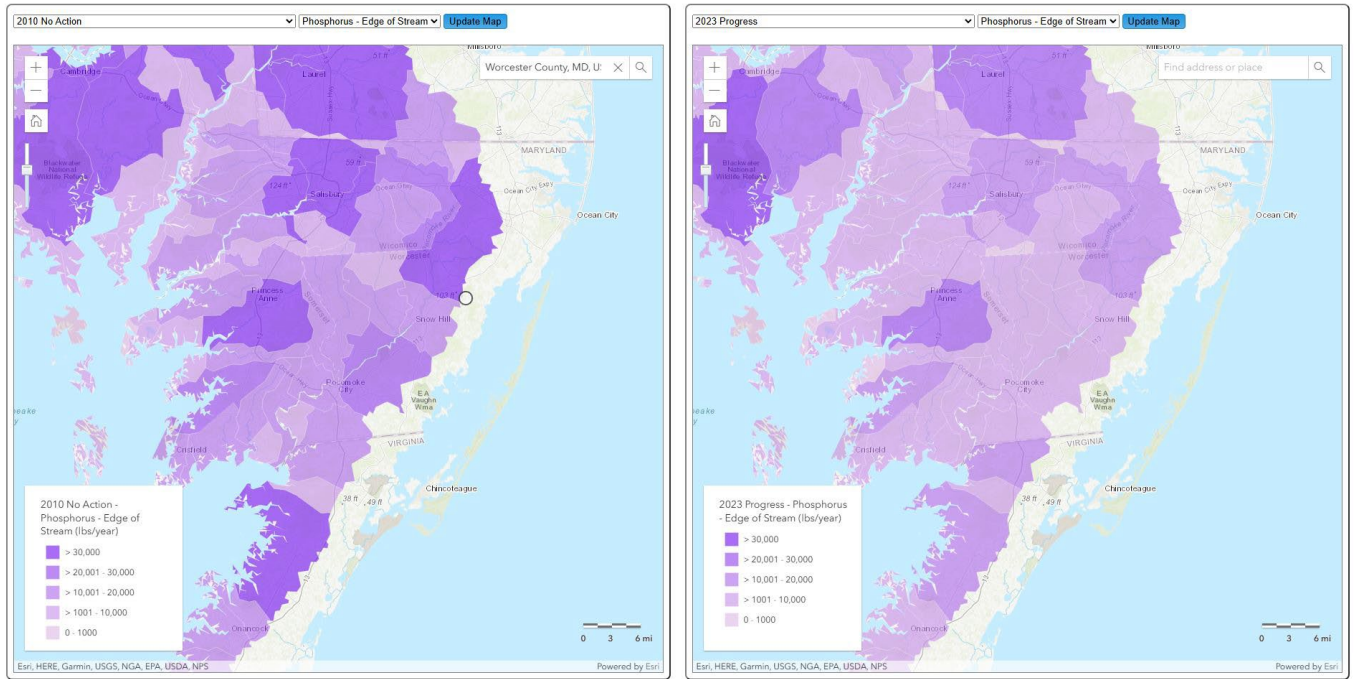
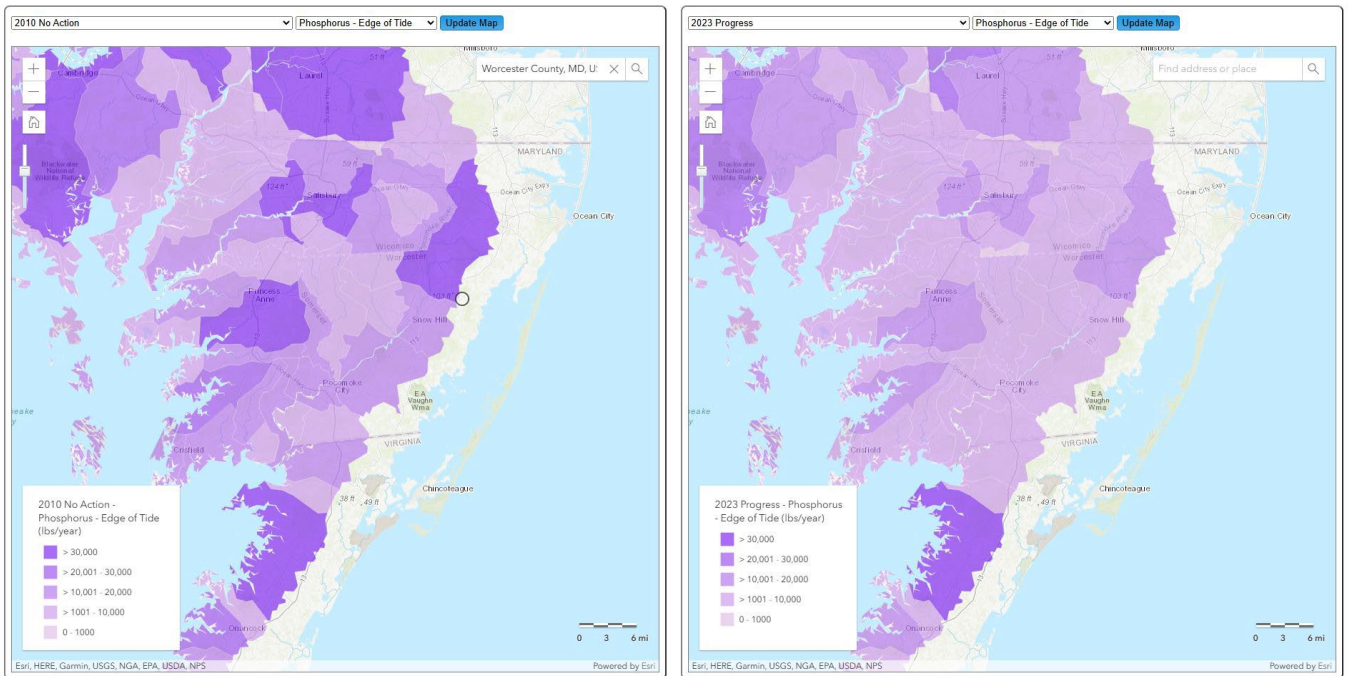


Figure 9-13. Phosphorus at Edge of Tide (lbs/yr) with No Action in 2010 and ongoing progress in 2023



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Figure 9-14. Nitrogen at Edge of Stream (lbs/yr) with No Action in 2010 and ongoing progress in 2023

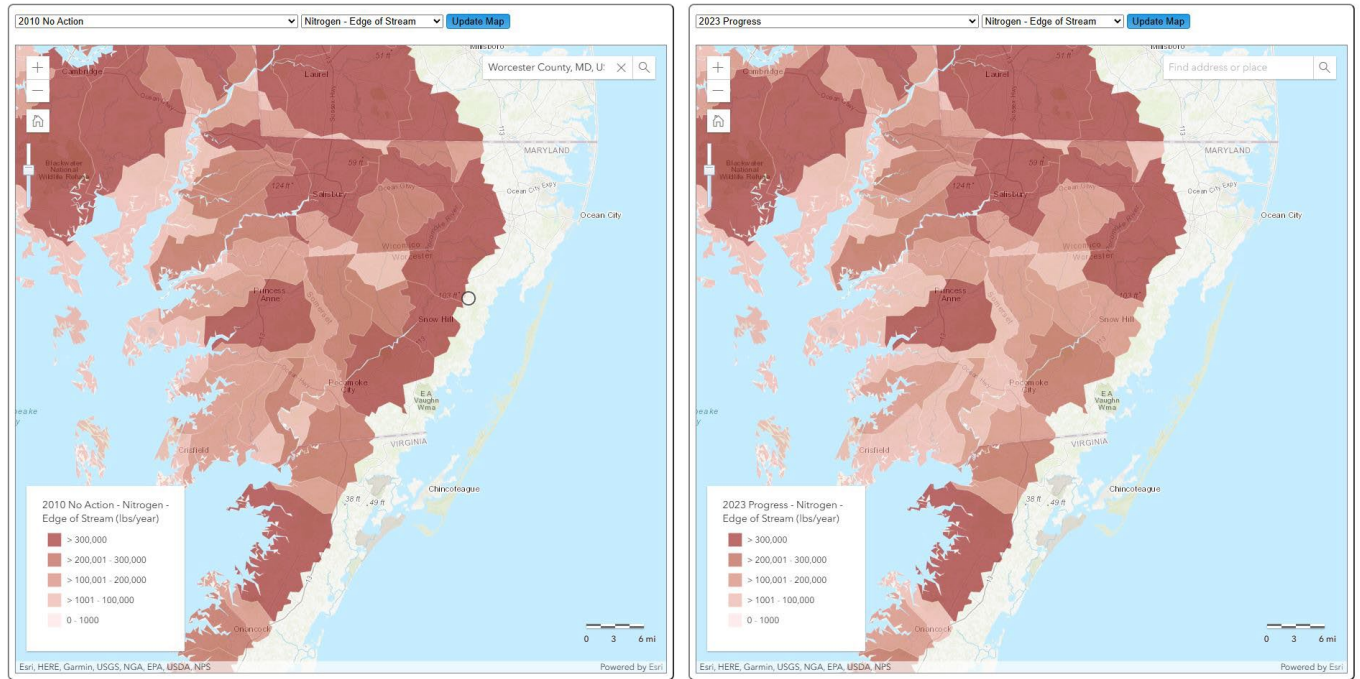
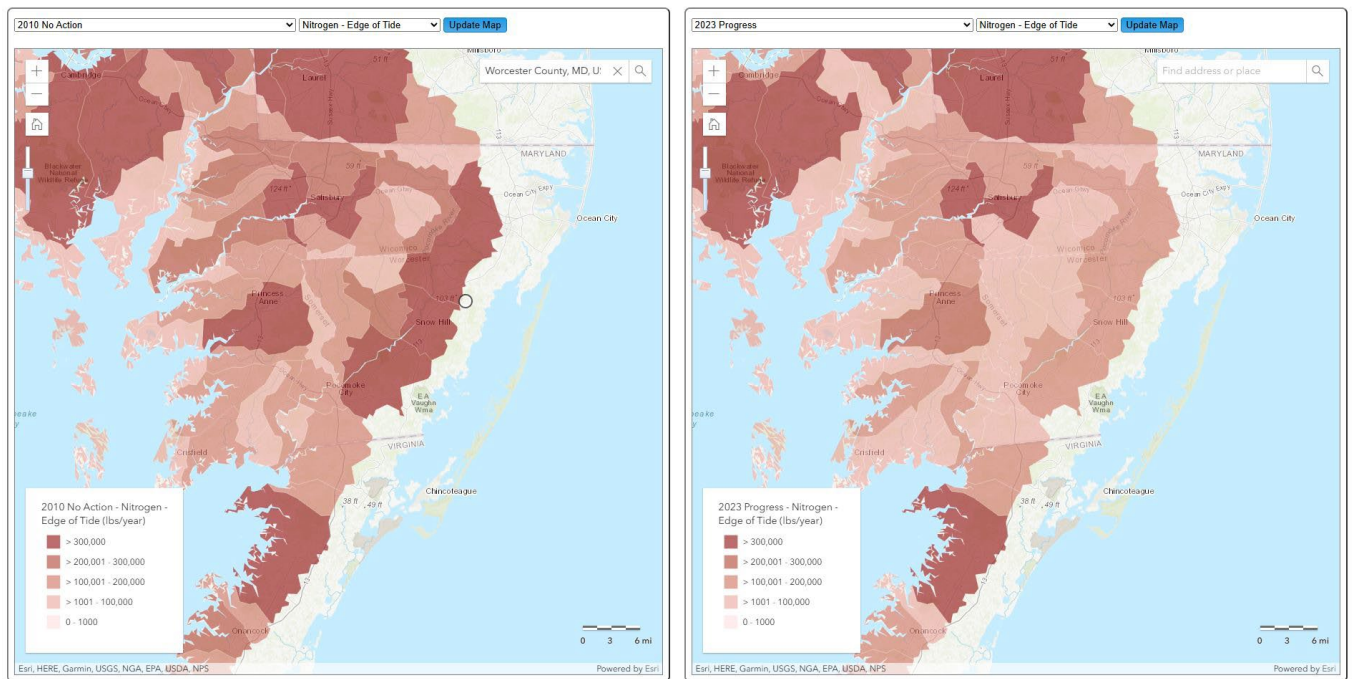


Figure 9-15. Nitrogen at Edge of Tide (lbs/yr) with No Action in 2010 and ongoing progress in 2023



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Table 9-14. Impervious Surfaces by Watershed

Watershed Name	Watershed Area (acres)	2014 Impervious Area (acres)	2025 Impervious Area (acres)	Percentage Increase in Impervious	Percentage of Watershed Area Impervious
Coastal Bays Watershed					
Assawoman Bay	12,802	1,195	1,329	11.2%	10.4%
Chincoteague Bay	89,293	300	573	91.0%	0.6%
Isle of Wight Bay	41,121	2,369	3,734	57.6%	9.1%
Newport Bay	32,492	813	1,244	53.0%	3.8%
Sinepuxent Bay	13,710	409	642	57.0%	4.7%
Chesapeake Bay Watershed					
Dividing Creek	26,320	208	303	45.5%	1.1%
Lower Pocomoke River	81,443	1,723	2,526	46.6%	3.1%
Nassawango Creek	25,997	259	332	28.2%	1.3%
Upper Pocomoke River	51,204	687	1,169	70.2%	2.3%
Wicomico Creek	70	1	1	11.9%	1.6%
Grand Total	374,452	7,964	11,853	48.8%	

Source: 2025 Aerial Imagery, GIS-based building footprints and streets layer.

The County’s current SWM Ordinance, adopted in 2014 by Bill No. 13-1, incorporate changes mandated by the State and referenced in the *2000 Maryland Stormwater Design Manual* and subsequent changes in Maryland regulations and outlined in MDE’s model ordinance. One of the significant changes outlined in this manual is a menu of non-structural best management practices (BMPs) that allowed for a more environmentally sensitive approach to site development.

Unlike other areas of the State, Worcester County has little to no relief in its topography, thus allowing for easier and more successful use of non-structural BMPs. These practices incorporate existing site conditions along with vegetative filtering practices to provide water quality on sites. Once approved and implemented they provide a profound impact on water quality. The relatively flat topography lengthens the amount of time stormwater runoff takes to reach receiving waters, thus allowing for more natural nutrient uptake from existing vegetation.

In July 2024 Worcester County adopted the County Critical Area Law to protect the Chesapeake Bay and Atlantic Coastal bays from the adverse impacts of development on water quality and natural habitats. The law establishes buffer requirements from tidal waters, wetlands and streams, limits forest clearing, requires mitigation for deforesting, and otherwise restricts development activities in certain areas.

Currently, Worcester County has over 1,600 permitted and approved SWM facilities as shown in **Figure 9-7**. After final approval and associated inspections, these facilities are inspected once every three years to ensure the functionality of the sites. Of the approved stormwater management facilities, almost 85 percent incorporate non-structural BMPs.



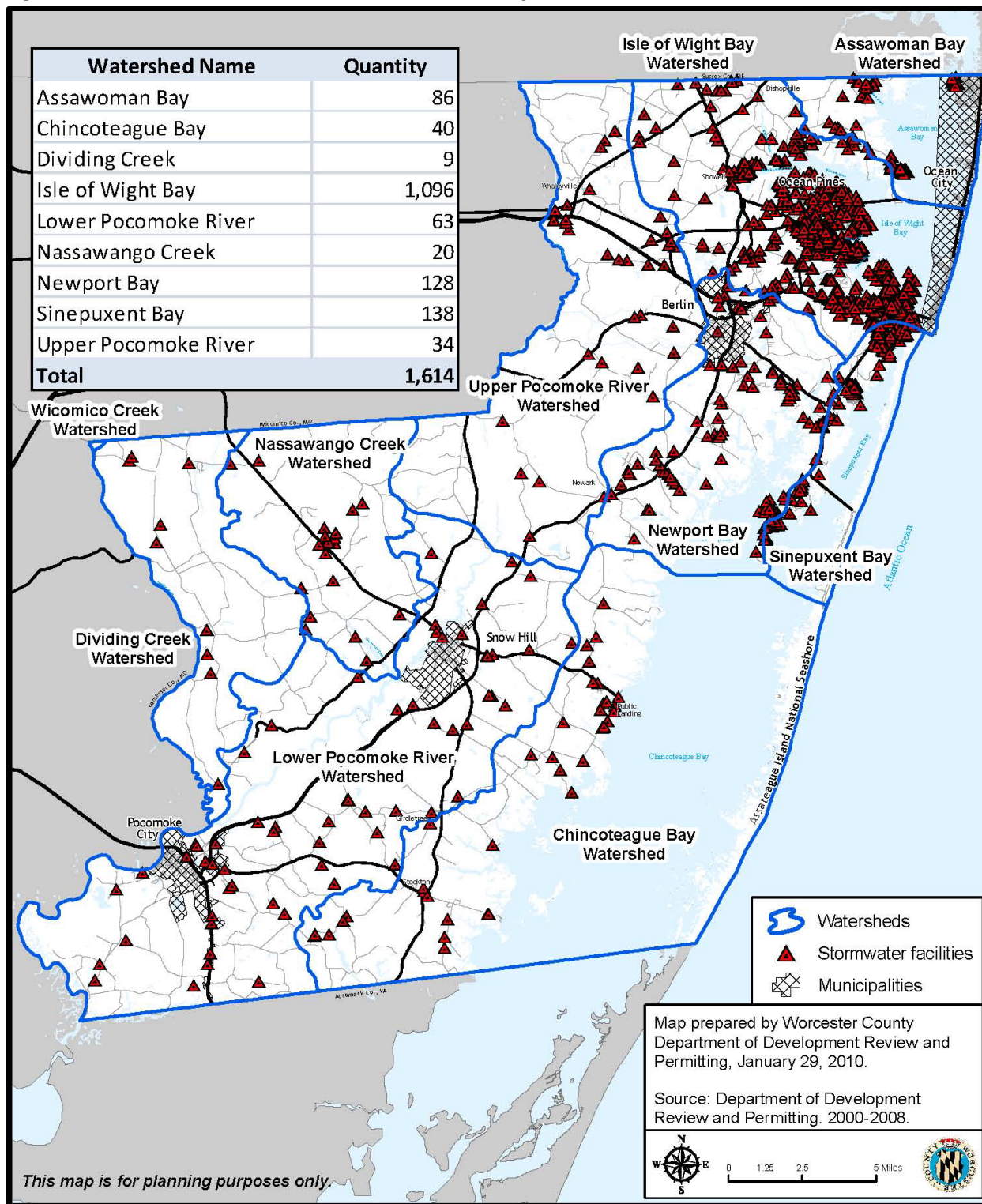
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Enforcement procedures in place in the local ordinance require developers and subsequent property owners to enter into inspection and maintenance agreements which bind properties to perpetual compliance with the approved stormwater management plan. This, along with strong oversight during construction, ensures the continued functionality of onsite SWM facilities.

In the next discussion, nutrient pollutant loads from urban stormwater and other nonpoint sources including agricultural and forests designated areas are assessed to determine its potential water quality impact.

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Figure 9-16. Stormwater Facilities in Worcester County



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Nonpoint Source Assessment

This assessment focused on two sources of nonpoint pollution: land use activities and septic systems. To understand the potential impact of septic systems, the County projected the future number of septic systems while considering their location, possibility of connecting systems to nearby WWTPs, and potential for upgrading systems to denitrification technologies.

Through this nonpoint source (NPS) assessment, the County quantified the potential nutrient load, specifically total nitrogen (TN) and total phosphorus (TP), each land use scenario and septic system could contribute at a watershed scale. This initial NPS assessment could supplement existing planning decision-making tools that help to identify appropriate places for future growth and development while protecting our natural resources.

This NPS assessment’s methodology is based on nutrient loading rates provided by the Chesapeake Bay Program as well as land use acreages and the number of septic systems in the County (**Tables 9-9 and 9-10**). These three variables are applied in the equations shown in **Table 9-16**. Based on this methodology and generalizations of the land, the County recognizes that the results described in this WRE NPS assessment do not reflect the *actual* amount of nutrients in the watershed, but demonstrate how different land use activities, given its size, location and nutrient loading potential, could impact a watershed’s water quality and wildlife habitat.

Additionally, for the purposes of this WRE, the County does not provide additional recommendations regarding air deposition but recognizes that it can contribute nutrients to water resources. EPA has committed to reducing air deposition of nitrogen to the tidal waters of the Chesapeake Bay and these reductions will be achieved through implementation of the Clean Air Act during the coming years (TMDL Implementation Letter dated 11-4-09, p. 34). The County will continue to work with federal and state agencies and assist where needed to comply with regulations. Following is a discussion focused on the land use scenarios. Then a quantitative assessment of septic systems is provided.

Table 9-15. Nutrient Loading Rates (lbs/ac/yr)

Nutrient loading rate	Forest	Agriculture	Urban	Pasture/Hay	Septic System (lbs/system/yr)	
					Outside Critical Area	Inside Critical Area
Total Nitrogen Load	1.7	13.5	8.0	4.0	6.0	12.0
Total Phosphorus Load	0.1	1.5	1.2	0.5	0.0	0.0

Source: Chesapeake Bay Program, 2024. Chesapeake Assessment and Scenario Tool (CAST) Version 2023, Phase 6-[7.14.1]. Chesapeake Bay Program Office, Last accessed [May, 2025].

For this NPS assessment the change in nutrient loadings were determined by taking the existing unconstrained A2 agricultural land (assuming a 30 percent conservation assumption) and assuming 50% of the unconstrained land is agriculture and 50 percent is pasture/hay. Although this assessment was conducted at a county-level and not a site-level, this broad-based planning exercise gave the County insight on how land use changes impact the environment. For this WRE, this assessment level is deemed appropriate and can translate into improving the implementation of environmental site design

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standards, assisting others with voluntary approaches that can help reduce nutrient loads, and informing the land use element of the *Comprehensive Plan*.

The land use scenarios used in this NPS assessment is based on land use maps that can be found in **Chapter 4 – Land Use**. A land use map generally shows where the County anticipates growth and development, identifies the natural resources that should be protected, and the preservation of agricultural landscapes. Its purpose is to help guide over-arching planning principles. Following is a discussion about how land use changes affected nutrient loads in each watershed.

Table 9-16. Nonpoint Source Assessment Equations

Equation ID	Result	Equation	Variable	Definition	Units
Eq. 1	Total nitrogen load	$TN = LR_n * LU$	TN	Total nitrogen load	lbs/yr
			LR_n	Nitrogen loading rate	lbs/ac/yr
			LU	Land use	acres
Eq. 2	Total phosphorus load	$TP = LR_p * LU$	TP	Total phosphorus load	lbs/yr
			LR_p	Phosphorus loading rate	lbs/ac/yr
			LU	Land use	acres
Eq. 3	Septic nitrogen load	$S_n = LR_{sn} * S_a$	S_n	Septic nitrogen load	lbs/yr
			LR_{sn}	Septic nitrogen load per system	lbs/sys/yr
			S_a	Number of septic systems	n/a
Eq. 4	Total nitrogen NPS load	$TNPS_n = S + TN$ or	$TNPS_n$	Total Nitrogen nonpoint source load	lbs/yr
Eq. 5	Total pollution load	$TPL_n = TNPS_n + TPS_n$ $TPL_p = TP + TPS_p$	TPL_x	Total N or P pollution load	lbs/yr
			TPS_x	Total N or P point source load	lbs/yr

Table 9-17. Nutrient Loads Due to Change in Land Use

	Ile of Wight	Lower Pocomoke	Newport
Area Agriculture to Urban (acre)	209.4	410.4	15.3
Nitrogen Load Decrease (lb/yr)	-1152	-2257	-84
Phosphorus Load Decrease (lb/yr)	-63	-123	-5
Area Pasture/Hay to Urban (acre)	209	410	15
Nitrogen Load Increase (lb/yr)	837	1641	61
Phosphorus Load Decrease (lb/yr)	147	287	11
Change in Nitrogen (lbs/yer)	-314	-616	-23
Change in Phosphorus (lbs/yr)	84	164	6

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Septic System Contribution

This assessment examines the contribution from septic systems during the planning 2026-2036.

Location and technology choices are regulated by State and local requirements. Some older septic systems, especially when located near the water, pose significant water quality problems. They contribute nutrients and pathogens to the nearby surface waters and groundwater. In the Critical Area, current standards require best available technology for new development and certain specific cases. State grants are now useful in converting existing outdated on-site septic systems to less damaging nutrient reduction technologies, but the continued availability of such funding is questionable.

Depending on the location of septic systems, each system may contribute 6 or 12 lbs of TN annually. There are no significant amounts of phosphorus leaching from septic systems. In Worcester County, septic systems within the Critical Area contribute 12 lbs/sys/yr of TN whereas septic systems outside of the Critical Area contribute 6 lbs/sys/yr of TN. Less nitrogen will enter the bays because of the distance traveled by groundwater which allows nitrogen removal processes to occur. Upgraded septic systems outside of the Critical Area were upgraded to enhance overall performance, not for denitrification. The following section quantifies the amount of nitrogen potentially leaching from septic systems in the Coastal Bays Watershed.

Table 9-18. Septic System Updates

Watershed Name	2011-2025		2026-2036	
	Outside Critical Area	Inside Critical Area	Outside Critical Area	Inside Critical Area
<i>Coastal Bays Watershed</i>				
Assawoman Bay	122	258	722	858
Chincoteague Bay	0	182	600	782
Isle of Wight Bay	1,059	618	1,659	1,218
Newport Bay	759	331	1,359	931
Sinepuxent Bay	74	173	674	773
Grand Total	2,014	1,562	5,014	4,562
<i>Chesapeake Bay Watershed</i>				
Dividing Creek	212	4	812	604
Lower Pocomoke River	1,476	171	2,076	771
Nassawango Creek	365	16	965	616
Upper Pocomoke River	781	11	1,381	611
Wicomico Creek	1	0	601	600
Grand Total	2,835	202	5,835	3,202



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Total Nonpoint Source Pollution Assessment: Stormwater and Septic Systems

This section discusses the cumulative amount of total nitrogen and total phosphorus entering local waterways from nonpoint sources if future growth patterns mirrored land use designations and projected contributions from septic systems were realized. To begin, this section first addresses total nitrogen (TN) followed by a discussion on total phosphorus (TP).

Table 9-19. Septic System Nitrogen Loads, Chesapeake Bay Watershed

Watershed Name	No. Septic (2025)	Potential Lots	Expected No. Septic (2035)	Change in no. of septic systems	Change in Nitrogen Loads
Lower Pocomoke River Watershed	1,647	1,425	1,700	53	-10
Inside Critical Area	171	0	104	-67	-804
Outside Critical Area	1,476	1,425	1,608	132	794
Upper Pocomoke River Watershed	792	763	863	71	425
Inside Critical Area	11	0	11	0	0
Outside Critical Area	781	763	852	71	425
Nassawango Creek Watershed	381	365	415	34	203
Inside Critical Area	16	0	16	0	0
Outside Critical Area	365	365	399	34	203
Dividing Creek Watershed	216	211	236	20	118
Inside Critical Area	4	0	4	0	0
Outside Critical Area	212	211	232	20	118
Wicomico Creek Watershed	1	1	1	0	1
Inside Critical Area	0	0	0	0	0
Outside Critical Area	1	1	1	0	1
Total Inside CA	202	0	135	-67	-804
Total Outside CA	2,835	2,765	3,092	257	1,541
Grand Total	3,037	2,765	3,215	178	737

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Table 9-20. Septic System Nitrogen Loads, Coastal Bay Watershed

Watershed Name	No. Septic (2025)	Potential Lots	Expected No. Septic (2035)	Change in no. of septic systems	Change in Nitrogen Loads
Assawoman Bay	380	372	415	35	349
Inside Critical Area	258	254	282	24	283
Outside Critical Area	122	118	133	11	66
Chincoteague Bay	182	717	249	67	501
Inside Critical Area	182	182	199	17	203
Outside Critical Area	0	535	50	50	298
Isle of Wight Bay	1,677	1,476	1,739	62	406
Inside Critical Area	618	599	624	6	68
Outside Critical Area	1,059	877	1,115	56	339
Newport Bay	1,090	919	1,095	5	-171
Inside Critical Area	331	282	297	-34	-406
Outside Critical Area	759	637	798	39	235
Sinepuxent Bay	247	211	262	15	150
Inside Critical Area	173	165	183	10	124
Outside Critical Area	74	46	78	4	26
Total Inside CA	1,562	1,482	1,585	23	272
Total Outside CA	2,014	2,213	2,175	161	963
Grand Total	3,576	3,695	3,759	183	1,235

Cumulative Recommendations

The WRE commits Worcester County to integrating climate resilience throughout its water management framework, requiring annual monitoring and public reporting of water and wastewater performance, and establishing measurable targets for nutrient reduction, water conservation, and infrastructure resilience. New funding mechanisms, including impact fees, stormwater utilities, and state/federal grants, will be pursued to support these goals. Together, these policies will ensure that Worcester County's water resources remain resilient, sustainable, and capable of supporting both community and ecological needs well into the future.



Worcester County Comprehensive Plan Update

COMMISSIONERS MEETING
OCTOBER 21, 2025

AGENDA

- Draft Water Resources Element
- Questions
- Review Schedule

Draft Water Resources Element

Water Resources Goals and Objectives

The goal of the WRE is to preserve and protect the County's existing water resources for their ecological value and importance to the water supply, while also addressing the impacts of future growth.

To strengthen accountability, the County will establish measurable objectives as listed below:

- Provide Adequate Public Services
- Protect Drinking Water Supplies
- Preserve Ecological Functions
- Accommodate Growth Through Compact Patterns
- Ensure that Future Development Minimizes Disruption to Environmental Resources

Water Resources Components

Water Supply – Current Conditions and Groundwater

Water Supply Assessment and Rural Water Supply

Water System Conclusion and Recommendations

Wastewater Services

Current Wastewater Conditions

Pollution Impacts

Future Wastewater Services

Septic and Point Source Pollution Assessment

Stormwater Management and Nonpoint Source Assessment

Stormwater Management Assessment

Nonpoint Source Assessment

Total Nonpoint Source Pollution Assessment: Stormwater and Septic Systems

Water Resources Cumulative Recommendations

The WRE commits Worcester County to integrating resilience throughout its water management framework, through annual monitoring and public reporting of water and wastewater performance, and establishing measurable targets for nutrient reduction, water conservation, and infrastructure resilience.

New funding mechanisms, such as impact fees, stormwater utilities, and state/federal grants, can be pursued to support these goals. Together, these policies will ensure that Worcester County's water resources infrastructure remains resilient, sustainable, and capable of supporting community and ecological needs into the future.



Questions

Review Schedule

