

WORCESTER COUNTY PLANNING COMMISSION AGENDA

Thursday, December 5, 2024

Worcester County Government Center

One West Market St., Room 1102

Snow Hill, Maryland 21863

The public is invited to view this meeting live: <https://worcestercountymd.swagit.com/live>

I. Call to Order (1:00 p.m.)

II. Administrative Matters

A. Planning Commission Work Session Minutes – November 14, 2024

B. Board of Zoning Appeals Agenda – December 12, 2024

C. Technical Review Committee Agenda – December 11, 2024

III. Text Amendments

A. §ZS 1-324(c)(9) Internal Community Signs

B. §ZS 1-201(c)(34) – Private, noncommercial buildings for the storage of personal property in the A-1 Agricultural District

IV. Site Plan Reviews

A. Sunset Marine Park – Major Site Plan Review

Site development consisting of a 23,755 sq. ft. watercraft service building. Located between Sunset Avenue and Old Bridge Road, approximately 1,200 feet east of the intersection of Sunset Avenue and MD Route 611, Tax Map 27, Parcels 264 & 589, Tax District 10, C-2 General Commercial / R-3 Multi-family Residential, Old Bridge Sunset Holdings, LLC, owner/ GMB, LLC, architect/engineer.

B. Eastern Shore Natural Gas – Major Site Plan Review

Proposed five (5) 100,000-gallon liquefied natural gas storage tanks with ancillary equipment necessary to re-gasify the natural gas for transport to Eastern Shore’s existing pipeline system which currently runs along US 113. The facility includes liquefied natural gas truck offloading area and turnaround. It also includes impoundment areas, vapor barrier walls, and chain-link security fence installed around the operating area of the facility. A land-locked parcel located approximately 1,300 feet west of Rt. 113 approximately 1,800 feet north of the intersection of Rt. 113 and Jarvis Road, Tax Map 9, Parcel 47, Tax District 5, A-1 Agricultural District, Eastern Shore Natural Gas, owner / Morris and Ritchie Associates, surveyor

V. Miscellaneous

VI. Adjournment

**WORCESTER COUNTY PLANNING COMMISSION
WORK SESSION
MEETING MINUTES – November 14, 2024**

Meeting Date: November 14, 2024

Time: 1:00 P.M.

Location: Worcester County Government Office Building, Room 1102

Attendance:

Planning Commission

Phyllis Wimbrow, Vice Chair

Mary Knight, Secretary

Kathy Drew

Marlene Ott

Betty Smith

Staff

Jennifer Keener, Director, DRP

Matt Laick, Deputy Director, DRP

I. Call to Order

II. Comprehensive Plan Work Session

As the first item of business, the Planning Commission met with Michael Bayer, Ayesha Bilal and Ainsley Pressl from Wallace Montgomery to discuss the draft Housing Element of the proposed Worcester County Comprehensive Plan.

Mr. Bayer explained that this version is a first draft, and as other elements are reviewed, additional data is assembled, and stakeholder feedback is obtained, the draft will continue to be updated and refined. A brief explanation was provided on the status of the existing development capacity analysis, which will provide inputs into the Land Use Map and Water Resources Element (WRE). Staff and the consultant will be reaching out to the municipalities to schedule meeting(s) to discuss desired growth areas, which will then be brought to the Planning Commission for their consideration and to develop action items for the Housing Element. Mrs. Keener explained the Housing Study that will be undertaken in 2025 with a grant provided by the Maryland Department of Housing and Community Development.

The Planning Commission evaluated the housing chapter goal which is: “All Worcester County residents should be able to live in comfortable, safe and affordable housing.” This goal was taken from the 2006 Plan, and the Planning Commission agreed to carry it forward.

During the discussion, the Planning Commission made the following comments and/or recommendations:

- The Planning Commission again noted that Worcester County has limited public sewer availability, is in dire need of housing, and that there are restrictive regulations on septic

**WORCESTER COUNTY PLANNING COMMISSION
WORK SESSION
MEETING MINUTES – November 14, 2024**

systems. Therefore, we cannot solve the housing issue until the wastewater issues are resolved.

- It was recommended that they consider adding language to new objective #3 or #6 pertaining to “downsizing” for retirees, including assisted living or independent living options to permit aging in place.
- A question was posed about the definition of the term “under-housing” (new objective #9). It is defined as transitional or temporary housing. Mr. Bayer noted that they are still collecting more information about homelessness and under-housing in the county, so this objective and the title block for qualitative discussion serve as a placeholder. The final Plan document will have a glossary that will define these types of terms.
- It was recommended that the nomenclature “apartment” in Table 5-2 Housing Types, be changed to “units”, as it could include duplexes and townhouses, which aren’t apartments.
- The Planning Commission highlighted the vacancy rate for dwelling units in Figure 5-1 Comparison of Occupancy Rates in Eastern Shore Counties and requested additional language to elaborate upon why Worcester County has such a high vacancy rate (59%) and the circumstances that impact that.
- The Planning Commission acknowledged the differences in the northern and southern ends of the county, not only with land and dwelling values, but the size of dwellings that are being constructed to make the economics work.
- Overall, the Planning Commission acknowledged that the chapter was very data intensive, and it was recommended that some of the charts be relocated to an appendix.

The next work session will be held on Thursday, December 19, 2024, to discuss the Sensitive Areas Element.

III. Adjourn

Mary Knight, Secretary

Jennifer Keener, Director

**NOTICE OF PUBLIC HEARING
WORCESTER COUNTY
BOARD OF ZONING APPEALS
AGENDA**

THURSDAY DECEMBER 12, 2024

Pursuant to the provisions of the Worcester County Zoning Ordinance, notice is hereby given that a public hearing will be held in-person before the Board of Zoning Appeals for Worcester County, in the Board Room (Room 1102) on the first floor of the Worcester County Government Center, One West Market Street, Snow Hill, Maryland. Audio and video recording will take place during this public hearing.

The public is invited to view this meeting live online at - <https://worcestercountymd.swagit.com/live>

6:30 p.m.

Case No. 24-75, on the lands of Zachary Rishkofski, requesting a variance to the front yard setback from 75 feet to 63.17 feet (to encroach 11.83 feet) to construct a roof over an existing front porch in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2) and ZS 1-305, located at 10308 Golf Course Road, Tax Map 22, Parcel 287, Lot 7, Tax District 10, Worcester County, Maryland.

6:35 p.m.

Case No. 24-70, on the lands of Peter Ayers Wimbrow III, on the application of Hugh Cropper, IV, requesting a variance to reduce the Atlantic Coastal Bays Critical Area Buffer from 15 feet to 7 feet (to encroach 8 feet) for a proposed single-family dwelling in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(m) and ZS 1-305 and Natural Resources Code §§ 3-104(c)(4) and NR 3-111, located at 6 Pine Cone Way, Tax Map 21, Parcel 293, Lot 140B, Tax District 10, Worcester County, Maryland.

6:40 p.m.

Case No. 24-72, on the lands of Angela Gould, on the application of Hugh Cropper IV, requesting a variance to the front yard setback from 50 feet to the center of the road right-of-way to 45.1 feet (to encroach 4.9 feet) for a replacement two-story residence on existing pilings; and a variance to the front yard setback from 50 feet to the center of the road right-of-way to 42.1 feet (to encroach 7.9 feet) for a proposed 3' by 5' chimney in the R-2 Suburban Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-206(b)(2) and ZS 1-305, located at 12417 Meadow Drive, Tax Map 33, Parcel 346, Lots 41, 42 and 43, Tax District 10, Worcester County, Maryland. The requested variances are in addition to previous setback variances granted by the Board for a proposed addition and open deck.

6:45 p.m.

Case No. 24-73, on the lands of Harbor Court LLC, on the application of Hugh Cropper, IV, requesting a variance to the front yard setback off of Golf Course Road from 75 feet to the center of the road right-of-way to 33 feet (to encroach 42 feet) for a swimming pool; and two variances to the front yard setback off of Golf Course Road from 75 feet to the center of the road right-of-way to 27.5 feet (to encroach 47.5 feet) for two gazebos, in the R-3 Multi-Family Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(4), ZS 1-207(b)(2) and ZS 1-305 located at 12803 Memory Lane, Tax Map 27, Parcel 307, Lots 29 & 30, Tax District 10, Worcester County, Maryland. The requested variances are in addition to previous variances granted by the Board for a proposed two-story dwelling and a detached garage with an accessory apartment.

6:50 p.m.

Case No. 24-71, on the application of Maryland Coastal Bays Program, on the lands of the State of Maryland, Ruark Family LP, and Assateague Island National Seashore, requesting a modification to extend waterfront structures in excess of 125 feet by 18 feet, 25 feet, 29 feet and 150 feet for construction of a proposed living shoreline project extending to a maximum of 275 feet channelward, pursuant to Natural Resources Code §§ NR 2-102(e)(1) and Zoning Code §§ ZS 1-116(n)(3), located at 7000 Rum Pointe Road, Tax Map 42, Parcels 8, 36, and 40, Tax District 10, Worcester County, Maryland.

6:55 p.m.

Case No. 24-69, on the lands of Riverview Park LLC, on the application of Rauch Inc., requesting a special exception to construct a wastewater treatment facility to accommodate the enlargement of a mobile home park and a variance to the 300 foot setback requirement from the facility to other buildings not associated with the facility to 100 feet (to encroach 200 feet) in the R-4 General Residential District, pursuant to Zoning Code §§ ZS 1-116(c)(3), ZS 1-116(c)(4), ZS 1-208(c)(9) and ZS 1-328(c), located at 12623 Shell Mill Road, Tax Map 9, Parcels 167 and 268, Tax District 5, Worcester County, Maryland.

Administrative Matters

**WORCESTER COUNTY TECHNICAL REVIEW COMMITTEE
AGENDA**

**Wednesday, December 11, 2024 at 1:00 p.m.
Worcester County Government Center, Room 1102, One West Market Street,
Snow Hill, Maryland 21863**

- I. **Call to Order**

- II. **Site Plan Review (§ ZS 1-325)**
 - A. **Crepe Myrtle Court (Previously known as Shadyside Village) – Step 1 Residential Planned Community (RPC) Review**

Proposed 25 unit residential development, south side of MD Route 707 (Old Bridge Road), west of Greenbridge Lane, Tax Map 26, Parcel 157, Tax District 10, R-4 General Residential, Kathleen Clark, owner / Iott Architecture, surveyor/engineer.
 - B. **Coastal Square Residential – Major Site Plan Review**

Proposed 168 Apartment Units (7-24 unit buildings) with associated open space, corner of Racetrack Road and Route 50 along Samuel Bowen Boulevard, Tax Map 26, Parcels 474 and 320, Tax District 03, C-3 Highway Commercial, Coastal Square LLC, owner / Becker Morgan Group, Inc. Engineer.
 - C. **Ritual Pizza and Retail Shop – SKETCH Plan Review**

Proposed 1,339 carryout restaurant with covered porch and a 1,489 s.f. retail store. Located at 9724 Stephen Decatur Highway, Tax Map 27, Parcel 499, Lot 25, Tax District 10, C-2 General Commercial, 9724B Holdings LLC, owner / Stephen Kansak, Site Designer.

- III. **Adjourn**



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL:410.632.1200 / FAX: 410.632.3008

www.co.worcester.md.us/drp/drpindex.htm

ZONING DIVISION
BUILDING DIVISION
ADMINISTRATIVE DIVISION

DATA RESEARCH DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

To: Worcester County Planning Commission
From: Jennifer K. Keener, AICP, Director
Date: November 12, 2024
Re: Text Amendment Application – §ZS 1-324(c)(9) Internal Community Signs

John Viola, General Manager, on behalf of the Ocean Pines Association, has submitted a text amendment application to amend §ZS 1-324(c)(9) as it pertains to the internal community sign provisions within an established community or subdivision. A copy of the draft bill language is attached for your consideration.

The text amendment application was distributed to staff for review and comment. The Planning Commission shall review the request and make a recommendation to the Worcester County Commissioners (favorable or unfavorable) and can make recommendations for changes to the proposed language. If at least one County Commissioner introduces the amendment as a bill, then a public hearing date will be set for the Commissioners to obtain public input prior to acting on the request.

BACKGROUND

In 2020, DRP staff worked with committee members of the Ocean Pines Association to develop the existing internal community sign language who had expressed the need for promoting events and activities within the subdivision. As these new signs were permitted, the changeable letter signs that are located throughout the medians of Ocean Parkway would be removed. Bill 21-1 was passed in February 2021, a copy of which is attached. To date, DRP has issued permits for three internal community signs in Ocean Pines.

DISCUSSION

While the initial and proposed text amendment were submitted by the Ocean Pines Association, the Planning Commission must keep in mind that this bill is applicable to any established community as shown on a site plan or subdivision plat approved by the Planning Commission.

The current request stems from recent inquiries into the placement of signs near the Sports Core pool, as well as along Manklin Creek Road at the South Gate. The property is currently zoned C-

2 General Commercial District. Since the commercial districts are not one that permit this type of sign, the applicant is requesting to add the commercial zone to the list of permitted districts.

The amendment also seeks to allow two electronic messaging signs on the same parcel, as the two proposed signs described above would be located on Lot D4 of the Ocean Pines Sports Core subdivision. While two internal community signs would be permitted on the same parcel, the sign code in general limits electronic messaging signs to no more than one per lot or parcel. The provision for two electronic messaging signs would be limited to internal community signs only. Such signs would still be required to be separated by not less than 100 feet from any other sign on the same parcel or lot, and 450 feet from the perimeter of the subdivision.

Ms. Kristen Tremblay, AICP, Zoning Administrator, stated in her comments that while she does not have concerns with allowing such signs in the commercial districts, she is concerned that the second electronic messaging sign is not necessary. It could result in visual clutter, or potentially open the door for similar requests for regular commercial business signage in the future.

RECOMMENDATION

Overall, the staff finds that allowing such signs in the commercial zoning districts is a reasonable request. Many communities have commercial zoning within their boundaries, and the restrictive separation distances that exist would limit visual clutter.

Staff does have concerns about the provision for two electronic messaging signs on the same parcel as outlined above. One solution to resolve the applicant's specific situation would be to evaluate the creation of another outlot, separating the signs with a new parcel boundary.

As always, I will be available at your upcoming meeting to discuss any questions or concerns that you have regarding the proposed amendment.

Attachments

cc: Roscoe Leslie, County Attorney
Matt Laick, GISP, Deputy Director
Kristen Tremblay, AICP, Zoning Administrator
John Viola, General Manager, OPA
File

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND

BILL 24-

BY:
INTRODUCED:

A BILL ENTITLED

AN ACT Concerning

Zoning – Signs

For the purpose of amending the Zoning and Subdivision Control Article to modify the provisions for on-premises signs internal to an established residential community.

Section 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § ZS 1-324(c)(9)B of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be amended to read as follows:

B. Such signs may be located in any R, E, V or C zoning district.

Section 2. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that existing Subsection § ZS 1-324(c)(9) of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be amended with the inclusion of a new subsection F:

F. Notwithstanding the provisions of § ZS 1-324(e)(2)J, no more than two electronic messaging signs shall be permitted on the same parcel or lot.

Section 3. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that this Bill shall take effect forty-five (45) days from the date of its passage.

PASSED this _____ day of _____, 2024.

ATTEST:

COUNTY COMMISSIONERS OF
WORCESTER COUNTY



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
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ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

MEMORANDUM

To: Jennifer K. Keener, AICP, Director; Matthew Laick, GISP, Deputy Director
From: Kristen M. Tremblay, AICP, Zoning Administrator
Date: November 8, 2024
Re: Zoning Ordinance Proposed Text Amendment – Internal Community Signs

Thank you for providing me with an opportunity to comment on the proposed text amendment requested by John Viola, General Manager, Ocean Pines Association.

The proposal seeks to allow the addition of internal community signage to commercial zoning districts and allow for two (2) electronic signs on the same parcel or lot.

After consideration, I do not have concerns with allowing internal community signage within the commercial zoning districts.

What does concern me however is the request for a second electronic sign. While the code addresses the ‘functioning’ of the sign, such as not having flashing, rotating, or scrolling screens, etc., it does not state why these matters are important. The visual distraction caused by electronic signs has the potential to be even more significant than a static sign, particularly for drivers.

Under current regulations, regular businesses are only permitted to have one (1) electronic sign. My concern is that not only does allowing a second electronic sign open up the potential for regular businesses to also request a similar text amendment creating more visual clutter throughout the County, but that even if properly managed and in alignment with the code required functions of the signage, it is but another distraction to drivers. As Ocean Pines and other communities regularly experience ‘snipe’ signs, the additional visual clutter may be unwelcome to some community residents. Moreover, community news may be found easily online.

I do not think a second electronic sign is necessary.

Please let me know if you have any other questions.



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ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

To: Roscoe Leslie, County Attorney
Kristen Tremblay, AICP, Zoning Administrator
Matthew Laick, GISP, Deputy Director
From: Jennifer K. Keener, AICP, Director
Date: September 23, 2024
Re: Text Amendment Application – §ZS 1-324(c)(9) Internal Community Signs

John Viola, General Manager, Ocean Pines Association, has submitted a text amendment application to amend §ZS 1-324(c)(9) as it pertains to the internal community sign provisions within an established community or subdivision. A copy of the draft bill language is attached for your consideration.

In 2020, DRP staff worked with committee members of the Ocean Pines Association to develop the existing internal community sign language as they had expressed the need for promoting events and activities within the subdivision. As these new signs were permitted, the changeable letter signs that are located throughout the medians of Ocean Parkway would be removed.

The current request stems from recent inquiries into the placement of signs near the Sports Core pool, as well as along Manklin Creek Road at the South Gate, which is currently zoned C-2 General Commercial District. Therefore, the applicant is requesting to add the commercial zone to the list of permitted districts.

The amendment also seeks to allow two electronic messaging signs on the same parcel, as the two proposed signs described above would be located on Lot D4 of the Ocean Pines Sports Core subdivision. § ZS 1-324(e)(2)J limits electronic messaging signs to no more than one per lot or parcel.

I am currently working with the applicant to establish the meeting date, which would be no earlier than the November 7, 2024, Planning Commission meeting. Therefore, please send any comments you may have on the application by **Wednesday, October 16, 2024**, so that I may finalize the staff report.

If you have questions or need additional information, please let me know.

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND

BILL 21-2

BY: Bertino, Bunting, Church, Elder, Mitrecic, Nordstrom and Purnell
INTRODUCED: January 5, 2021

A BILL ENTITLED

AN ACT Concerning

Zoning – Signs

For the purpose of amending the Zoning and Subdivision Control Article to permit on-premises signs internal to an established residential community.

Section 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that existing § ZS 1-324(c) be amended by the addition of a new Subsection § ZS 1-324(c)(9) to read as follows:

- (9) Internal community signs shall be located within the boundaries of an established community as shown on a site plan or subdivision plat approved by the Planning Commission. Internal community signs shall only be for the purpose of conveying community events, amenity and emergency information and shall not include any commercial advertising message unassociated with the community. Such signs may be permitted subject to the following provisions:
- A. No more than eight such signs shall be permitted for any community.
 - B. Such signs may be located in any R, E or V zoning district.
 - C. All signs shall be setback a minimum of four hundred and fifty feet from the perimeter boundary line of the established community and shall be separated by not less than one hundred feet from any other sign on the same parcel or lot.
 - D. Such signs shall not be subject to any yard setback requirements; however, no sign shall project over any property line or road right-of-way.
 - E. The sign must be of a monument design and shall not exceed either forty square feet in area or ten feet in height, including the base and face. Where the grade at the sign base is below the road center line, the area in which the sign is situated may be bermed to the center line grade. The provisions of the subsection may not be increased or otherwise altered by the Board of Zoning Appeals.

Section 2. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that this Bill shall take effect forty-five (45) days from the date of its passage.

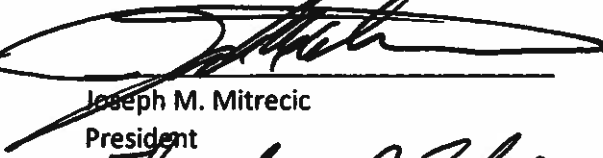
PASSED this 16th day of February, 2021.

Attest:

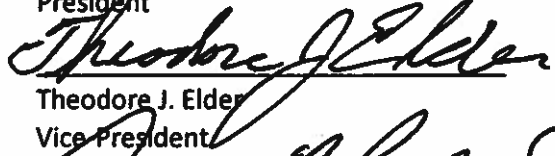


Harold L. Higgins
Chief Administrative Officer

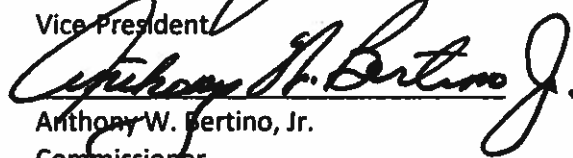
Worcester County Commissioners



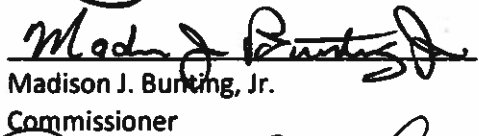
Joseph M. Mitrecic
President



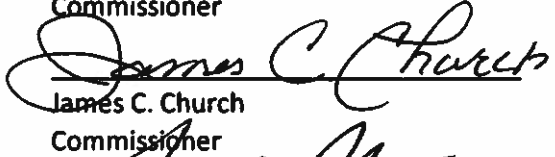
Theodore J. Elder
Vice President



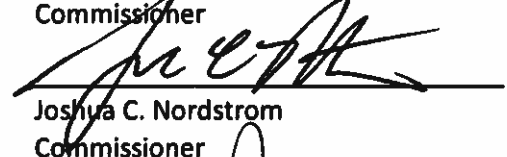
Anthony W. Bertino, Jr.
Commissioner



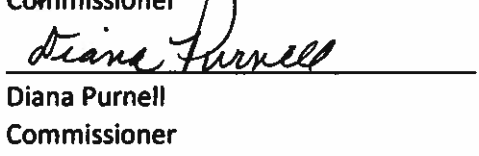
Madison J. Bunting, Jr.
Commissioner



James C. Church
Commissioner



Joshua C. Nordstrom
Commissioner



Diana Purnell
Commissioner



Worcester County Commissioners
Worcester County Government Center
One W. Market Street, Room 1103
Snow Hill, Maryland 21863

**PETITION FOR AMENDMENT TO THE OFFICIAL TEXT
OF THE ZONING AND SUBDIVISION CONTROL ARTICLE**

(For Office Use Only - Please Do Not Write in this Space)

Date Received by Office of the County Commissioners

Date Received by Development Review and Permitting

Date Reviewed by the Planning Commission

- I. Application: Proposals for amendments to the text of the Zoning and Subdivision Control Article may be made by any interested person who is a resident of Worcester County, a taxpayer therein, or by any governmental agency of the County. Check applicable status below:
- a. Resident of Worcester County: (See below)
 - b. Taxpayer of Worcester County: (See below)
 - c. Governmental Agency: N/A The applicant is the Ocean Pines Association, Inc.
- II. Proposed Change to Text of the Zoning and Subdivision Control Article
- a. Section Number: Section: ZS 1-324(c)(9)
 - b. Page Number: Page Number: ZS 1:III: 114
 - c. Proposed revised text, addition or deletion:

*See attached.

Reasons for Requesting Text Change:

d. Please list reasons or other information as to why the proposed text change is necessary and therefore requested:

Ocean Pines wishes to remove signage on Ocean Parkway medians to improve safety and beautification our community and add two electronic signs.

We are requesting to have one electronic sign along Manklin Creek Road and another along Cathell Road. Both signs will be located on Ocean Pines property and are crucial in achieving our goal of providing important information to our residents in an effective and timely manner.

Both signs will have the look of our current Monument style signs.

III. Signature of Applicants

Signature(s):

Printed Name(s): John Viola

Mailing Address: 239 Ocean Parkway, Ocean Pines, MD 21811

Phone Number: 410-641-7717

Email: jviola@oceanpines.org

Date: 9/17/2024

IV. Signature of Attorney

Signature:

Printed Name:

Mailing Address:

Phone Number:

Email:

Date:

EE
9/12/24

-
- V. General Information Relating to the Text Change Process
- a. Applications for text amendments shall be addressed to and filed with the Office of the County Commissioners. The required filing fee must accompany the application.

- b. Procedure for Text Amendments: Text amendments shall be passed by the County Commissioners of Worcester County as Public Local Laws according to legally required procedures, with the following additional requirements. Any proposed amendment shall first be referred to the Planning Commission for recommendation. The Planning Commission shall make a recommendation within a reasonable time after receipt of the proposed amendment. After receipt of the recommendation of the Planning Commission, the County Commissioners shall hold at least one public hearing in relation to the proposed amendment, at which parties and interested citizens shall have an opportunity to be heard. At least fifteen (15) days notice of the time and place of such hearing and the nature of the proposed amendment shall be published in an official paper or a paper of general circulation in Worcester County. In the event no County Commissioner is willing to introduce the proposed amendment as a bill, it will not be considered.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

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ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

To: Worcester County Planning Commission
From: Jennifer Keener, AICP, Director
Date: November 21, 2024
Re: Text Amendment Application – Add a new subsection §ZS 1-201(c)(34) – Private, noncommercial buildings for the storage of personal property in the A-1 Agricultural District

Jonathan Anders has resubmitted a text amendment application to add a special exception use to the A-1 Agricultural District to allow private, noncommercial buildings for the storage of personal property. A copy of the draft bill language is attached for your consideration.

The language contained in the draft bill mirrors the bill that was reviewed in April 2024 and given a favorable recommendation by the Planning Commission. The bill was introduced by the Worcester County Commissioners, but at the June 18, 2024, public hearing, the amendment failed for a lack of a second on the motion to approve.

A copy of the prior staff reports, as well as the recommendation of the Planning Commission is attached. As the amendment has not changed, Staff has no additional comment to provide on this request.

As is the case with all text amendment applications, the application was distributed to staff for review and comment. The Planning Commission shall review the request and make a recommendation to the Worcester County Commissioners (favorable or unfavorable) and can make recommendations for changes to the proposed language. If at least one County Commissioner introduces the amendment as a bill, then a public hearing date will be set for the Commissioners to obtain public input prior to acting on the request.

COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND

BILL 24-

BY:
INTRODUCED:

A BILL ENTITLED

AN ACT Concerning

Zoning – Private, noncommercial storage buildings in the A-1 Agricultural District

For the purpose of amending the Zoning and Subdivision Control Article to allow as a special exception use private, noncommercial buildings for the storage of personal property without a principal residence.

Section 1. BE IT ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that Subsection § ZS 1-201(c)(34) of the Zoning and Subdivision Control Article of the Code of Public Local Laws of Worcester County, Maryland be renumbered as § ZS 1-201(c)(35) and a new subsection § ZS 1-201(c)(34) be enacted to read as follows:

- (34) Private, noncommercial buildings for the storage of personal property. Minimum lot requirements shall be: lot area, twenty acres; lot width, two hundred feet; front yard setback, thirty-five feet [see § ZS 1-305(b) hereof]; each side yard setback, twenty feet; and rear yard setback, fifty feet.

Section 2. BE IT FURTHER ENACTED BY THE COUNTY COMMISSIONERS OF WORCESTER COUNTY, MARYLAND, that this Bill shall take effect forty-five (45) days from the date of its passage.

PASSED this _____ day of _____, 2024.

ATTEST:

COUNTY COMMISSIONERS OF
WORCESTER COUNTY



Worcester County Commissioners
Worcester County Government Center
One W. Market Street, Room 1103
Snow Hill, Maryland 21863

**PETITION FOR AMENDMENT TO THE OFFICAL TEXT
OF THE ZONING AND SUBDIVISION CONTROL ARTICLE**

(For Office Use Only – Please Do Not Write in this Space)

Date Received by Office of the County Commissioners _____

Date Received by Development Review and Permitting November 13, 2024

Date Reviewed by the Planning Commission _____

I. Application: Proposals for amendments to the text of the Zoning and Subdivision Control Article may be made by any interested person who is a resident of Worcester County, a taxpayer therein, or by any governmental agency of the County. Check applicable status below:

- a. Resident of Worcester County: _____
- b. Taxpayer of Worcester County: X
- c. Governmental Agency: _____ (Name of Agency)

II. Proposed Change to Text of the Zoning and Subdivision Control Article

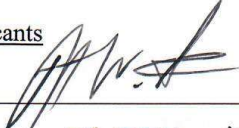
- a. Section Number: _____
- b. Page Number: _____
- c. Proposed revised text, addition or deletion:

III. Reasons for Requesting Text Change:

- a. Please list reasons or other information as to why the proposed text change is necessary and therefore requested:

SEEKING COUNTY APPROVAL FOR SPECIAL USE ALONG
WITH FARM EQUIPMENT

IV. Signature of Applicants

Signature(s):  _____

Printed Name(s): JONATHAN W. ANDERS

Mailing Address: 11702 TURVILLE LANE, BERLIN, MD. 21811

Phone Number: 443.841.2096

Email: JANDERS@BENECURV.COM

Date: 11/13/24

V. Signature of Attorney

Signature: _____

Printed Name: _____

Mailing Address: _____

Phone Number: _____

Email: _____

Date: _____

VI. General Information Relating to the Text Change Process

- a. Applications for text amendments shall be addressed to and filed with the Office of the County Commissioners. The required filing fee must accompany the application.

- b. Procedure for Text Amendments: Text amendments shall be passed by the County Commissioners of Worcester County as Public Local Laws according to legally required procedures, with the following additional requirements. Any proposed amendment shall first be referred to the Planning Commission for recommendation. The Planning Commission shall make a recommendation within a reasonable time after receipt of the proposed amendment. After receipt of the recommendation of the Planning Commission, the County Commissioners shall hold at least one public hearing in relation to the proposed amendment, at which parties and interested citizens shall have an opportunity to be heard. At least fifteen (15) days notice of the time and place of such hearing and the nature of the proposed amendment shall be published in an official paper or a paper of general circulation in Worcester County. In the event no County Commissioner is willing to introduce the proposed amendment as a bill, it will not be considered.



Worcester County Administration
One West Market St. Room 1103 | Snow Hill MD 21863 | (410) 632-1194 | www.co.worcester.md.us

NOT APPROVED

Motion by Fiori / no second

TO: The Salisbury Daily Times and OC Today Dispatch Group
FROM: Candace Savage, Deputy Chief Administrative Officer
DATE: June 12, 2024
SUBJECT: Worcester County Public Hearing Notice

Please print the attached Public Hearing Notices in The Salisbury Daily Times and Ocean City Digest/OC Today Dispatch on May 23, 2024 and May 30, 2024. Thank you.

NOTICE OF INTRODUCTION OF BILL 24-04
WORCESTER COUNTY COMMISSIONERS

Take Notice that Bill 24-04 (Zoning – Private, noncommercial storage buildings) was introduced by Commissioners Abbott, Fiori, Mitrecic, and Purnell on May 7, 2024.

A fair summary of the bill is as follows:

§ ZS 1-201(c)(34). (Adds a special exception use for private, noncommercial buildings for the storage of personal property.)

A Public Hearing

will be held on Bill 24-04 at the Commissioners’ Meeting Room, Room 1101 – Government Center, One West Market Street, Snow Hill, Maryland on Tuesday, June 18, 2024 at 10:35 a.m.

This is only a fair summary of the bill. A full copy of the bill is posted on the Legislative Bulletin Board in the main hall of the Worcester County Government Center outside Room 1103, is available for public inspection in Room 1103 of the Worcester County Government Center once County Government Offices are opened to the public. In the interim, a full copy of the bill is available on the County Website at www.co.worcester.md.us.

THE WORCESTER COUNTY COMMISSIONERS



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008

<http://www.co.worcester.md.us/departments/drp>

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

MEMORANDUM

To: Weston S. Young, P.E., Chief Administrative Officer
From: Jennifer K. Keener, AICP, Director
Date: April 25, 2024
Re: Planning Commission Recommendation – Add a new subsection §ZS 1-201(c)(34) – Private, noncommercial buildings for the storage of personal property in the A-1 Agricultural District

On April 4, 2024, the Planning Commission reviewed the proposed text amendment submitted by Mr. Jonathan Anders to add a special exception use to the A-1 Agricultural District to allow private, noncommercial buildings for the storage of personal property. Following the discussion, the board gave a favorable recommendation. A copy of the draft bill is attached for your consideration.

At this time, I am requesting that the item be scheduled for the County Commissioner's consideration for introduction at an upcoming meeting. If at least one County Commissioner introduces the amendment as a bill, then a public hearing date will be set for the Commissioners to obtain public input prior to acting on the request.

PLANNING COMMISSION DISCUSSION

Mr. Jonathan Anders, applicant, and Mr. Jeff Mahan were present for the review. Mr. Anders explained that there were three partners in the venture who have common interests in the personal storage of cars, ATV's, minibikes and other similar items. They secured thirty acres on Worcester Highway and sought a contractor to assist them in constructing a pole building. The selected contractor misled them into believing that they could permit the structure as an agricultural pole building and use it for personal storage. The contractor also cut corners on the construction of the building. After seeking assistance from a new contractor, they learned that they needed to have a principal structure on the property to use the pole building for personal storage.

Mr. Anders explained that he applied for the text amendment because they didn't want to put a dwelling on the property that they had no intention of renting out. They also didn't want to run a business from the building. Mr. Mahan advised that there are other property owners that wish to use their property and/or buildings in a similar fashion.

The Planning Commission acknowledged Messrs. Anders' and Mahan's specific property circumstances, however noted that a text amendment applies countywide. Upon several questions, staff clarified that the proposed text amendment does not require that the property be under agricultural

production, only that it would be permitted in the A-1 Agricultural zoning district as a special exception. Mr. Mahan stated that there are many agricultural buildings illegally utilized for personal storage now. Mr. Anders stated that the proposed use is as a special exception, so the county would have oversight for inspection. Upon concerns that the agricultural zoning district should be limited to agricultural uses, Mr. Mahan reiterated that to fix their specific issue, they could have a personal storage structure provided they put a dwelling on the property.

Following the discussion, a motion was made by Mrs. Knight to provide a favorable recommendation on the text amendment. Mrs. Wimbrow seconded the motion, and the motion carried with three in favor, Mr. Barbierrri opposed, and Ms. Ott and Mr. Church abstaining.

cc: Jonathan Anders, applicant
Matt Laick, Deputy Director
Kristen Tremblay, Zoning Administrator
Roscoe Leslie, County Attorney
file



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ZONING DIVISION
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MEMORANDUM

To: Worcester County Planning Commission
From: Jennifer Keener, AICP, Director
Date: March 26, 2024
Re: Text Amendment Application – Add a new subsection §ZS 1-201(c)(34) – Private, noncommercial buildings for the storage of personal property in the A-1 Agricultural District

Jonathan Anders has submitted a text amendment application to add a special exception use to the A-1 Agricultural District to allow private, noncommercial buildings for the storage of personal property. A copy of the draft bill language is attached for your consideration.

As is the case with all text amendment applications, the application was distributed to staff for review and comment. The Planning Commission shall review the request and make a recommendation to the Worcester County Commissioners (favorable or unfavorable) and can make recommendations for changes to the proposed language. If at least one County Commissioner introduces the amendment as a bill, then a public hearing date will be set for the Commissioners to obtain public input prior to acting on the request.

BACKGROUND

Currently, § ZS 1-305(p)(3) limits accessory buildings (sheds, pole barns, garages, etc.) to no more than 500 square feet for personal storage without having a principal use/ dwelling on the property. There is no limitation on the size of an accessory building if there is a principal use/ dwelling.

Agricultural storage buildings are allowed to exceed 500 square feet in gross floor area without having a principal use/ dwelling, but must be located on an active farm, and used for agricultural storage only. The use is permitted in the A and E Districts by right, and the RP District by special exception. As defined in § ZS 1-103, agriculture includes forestry, dairying, pasturage, crop growth, horticulture, floriculture, viticulture, the raising of livestock and poultry (definitions can be found on page 3 of this staff report).

Accessory buildings for personal storage under 500 square feet in gross floor area and agricultural buildings of any size are permitted under zoning permits, with only a final inspection required to verify placement. Accessory buildings for personal storage that meet or exceed 500 square

feet in gross floor area require a building permit and are subject to all applicable building and energy codes.

DISCUSSION

Ms. Kristen Tremblay, AICP, Zoning Administrator, points out in her memo that DRP routinely receives inquiries to permit structures for personal storage. The requested amendment would allow an applicant to seek a special exception for a building of any size to store personal property without having a principal residence in the A-1 Agricultural District. The building would be subject to the same principal building setbacks as a single-family dwelling in the zoning district and have an enhanced lot area (20 acres). The language as drafted only allows the building to be used for the storage of personal property and does not permit commercial storage or warehousing for a business. The department has determined that the proposed 20-acre minimum lot area would impact 1,716 parcels throughout the county (see attached map).

As part of any zoning permit application for an agricultural structure, staff verify that the property is under agricultural production, meeting the zoning definitions of “Agriculture” and “Farm”. For example, requests for properties under crop production are easily verified via aerial imagery. For agricultural structures associated with a forestry activity, the department requires a copy of a Forest Management Plan. Once the Certificate of Use and Occupancy is issued, the department will only conduct a follow-up inspection to verify that the building is being used for the specified purpose if a nuisance complaint is filed.

If this amendment were to be approved and a property owner wished to convert an existing building from agricultural to personal storage, a permit would be required. Structures at or above 500 square feet in gross floor area would be required to comply with all applicable building and energy codes in effect at the time of application as a change in use. Retrofitting a former agricultural structure may be difficult, since there are no requirements for plans or inspections of footers, foundations, truss systems, or insulation requirements under a zoning permit. It will likely result in engineering expenses for evaluation of code compliance, as well as the expense of improvements to bring the building up to code.

Regarding concerns relative to the storage of personal property outside of the building, this would best be addressed under § PH 1-101(a)(4) Nuisances, which limits the outdoor storage or accumulation of personal property to no greater than 100 square feet if the storage area is not visually screened from adjoining public road rights-of-way and adjoining properties or contained within the building.

RECOMMENDATION

Overall, the staff finds that this is a policy decision regarding whether to allow traditional accessory structures to be principal permitted structures. The requirement to obtain a special exception, as well as the applicable building code and energy code requirements may detract a property owner from seeking the necessary approvals for such a use. As always, I will be available at your upcoming meeting to discuss any questions or concerns that you have in regard to the proposed amendment.

cc: Roscoe Leslie, County Attorney
Matt Laick, GISP, Deputy Director
Kristen Tremblay, AICP, Zoning Administrator
File

Existing definitions and code references:

AGRICULTURE - The use of land, buildings and structures for forestry, dairying, pasturage, crop growth, horticulture, floriculture, viticulture, the raising of livestock and poultry for sale and including other conventional agriculture uses and structures such as farm offices, commercial and noncommercial greenhouses and nurseries, noncommercial fertilizer storage, noncommercial maintenance, storage and repair facilities, farm ponds, noncommercial grain dryers, barns, poultry and hog houses and the storage and application of manure produced by farm animals or poultry. The term "agriculture" shall not include commercial grain dryers or dwellings and shall not include the storage or application of sewage sludge. See definition of "farm."

FARM - A lot or parcel of five or more acres which is conscientiously and consistently managed for bona fide agricultural purposes.

NONCOMMERCIAL - Any activity conducted for personal use or enjoyment without the intent of realizing a profit through the sale of goods or services, or any use or activity conducted by a nonprofit organization.

PRIVATE - Any land or structure not owned and operated by a public or quasi-public jurisdiction or organization.

§ ZS 1-305(p)(3): No accessory use or structure shall be permitted on a lot unless the principal use or structure was in existence previously or until construction of the principal structure is diligently pursued; provided, however, that a single customary residential accessory structure less than five hundred square feet in area, a single private dock, boat ramp or pier abutting a single-family lot may be constructed for the exclusive, personal use of the lot owner.

§ PH 1-101(a)(4): Other than as provided in Subsections (a)(4)A and B below, the outdoor storage or accumulation of personal property occupying greater than one hundred square feet of land area per parcel or lot, including but not limited to the following: appliances, appliance parts, furniture, linens, household goods, lawn mowers, auto, truck, boat, recreational vehicle, motorcycle or bicycle parts, scrap metal, glass, scrap paper, bicycles, wire, electrical or plumbing parts and fixtures, tools, building supplies and materials not in storage for existing permitted construction activity on the site.

- A. When the storage or accumulation of personal property as described in Subsection (a)(4) above is visually screened from adjoining public road rights-of-way and adjoining properties or contained wholly within a completely enclosed structure, the storage or accumulation of personal property may occupy greater than one hundred square feet of land area per parcel or lot.
- B. The provisions of this subsection shall not apply to properties utilized for bona fide agricultural purposes.

Worcester County

1,716 Parcels greater than 20 acres in the A-1 Agriculture Zone



Legend
Greater than 20 Acres

Produced by Worcester County DRP



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

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ZONING DIVISION
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TECHNICAL SERVICES DIVISION

MEMORANDUM

To: Jennifer K. Keener, AICP, Director; Matthew Laick, GISP, Deputy Director
From: Kristen M. Tremblay, AICP, Zoning Administrator
Date: March 20, 2024
Re: Zoning Ordinance Proposed Text Amendment – Add a new subsection ZS1-201(c)(34)
– Private, noncommercial storage buildings in the A-1 Agricultural District

.....

Thank you for providing me with an opportunity to comment on the proposed text amendment requested by Jonathan Anders.

The proposed text amendment seeks to allow a private, noncommercial storage building as a special exception in the A-1 Agricultural District.

Personal storage is traditionally viewed as an accessory to principle uses on properties. I have had multiple inquiries of a similar vein in order to place a pole barn for personal storage with no other land uses proposed, so there is some interest beyond the applicant in doing this type of land use. However, I do not feel that a traditional ‘accessory’ land use should be permitted as a ‘principle’ land use.

I would be concerned that the personal storage component could spill out into the entire property - not just within enclosed walls or that business property would also be stored in these structures. Enforcement of ‘personal property only’ would be problematic and difficult to accomplish on a quotidian basis. There is no suggestion by the applicant that this use would be ‘screened’ or otherwise blocked from public view or subject to landscaping requirements.

In the A-1 Agricultural District, an accessory ‘personal storage barn’ is permissible in conjunction with another principle use such as a residence.

I do not believe the code should be amended at this time.

Please let me know if you have any other questions.



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MEMORANDUM

To: Roscoe Leslie, County Attorney
Kristen Tremblay, AICP, Zoning Administrator
Matthew Laick, GISP, Deputy Director
From: Jennifer Keener, AICP, Director
Date: February 29, 2024
Re: Text Amendment Application – Add a new subsection §ZS 1-201(c)(34) – Private, noncommercial storage buildings in the A-1 Agricultural District

Jonathan Anders has submitted a text amendment application to add a special exception use to the A-1 Agricultural District to allow private, noncommercial storage buildings. A copy of the draft bill language is attached for your consideration.

Currently, § ZS 1-305(p)(3) limits accessory buildings (sheds, pole barns, garages, etc.) to no more than 500 square feet for personal storage without having a principal use/ dwelling on the property. Only agricultural storage buildings are allowed to exceed this size, but must be located on an active farm, and used for agricultural storage only. Agricultural structures and accessory buildings under 500 square feet in gross floor area are permitted under zoning permits, with only a final inspection required for placement.

The request would allow a building of any size for the storage of personal property without having a principal residence. Structures over 500 square feet would be required to comply with all applicable building and energy codes in effect at the time of application for a building permit. The department has determined that the proposed 20-acre minimum lot area would impact 1,716 parcels throughout the county.

I intend to present this amendment at the April 4, 2024, Planning Commission meeting. Therefore, please send any comments you may have on the application by Wednesday, March 20, 2024, so that I may finalize the staff report.

If you have questions or need additional information, please let me know.

WORCESTER COUNTY PLANNING COMMISSION

MEETING DATE: December 5, 2024

PURPOSE: Review of proposed site development consisting of a 23,775 square foot watercraft service building.

DEVELOPMENT: Sunset Marine Park

LOCATION: Located between Sunset Avenue and Old Bridge Road, approximately 1,200 feet east of the intersection of Sunset Avenue and MD Route 611.

ZONING DESIGNATION: C-2 General Commercial District/R-3 Multi-Family Residential

BACKGROUND: The project went before the Technical Review Committee (TRC) on September 11, 2024 and again on November 13, 2024. The project site plan has been revised multiple times and is now before the Planning Commission for its review.

PROPOSED CONSTRUCTION:

- a. A 23,775 square foot watercraft services facility with a gated entrance, fencing and boat storage.

Previous iterations included contractors' shops, retail and residential (apartments, townhomes and duplexes), however due to availability of EDU's, these items are not under consideration at this time and have been removed from the plan. The areas where these were intended have been designed so that they can be built at a later date.

PARKING: A parking tabulation has been provided on the site plans and staff has confirmed the accuracy of the calculation. A total of 12 spaces are required as a minimum which has been provided, including one (1) handicapped parking space in front of the watercraft services facility.

The proposed surface treatment of the parking areas and travelways is 'paving.' Clarification of the type of paving has been requested of the applicant and staff has been informed that it is to be asphalt. Parking spaces are to be demarcated with painted stripes and parking bumpers in accordance with §ZS1-320(f). Areas of future parking have been designed and will be used for boat storage while awaiting EDU's.

LOADING ZONES: Adequate space has been provided around the watercraft services facility for loading and storage.

TRAFFIC CIRCULATION: Once on the site, users will need to stop to enter a gated area before driving further into the facility. The site may be accessed off Sunset Avenue and Old Bridge Road through a full-access entrance.

Interparcel connectors are shown to connect to the western parcel (Tax Map 27, Parcel 263) and the eastern parcel (Tax Map 27, Parcel 486) in the area zoned C-2 Commercial. Interparcel connectors are not required in the R-3 Residential zoned portion.

REFUSE REMOVAL: Two (2) dumpster pads are shown on the site plan. Due to its location, it is not likely to be seen from any public rights-of-way but is proposed to have a six (6) foot tall black vinyl fencing for screening.

PEDESTRIAN AND BICYCLE CONNECTIVITY: No bike rack is required for a project of this type. Sidewalks have been provided along Sunset Avenue. Additional details pertaining to pedestrian and bicycle connectivity in accordance with the Design Guidelines may be found in the 'Planning Commission's Considerations.'

LIGHTING: LED Wall pack details have been provided on Sheet C9.4, however it is not shown on the site where on the watercraft services facility where they will be placed. The elevations provided show two (2) to three (3) wall packs per side. Bollard lighting is also proposed along the sidewalk on Sunset Avenue as shown on Sheet C9.1 and G1.2.

LANDSCAPING: A landscape plan has been provided which consists primarily of native species, including Willow Oaks, Sweetbay Magnolias, Bayberries, Red Twig Dogwoods and Switchgrass. Landscaping is proposed for the portion of the property fronting along Sunset Avenue to provide buffering for the boat storage in accordance with ZS1-210(b)(4)(B). There are an adequate number of trees proposed for the number of parking spaces.

An automatic landscape watering system is proposed on the site plan as required by the Code as shown on Sheet L1.0. A maintenance and replacement bond for the required landscaping is mandatory for a period not to exceed two (2) years in an amount not to exceed one hundred and twenty-five percent (125%) of the installation cost. A landscape estimate from a nursery will also be required to be provided at permit stage to accurately determine the bond amount.

SIGNS: No sign location has been provided. Please note that any freestanding sign will need to be in accordance with §ZS1-324.

FENCING: A six (6) foot tall chain-link fence is proposed surrounding the facility.

FOREST CONSERVATION LAW: This project is not subject to the Forest Conservation

Law, however Critical Area Regulations are applicable.

CRITICAL AREA LAW: This property is located in the Atlantic Coastal Bays Critical Area (ABCA) program boundary designated Intensely Developed Area (IDA). Written confirmation will be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area requirements prior to the Department granting signature approval.

STORMWATER MANAGEMENT / SEDIMENT EROSION CONTROL: Confirmation of final approval will be required prior to the Department granting signature approval for the site plan if not already done so.

******OTHER MATTERS:** Included in the Planning Commission's packet for this project is a code requirement letter. There are some minor housekeeping items that will need to be addressed by the applicants prior to a final signature approval being granted. The Design Guidelines noted in the Planning Commission Considerations will also need to be addressed.

ARCHITECTURAL JUSTIFICATION: As a major site plan over 10,000 square feet, this project is subject to the *Design Guidelines and Standards for Commercial Uses*. This proposal is located within the area designated as the Seaside architectural tradition based upon the staff policy. The surrounding neighborhood consists of numerous contractors shops and residential developments.

The proposed facility has attempted to meet the standards required in the Design Guidelines, however a significant number of waivers will be required which are detailed in the 'Planning Commissioner's Considerations.' Under Section 2(b), the Planning Commission is able to grant a waiver to the requirements contained within where it finds that the proposed alternative building or site design features generally achieve the overall objectives of the guidelines or standards that apply to the waiver being requested.

OWNER: Old Bridge Sunset Holdings, LLC

ENGINEER: GMB, LLC

ARCHITECT: Duffie Companies

PREPARED BY: Kristen M. Tremblay, AICP, Zoning Administrator

**PLANNING COMMISSION CONSIDERATIONS – DESIGN GUIDELINES
SUNSET MARINE PARK**

During the review of the Design Guidelines, it was found that a significant number of waivers will be required and are depicted below. The proposed land use, watercraft services facility and boat storage does not typically have advanced architectural profiles. Furthermore, the facility is located approximately 530 feet from the Sunset Avenue property line and 920 feet from the Old Bridge Road property line. Further, deciduous landscaping has been provided to break up the view. Visually, the watercraft services facility will be set back far from the roadways. The height is intended to be 40 feet.

Design Guidelines: Waivers Requested

Sec 5	Architectural Traditions
Sec 6(b)(1)	General Site and Building Compatibility
Sec 7(b)(1)(B)	Mass and Scale
Sec 8(b)(2) & (4)	Roofs
Sec 9(b)(2)&(3)	Materials
Sec 10(b)(1)(A),(B),(C),(D),(E),(F),(G), (H),(J),(K) & (2)(A)	Facades
Sec 11(b)(1)	Entries
Sec 15(b)(3)(C),(b)(6 & 7)	Parking
Sec 16(b)(1),(3),(4),(5),(6),(8),(9),(10)	Pedestrian and Bicycle Circulation
Sec 17(b)(4),(6),(7),(8)	Landscaping
Sec 18 (b)(5)	Lighting
Sec 19(b)(1)	Community Features and Spaces

Architectural Traditions. This project is located in the area designated for Seaside architecture. The proposed building has a simple geometric form with no particular features except a composite masonry base course.

Section 6: General Site and Building Compatibility. Staff found that the proposal is not particularly complementary to the surrounding natural features. Adjacent parcels consist of other contractors’ shops, residential, and forested areas. A transition has been provided in the form of the Stormwater Management Facility to the east of the property. Additionally, there are existing similar developments along both Sunset Avenue and Old Bridge Road in which this proposal would be compatible.

Section 7: Mass and Scale. No modules have been proposed. This structure is proposed to be greater than 20,000 square feet in gross floor area, thus a waiver is needed.

Section 8: Roofs. A flat roof has been proposed. As this is not located within the Town Center tradition, a waiver is needed.

- The Design Guidelines requires two (2) elements in the roof. No elements have been provided. A waiver to this requirement is requested.
- The Design Guidelines prohibit flat roofs unless within the Town Center Tradition. No parapets have been provided. A waiver to this requirement is requested.

Section 9. Materials. The Design Guidelines require that materials for walls and trim cover at least 75% of the surface area and include high quality materials with texture and color. The colors have been provided: shades of gray. The materials as indicated by the applicant will be metal roofing, metal panel siding, composite stone veneer. A waiver is requested.

Section 10. Facades.

The following waivers for this section are being requested:

(1) Public Facades:

- (A) Façade elements and openings shall be repeated in the same positions on either side of an imaginary central vertical line of that segment.
- (B) No interruption in in the width of the façade greater than 60 feet in width;
- (C) Facades greater than 60 feet in width should have a wall plane projection or recess with a depth of 2 feet or 3% of the façade whichever is greater and with a width of at least 12 feet or 20% of the façade whichever is greater;
- (D) Buildings over two hundred feet line shall either be physically separated or visually broken in to major modules so that no one module is greater than two hundred feet in length.
- (E) Facades shall include at least two (2) continuous details of 12 inches or less (one (1) detail at the bottom with a height of 2.5 feet is proposed);
- (F) A minimum of one (1) significant detail needs to be repeated at least three (3) times;
- (G) A regular pattern of solids and voids need to be used and the overall pattern should be harmonious so that all floors seem part of the whole, although each floor need not have the same pattern.
- (H) Transparent features need to be included over a minimum of 25% of the surface;
- (J) The building façade shall have a clearly identifiable base, body and cap with horizontal elements separating these components.
- (K) Detailing shall be used to mitigate the monotony of generally featureless materials such as stucco or panels.

(2) Side and Rear Facades:

- (A) Any building located less than seventy-five feet from a property line shall be considered a public façade and shall comply with the requirements of subsection (1).

Section 11. Entries.

(b)(1) Each principal building shall have clearly defined, readily visible customer entrances with at least two features. No features have been provided, a waiver is needed.

(b)(4) Any façade fronting required parking shall have an entry meeting the standards of this section. A waiver is requested.

(b)(5). Building entries shall be located at the sidewalk edge wherever possible. A waiver is needed.

Section 13. Details(b)(2). Walls in public view shall include fenestration. Windows shall be individually recognizable units in scale with the structure. A waiver is needed as no windows have been provided on the sides fronting both Sunset Avenue and Old Bridge Road.

(b)(3). Doors shall be of similar style to the windows. Doors are a mix of roll-up metal and window paned. A waiver is needed.

Section 14. Signs. No freestanding or on-building signage is proposed on the site plan. The applicant will need to submit a sign permit for any future signage proposed and be in accordance with §ZS1-324.

Section 15. Parking.

(b)(3)(C). Access points and driveways shall line up across from other access points or driveways. The access points along Sunset Avenue appear to line up with the entrances for the retail/residential across the street. Along Old Bridge Road, the access point does not line up with the residential entrances, and a waiver is requested.

(b)(6). All internal walkways shall link to existing walkways both on site and off site. Sidewalks are proposed along Sunset avenue, however no internal sidewalks have been proposed. A waiver is needed.

(b)(7). A pedestrian accessway to other customer entrances, public spaces and parking areas shall be provided for every customer entrance. No internal sidewalks are proposed, a waiver is needed.

Section 16. Pedestrian and Bicycle Circulation. There is a lack of sidewalks, walkways and bicycle facilities on the site plan. As this is a code requirement (§ZS 1-319), it will need to be addressed by the Planning Commission. The nature of the proposed use does not typically have

pedestrian or bicycle facilities. Currently, all but two (2) of the requirements of Section 16 would require a waiver as presented. These include:

- Circulation identified and provided on site plan;
- Internal walkways provided from public sidewalk or ROW to principal entrance;
- Clearly indicated pedestrian connectivity;
- Demarcation of pedestrian and bicycle routes with a change in paving surface materials, landscaping, signage, or safety and directional lighting;
- Internal walkways must link to existing walkways;
- Weather protection of walkways;
- Bike lanes on ingress and egress routes with signage.

Section 17. Landscaping. The landscaping plan has been provided and shows primarily native species consisting of Willow Oak, Sweetbay Magnolia, Bayberry, Red Twig Dogwood and Switchgrass.

Automatic irrigation has been provided on the site plan.

Standards requiring a waiver include:

(b)(4). The rear elevation of buildings, utility areas, loading docks, and refuse collection area must be addressed in the landscape design plans. No vegetation is proposed to be provided to the rear of the watercraft services facility, however it backs up to existing contractors shops on an adjacent parcel. A waiver is required.

(b)(6). Landscape buffer planting areas shall be a minimum of six (6) feet in depth from perimeter walkways, curbs and property lines along all sides of the property. Vegetation is not proposed along all sides; a waiver is needed.

(b)(7). Building perimeter landscaping shall be installed and maintained along at least fifty percent of the façade width. This has not been proposed; a waiver is needed.

(b)(8). All other facades except the façade incorporating the service area shall be buffered from public view with no less than a ten foot wide buffer with foundation planting. No foundation plantings have been proposed; a waiver is needed.

Section 18. Lighting. According to the site plan, LED wallpacks are proposed in the site details. The locations of the lighting is not shown on the site plan, however the building elevations show two (2) to three (3) wallpacks per side. This will need to be shown on the site plan. A waiver to this requirement is requested due to the type of lighting proposed. Lighted bollards are proposed for pedestrian scale lighting along the sidewalk on Sunset Avenue.

(b)(5). *‘Wall packs may not be used as accent or general building/site lighting. They shall be fully shielded and direct light downward only and shall be equipped with true cut-off type bulbs. Spillover of light and glare from wallpacks shall not be visible at any property line. Lumen output should be two thousand or less.’*

Section 19. Community Features and Spaces. Two (2) community areas, one measuring 800 square feet and another measuring 1,800 square are proposed. Benches will be installed.

(b)(1). Community spaces shall provide seating and a least one of nine other features. Aside from the bench, no additional features have been provided, and a waiver to this requirement is requested.

RECOMMENDATION:

It is recommended that the Planning Commission review the materials provided and determine if the waivers requested are appropriate for the proposed watercraft services facility.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

November 26, 2024

Jesyl Silva
Project Engineer
206 West Main Street
Salisbury, MD 21801

Re: Sunset Marine Park, Tax Map 27, Parcels 264 and 589.

Dear Mr. Silva:

This is to advise you that the Department has completed a review of the site plan dated November 2024 with no professional certification stamp provided, associated with the above referenced project. The plan has been reviewed in accordance with the pertinent sections of the Worcester County *Zoning and Subdivision Control Article* and the *Design Guidelines and Standards for Commercial Uses*. The following code requirements have yet to be addressed:

GENERAL:

1. Please remove the reference to 'Retail Store' from the site data on sheet G1.0.
2. If signage is proposed, please show on sheet G1.2.
3. Please include the locations of the wall packs as shown on the elevations on sheet G1.2.

A copy of the Staff Report associated with this project is attached for your reference. Please do not hesitate to contact me at 410-632-1200 ext. 1131 with any questions or comments you may have concerning this matter.

Yours,

Kristen M. Tremblay, AICP
Zoning Administrator

CONSTRUCTION NOTES

- EXISTING CONDITIONS WERE DERIVED FROM SURVEY CONDUCTED BY WILKINS-NOBLE, LLC, ON OCTOBER 22, 2022 AND FROM A DRAWING ENTITLED "LANDS OF OLD BRIDGE SUNSET HOLDINGS, LLC".
- EXISTING UTILITIES ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES THROUGH TEST FITTING, THE LOCATIONS, SIZE, AND INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AS REQUIRED TO GIVE TIMELY ADVANCE NOTICE TO ENGINEERS OF ANY CONFLICT BETWEEN EXISTING AND NEW WORK.
- THE CONTRACTOR SHALL NOTIFY BOBBY SHOCKLEY WITH THE WORCESTER COUNTY GOVERNMENT ENVIRONMENTAL PROGRAMS (410-632-1220) 48 HOURS PRIOR TO EXCAVATION TO HAVE UNDERGROUND UTILITIES MARKED. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN KIND ANY EXISTING FEATURES DAMAGED OR DESTROYED DURING CONSTRUCTION.
- ALL BACK FILLED AND DISTURBED AREAS TO BE SEEDED AND MULCHED WITH 4" OF TOPSOIL TO BE PLACED IN FILL AREAS (WITHIN 14 DAYS).
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY STAKE OUT OF LINE AND GRADE FOR UTILITIES, STREET, DRIVEWAYS, ETC. STAKEOUT SHALL BE PERFORMED BY A MARYLAND LICENSED SURVEYOR.
- ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT, LATEST EDITION, AND ALL RULES AND REGULATIONS THEREOF.
- THE CONTRACTOR SHALL KEEP EXISTING UTILITIES IN OPERATION DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERMITS SECURED, WHICH TAKE PRECEDENCE OVER SPECIFICATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE AND CAUTION AND TAKE MEASURES NECESSARY TO PROTECT TREES DURING CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING AND PROTECTING UTILITY POLES BEFORE AND DURING CONSTRUCTION ACTIVITIES.
- ANY DISTURBED AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE RESTORED TO THEIR ORIGINAL CONDITION IMMEDIATELY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE "WORCESTER COUNTY DESIGN GUIDELINES AND STANDARDS FOR COMMERCIAL USE" MANUAL.
- ELECTRIC & TELEPHONE, CABLE, UTILITIES ARE TO BE COORDINATED & DESIGNED TO WORCESTER COUNTY, MARYLAND SPECIFICATIONS BY THE APPROPRIATE UTILITY PROVIDER.
- MDE NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGES REGISTRATION TO BE SUBMITTED UPON APPROVAL OF EROSION & SEDIMENT CONTROL PLANS.
- IT HAS BEEN FIELD VERIFIED THAT THE FOLLOWING NATURAL RESOURCES ARE NOT PRESENT ON THE PROJECT SITE: TIDAL AND NONTIDAL WETLANDS, WETLANDS OF SPECIAL STATE CONCERN, WETLAND BUFFERS, STREAM BUFFERS, PERENNIAL STREAMS, FLOODPLAINS, FORESTS, FOREST BUFFERS, AND CRITICAL AREAS.
- NO HABITAT PROTECTION AREA WITHIN THE NON-TIDAL WETLANDS, THREADED/ENDANGERED SPECIES OR ANADROMOUS FISH PRESENT ON SITE AS REFERENCED IN WORCESTER COUNTY CODE SECTIONS NR 3-120.

GENERAL NOTE

- WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA LAW: A PORTION OF THIS PROPERTY LIES WITHIN THE WORCESTER COUNTY ATLANTIC COASTAL BAYS CRITICAL AREA. ANY AND ALL PROPOSED DEVELOPMENT ACTIVITIES MUST MEET THE REQUIREMENTS OF TITLE 3 (LAND AND WATER RESOURCES), SUBTITLE 1 (ATLANTIC COASTAL BAYS CRITICAL AREA) OF THE WORCESTER COUNTY CODE OF PUBLIC LOCAL LAWS, AS FROM TIME TO TIME AMENDED, IN EFFECT AT THE TIME OF THE PROPOSED DEVELOPMENT ACTIVITIES.
- CONTRACTOR TO CONTACT AND COORDINATE COUNTY INSPECTION OF THE FOLLOWING CONSTRUCTION:
 - WCDEP: ESC-PERIMETER CONTROLS, TEMPORARY SEDIMENT BASINS, SWM BMP'S, FINAL STABILIZATION, LANDSCAPING, REMOVAL OF CONTROLS.
 - WCDPW: WATER/WASTEWATER DIVISION: INSTALLATION OF ALL SEWER AND WATER INFRASTRUCTURE UP TO AND INCLUDING SANITARY CLEANOUTS AND WATER METERS.
 - WCDDRP: ROADS DIVISION: ENTRANCE INSTALLATION IN PUBLIC ROW.
 - WCDDRP: SEE BUILDING PERMIT FOR REQUIRED INSPECTIONS.
- POST-CONSTRUCTION OPERATION, MAINTENANCE, AND INSPECTION: THE OWNER WILL COORDINATE ROUTINE INSPECTION IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

LEGEND

EXISTING	
	PROPERTY LINE/RIGHT OF WAY
	CONTOUR
	EXISTING WETLANDS
	WOODS LINE
	CURBING & EDGE OF PAVEMENT
	25' WETLAND BUFFER
	EX. STORMWATER UTILITY EASEMENT
	EX. OVERHEAD UTILITY LINE
PROPOSED	
	CONTOUR
	LIMITS OF DISTURBANCE
	SILT FENCE
	SUPER SILT FENCE
	SOIL BOUNDARY
	STORM DRAIN INLET, MANHOLE, YARD DRAIN
	SANITARY SEWER, MANHOLE AND CLEANOUT
	WATER
	RIPRAP OUTLET PROTECTION
	INLET PROTECTION
	CONCRETE WASHOUT
	MAINTENANCE SET ASIDE AREA
	TEMPORARY SEDIMENT BASIN
	STABILIZATION MATTING - SLOPE (SSM-I)
	NORTH AMERICAN GREEN ROLLMAX BIONET S150BN
	STABILIZED CONSTRUCTION ENTRANCE

SUNSET MARINE PARK ENGINEERING PLANS WEST OCEAN CITY, MARYLAND

GMB FILE NO. 210225

LIST OF DRAWINGS

NO.	REVISIONS	DATE	PRINTS ISSUED FOR: CONSTRUCTION DRAWINGS
G1.0			ENGINEERING PLAN COVER SHEET
G1.2			SITE PLAN
C3.0			OVERALL UTILITY PLAN
C3.1-C3.2			UTILITY PLAN
C4.1			SANITARY SEWER PROFILES
C5.1			SANITARY SEWER DETAILS
C8.0			OVERALL CONSTRUCTION AND GRADING PLAN
C8.1-C8.2			CONSTRUCTION AND GRADING PLAN
C9.1-C9.4			SITE DETAILS
C10.0			OVERALL STORM DRAIN PLAN
C10.1-C10.2			STORM DRAIN PLAN
C10.3			STORM DRAIN PROFILES
C11.1			STORM DRAIN DETAILS
C12.1			WATER DISTRIBUTION PROFILES
C13.1-C13.2			WATER DISTRIBUTION DETAILS
L1.0			LANDSCAPING PLAN
A1.1			BUILDING ELEVATIONS

SITE DATA

SITE ADDRESS: APPROXIMATELY 1,400LF EAST OF INTERSECTION AT STEPHEN DECATUR HIGHWAY AND SUNSET AVENUE, WEST OCEAN CITY, MD 21842

TAX MAP & PARCEL: MAP: 27 GRID: 0007 PARCEL: 264

DEED REFERENCE: SVH 8242/219

PLAT BOOK: 239 PAGE 03 & 133 PAGE 22

LATITUDE: 38.328267

LONGITUDE: -75.113011

TOTAL SITE AREA: ±8.03 ACRES (349,773 SF)

TOTAL DISTURBED SITE AREA (INCLUDING WITHIN ROW): ±8.35 ACRES (363,726 SF)

TOTAL CRITICAL AREA (INTENSELY DEVELOPED AREA): ±4.23 ACRES

TOTAL WETLANDS AREA: ±0.35 ACRES

ZONING CLASSIFICATION: R-3 (MULTI-FAMILY RESIDENTIAL) C-2 (GENERAL COMMERCIAL)

FLOOD PLAIN: AREA OF MINIMAL FLOOD HAZARD ZONE X PER FEMA MAP 24047C0180H REVISED 7/16/2015

SOILS: ASKECKSY LOAMY SAND; CEDARTOWN-ROSEDALE COMPLEX; MULLICA-BERRYLAND COMPLEX; ROSEDALE LOAMY SAND; SASSAFRAS SANDY LOAM; UDORTHENTS LOAMY; WOODSTOWN SANDY LOAM

PROPOSED USE: RETAIL STORE (BLDG-1) AND WATERCRAFT SERVICE FACILITY

OPEN SPACE REQUIRED: 2.41 ACRES (30%)

OPEN SPACE PROPOSED: ±4.36 ACRES (54.3%)

IMPERVIOUS AREA PROPOSED: ±3.67 ACRES (46%)

MULTI-FAMILY RESIDENTIAL DISTRICT R-3

RESIDENTIAL DISTRICT DENSITY: 6.0 RESIDENTIAL UNITS PER ACRE

TOTAL AREA: ±1.00 ACRES

TOTAL DISTURBED AREA: ±1.03 ACRES (INCLUDING WITHIN ROW)

IMPERVIOUS AREA (LOT COVERAGE): ±0.41 ACRES

OPEN AREA: ±0.62 ACRES

WETLAND AREA: ±0.04 ACRES

CRITICAL AREA: N/A

IMPERVIOUS AREA (LOT COVERAGE): N/A

OPEN AREA: N/A

REQUIRED PARKING: N/A

PROVIDED PARKING: N/A

HANDICAP PARKING: N/A

GENERAL COMMERCIAL DISTRICT C-2

COMMERCIAL DISTRICT DENSITY: 1.71 RESIDENTIAL UNITS PER ACRE

TOTAL AREA: ±7.02 ACRES

TOTAL DISTURBED AREA: ±7.32 ACRES (INCLUDING WITHIN ROW)

IMPERVIOUS AREA (LOT COVERAGE): ±3.26 ACRES

OPEN AREA: ±4.06 ACRES

WETLAND AREA: ±0.31 ACRES

CRITICAL AREA: ±4.23 ACRES

IMPERVIOUS AREA (LOT COVERAGE): ±1.39 ACRES

OPEN AREA: ±2.84 ACRES

EXISTING WOODED: ±4.23 ACRES

PROPOSED WOODED: ±0.76 ACRES

PERCENT RETAINED: 18%

REQUIRED PARKING: 12

PROVIDED PARKING: 12

HANDICAP PARKING: 1

ZONING CODE: R-3 ZONING

FRONT SETBACK: 25'

SIDE YARD SETBACK: 6'

MAX BUILDING HEIGHT: EXCEPT FOR CERTAIN OTHER BUILDINGS, STRUCTURES OR PARTS THEREOF AS PROVIDED IN ZS 1-305 HEREOF, NO FLAT-ROOFER PRINCIPAL STRUCTURE SHALL EXCEED A HEIGHT OF THIRTY-FIVE FEET, NO PITCHED-ROOFED PRINCIPAL STRUCTURE SHALL EXCEED FOUR STORIES. IN ADDITION, NO ACCESSORY STRUCTURE SHALL EXCEED EITHER TWO STORIES OR TWENTY-FIVE FEET IN HEIGHT.

C-2 ZONING

FRONT SETBACK: 25'

SIDE YARD SETBACK: 6'

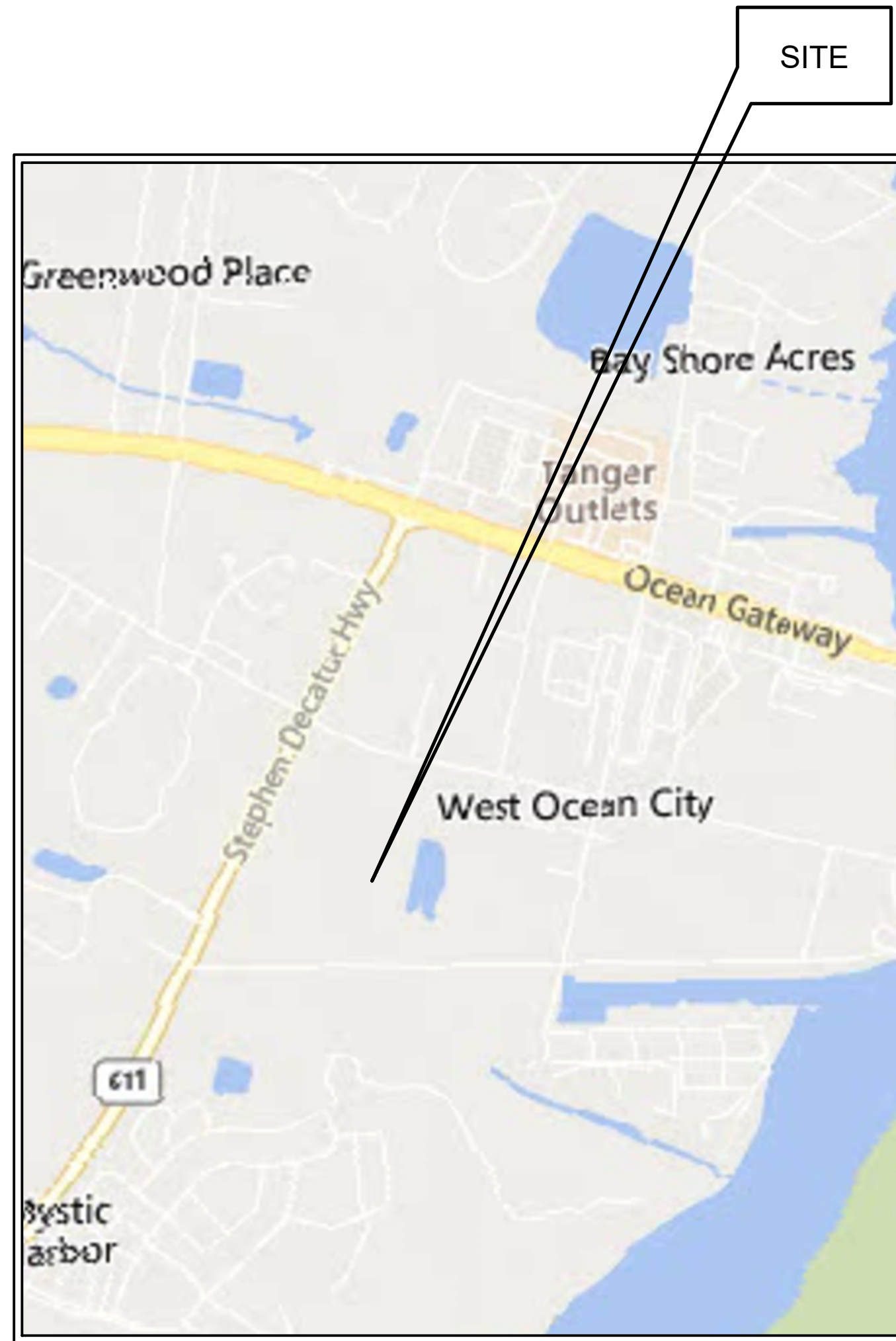
MAX BUILDING HEIGHT: 45'

UTILITIES:

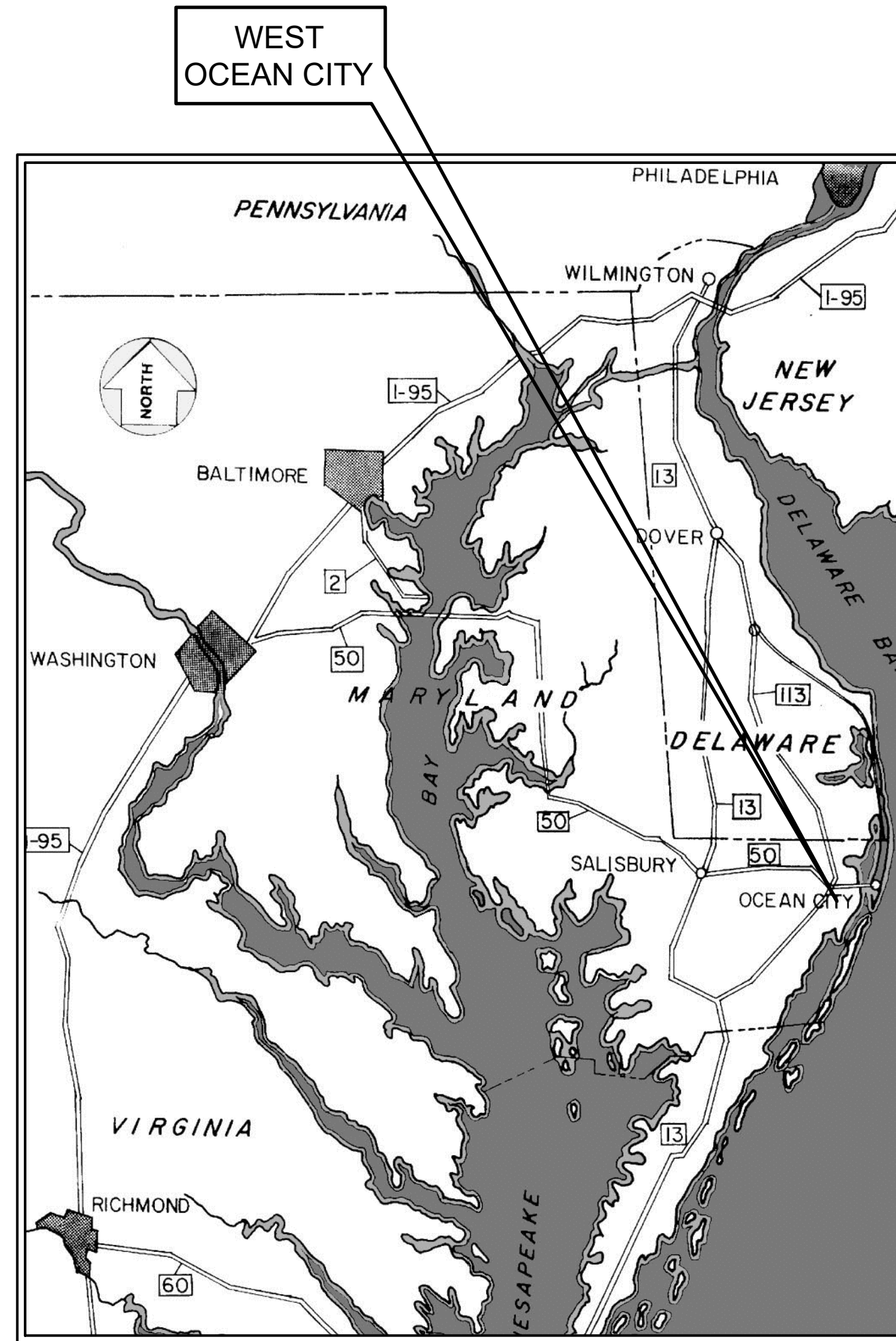
WATER: WORCESTER COUNTY - WEST OCEAN CITY

SEWER: WORCESTER COUNTY - WEST OCEAN CITY

ELECTRIC: DELMARVA POWER (ON SITE UTILITIES ARE PRIVATELY OWNED AND MAINTAINED)



LOCATION MAP
SCALE: 1" = 2000'



VICINITY MAP
SCALE: 1" = 20 MILES

ENGINEER'S CERTIFICATION:

"I, CHRISTOPHER J. PFEIFER, P.E. HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF MARYLAND AND THAT THE INFORMATION SHOWN ON DRAWINGS HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE LATEST EDITION OF THE TOWN STANDARDS AND ALL APPLICABLE LAWS OF THE STATE OF MARYLAND."

CHRISTOPHER J. PFEIFER, P.E. DATE
LICENSE #56492 EXP. SEPTEMBER 29, 2026

OWNERS CERTIFICATION:

"I, THE UNDERSIGNED, CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PLANS HAVE BEEN DEVELOPED IN GENERAL CONFORMANCE WITH ALL APPLICABLE AGREEMENTS, LAWS AND REGULATIONS OF THE AGENCIES HAVING JURISDICTION OVER THE WORK AND SPECIFICALLY WITH THE TOWN STANDARDS, TOWN CODE AND THE EXECUTED PUBLIC WORKS AGREEMENT."

TIM KAMAS DATE
OLD BRIDGE SUNSET HOLDINGS, LLC

CONTACTS

OWNER/DEVELOPER: OLD BRIDGE SUNSET HOLDINGS, LLC
THE DUFFIE COMPANIES, INC.
3521 ATLANTIC AVENUE
OCEAN CITY, MARYLAND 21842
PHONE: 301-434-3854
CONTACT: TIM KAMAS

CIVIL ENGINEER: GEORGE, MILES & BUHR, LLC
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
PHONE: 410-742-3115
CONTACT: CHRISTOPHER J. PFEIFER, P.E.

SURVEYOR: WILKINS-NOBLE, LLC
11729 CHURCH STREET
PRINCESS ANNE, MARYLAND 21853
PHONE: 410-621-0321
CONTACT: ANDY WILKINS



GEORGE, MILES & BUHR, LLC
ARCHITECTS & ENGINEERS
SALISBURY • BALTIMORE • SEAFORD
206 WEST MAIN STREET
SALISBURY, MARYLAND 21801
410-742-3115, FAX 410-548-5790
www.gmbnet.com

NOVEMBER 2024

Proposed Use	Requirement	Quantity (Units/SF)	Required Parking	Provided Parking
Watercraft Service	10 plus 1 Per bay (2)	23,755 ft ²	12	12
Total			12	12

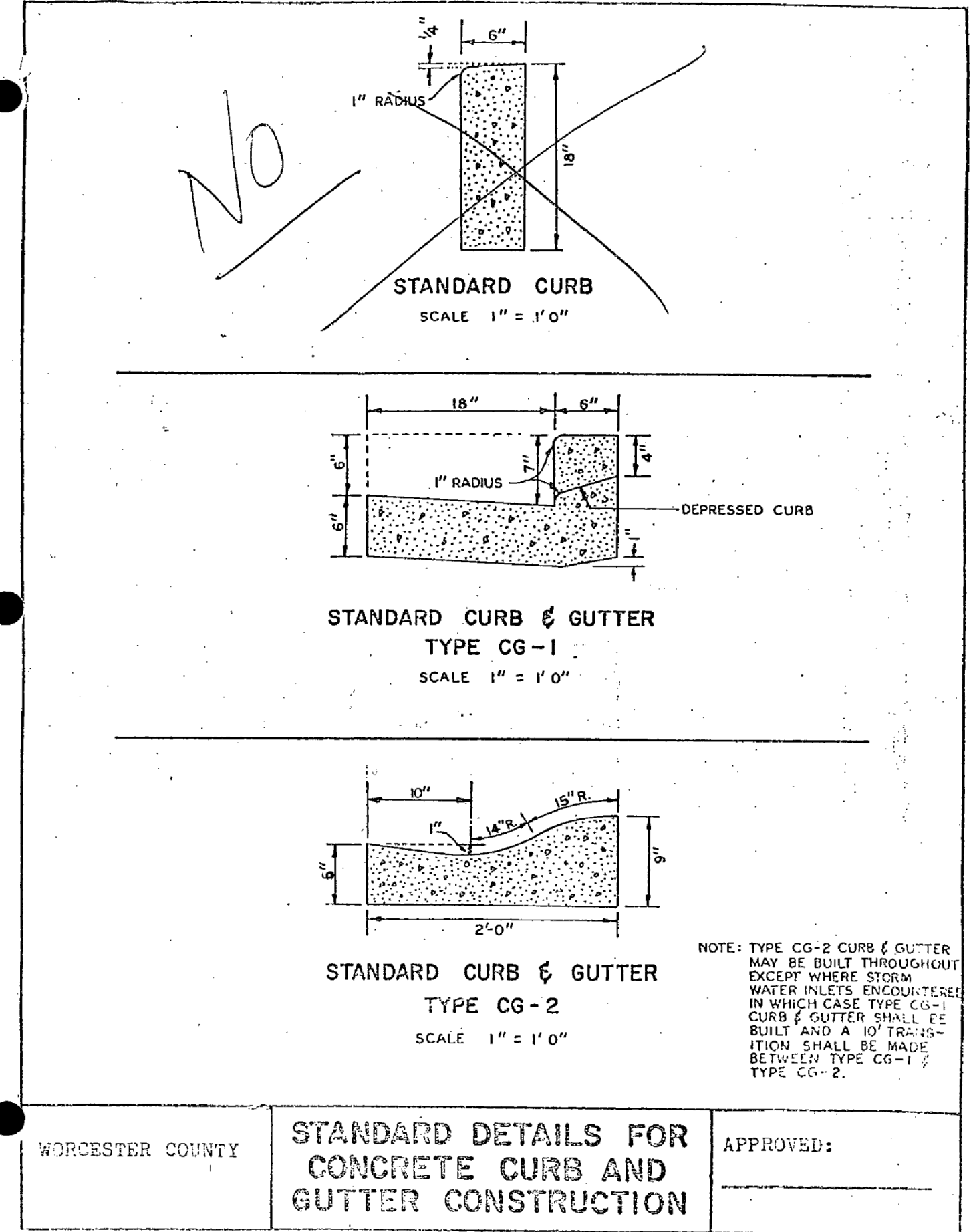
Proposed Use	Category	Requirement	Quantity (Units/SF)	Daily Use (GPD)	Required EDU
Area 4: Watercraft Service	Warehouse	0.03 per ft ²	23,775 ft ²	713.25	2.85
TOTAL:					2.85
					3 EDU

SUNSET MARINE PARK
WEST OCEAN CITY, MARYLAND

ENGINEERING PLAN
COVER SHEET

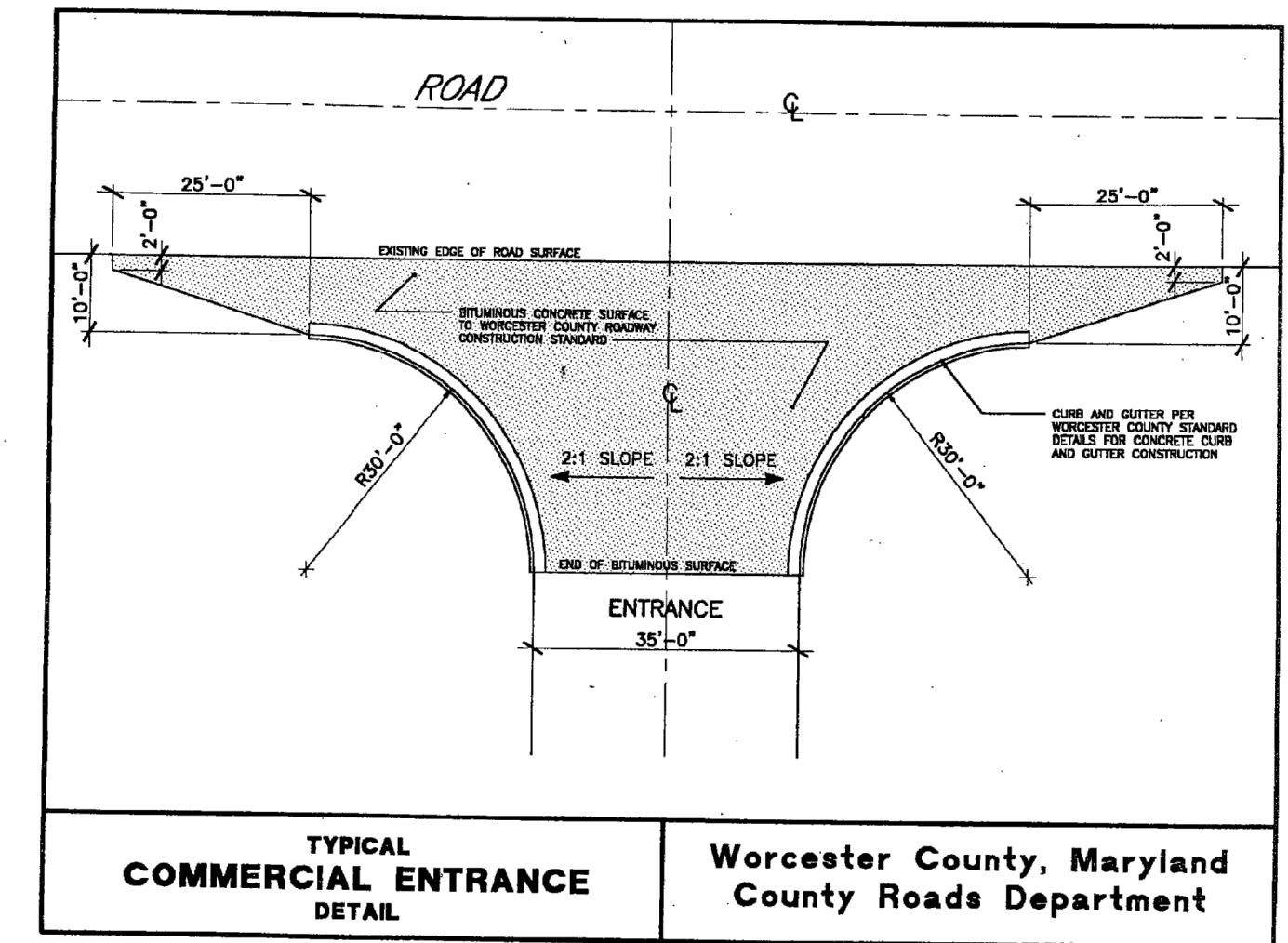
SCALE : AS NOTED SHEET NO.
DESIGN BY : JSJ
DRAWN BY : RFT
CHECKED BY : CJP
GMB FILE : 210225
DATE : NOV 2024
G1.0

PEN1-BRD	0.01 INCHES (0.25mm)	PEN1-YELW	0.07 INCHES (1.8mm)
PEN2-GRN	0.10 INCHES (2.5mm)	PEN2-BLU	0.07 INCHES (1.8mm)
PEN3-GRN	0.14 INCHES (3.5mm)	PEN3-BLU	0.07 INCHES (1.8mm)
PEN4-GRN	0.20 INCHES (5.0mm)	PEN4-BLU	0.07 INCHES (1.8mm)
PEN5-GRN	0.27 INCHES (7.0mm)	PEN5-BLU	0.07 INCHES (1.8mm)
PEN6-GRN	0.39 INCHES (10.0mm)	PEN6-BLU	0.07 INCHES (1.8mm)

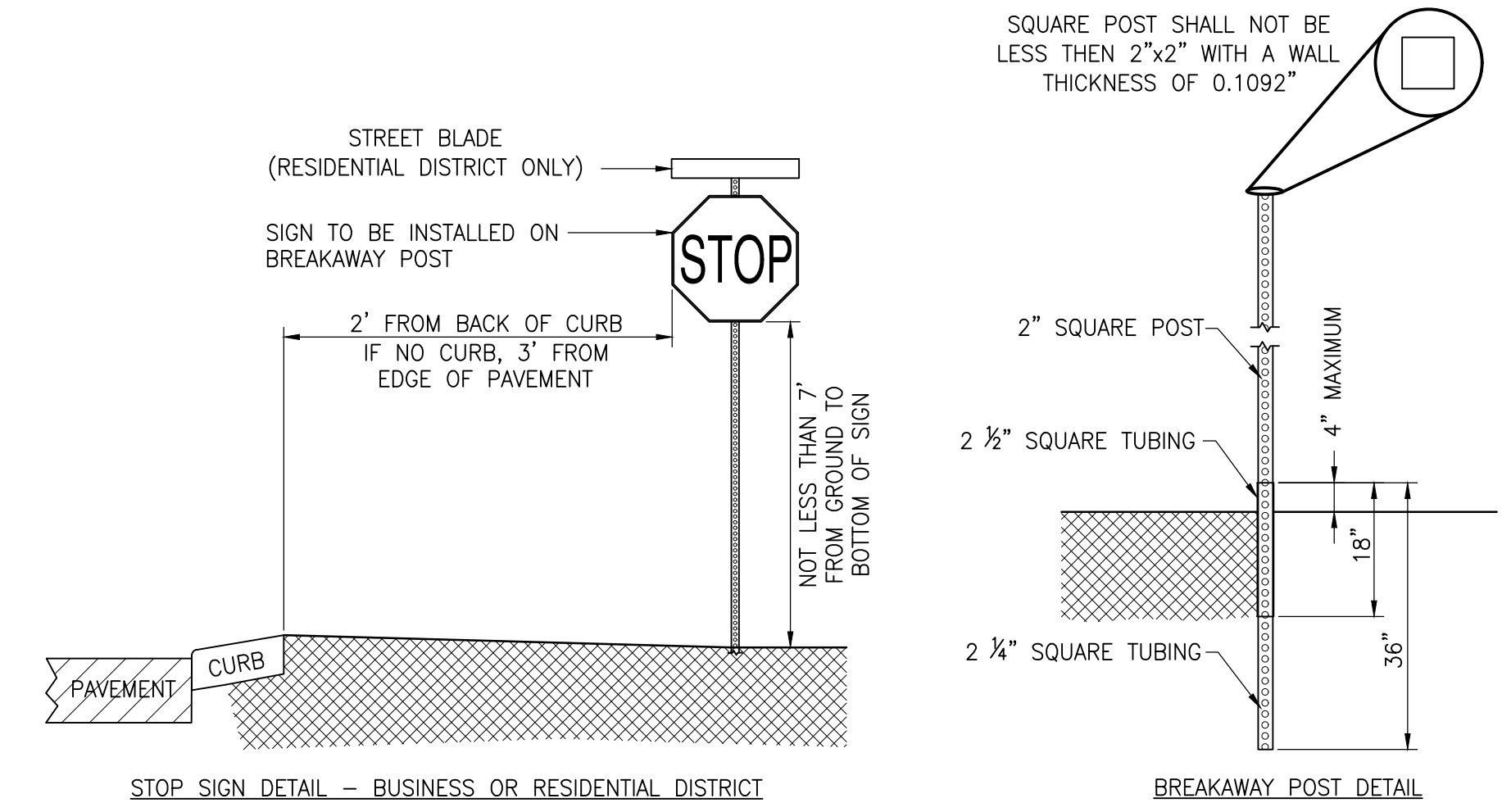


WORCESTER COUNTY
STANDARD DETAILS FOR CONCRETE CURB AND GUTTER CONSTRUCTION
 APPROVED: _____

Schedule D, Worcester County Roads Resolution



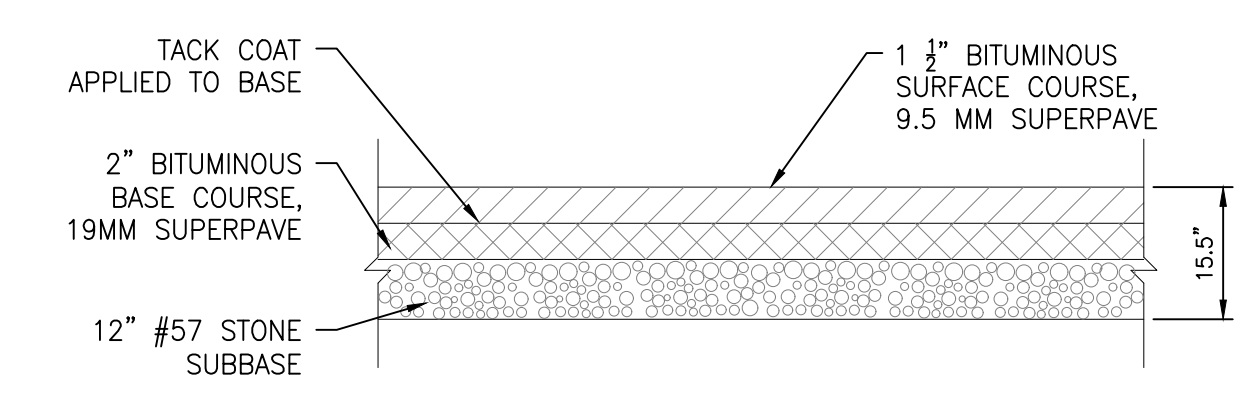
TYPICAL COMMERCIAL ENTRANCE DETAIL
 Worcester County, Maryland
 County Roads Department



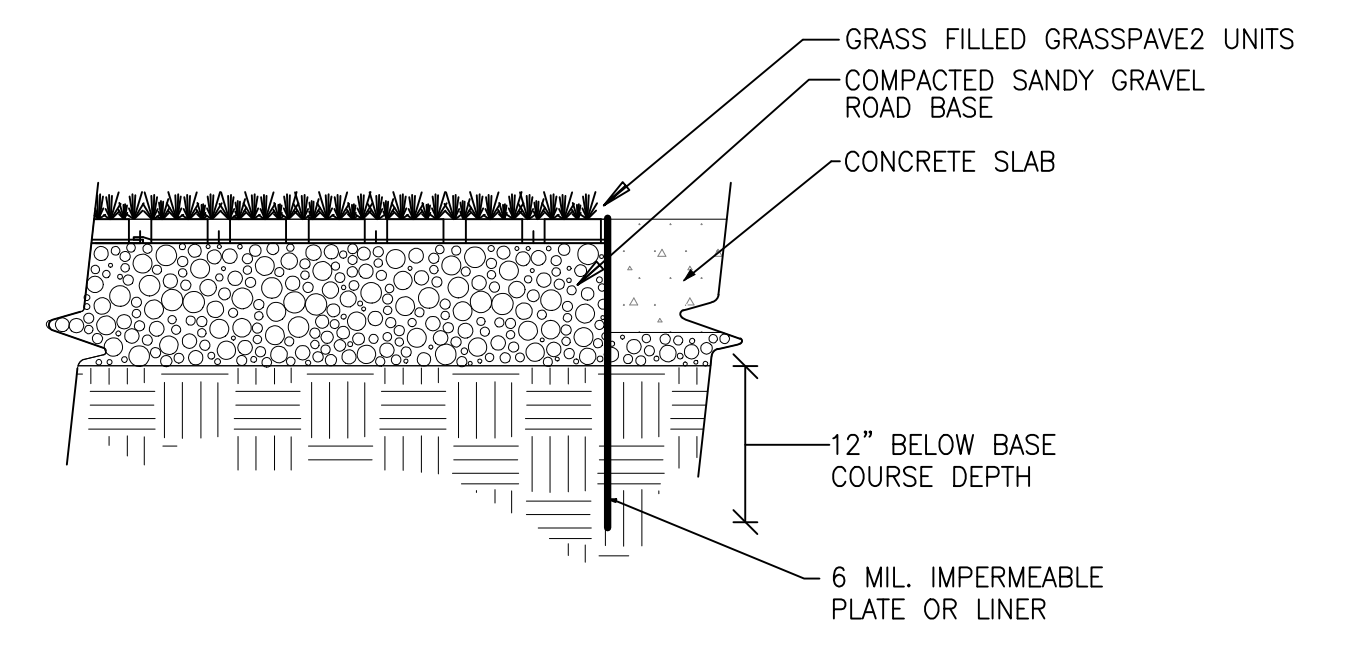
STOP SIGN DETAIL - BUSINESS OR RESIDENTIAL DISTRICT
 BREAKAWAY POST DETAIL

NOTE:
 DESIGN FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE "GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL DEVICES" (LATEST EDITION).

TYPICAL STOP SIGN DETAIL
 NO SCALE



TYPICAL PAVEMENT SECTION
 NO SCALE



NOTE:
 COMPACTED SUBGRADE, 95% MODIFIED PROCTOR DENSITY
 GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER

TYPICAL GRASS PAVER DETAIL
 NO SCALE

PRINTS ISSUED FOR CONSTRUCTION DRAWINGS

DATE	
REVISIONS	
NO.	

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SALISBURY - BALTIMORE - SEAFORD
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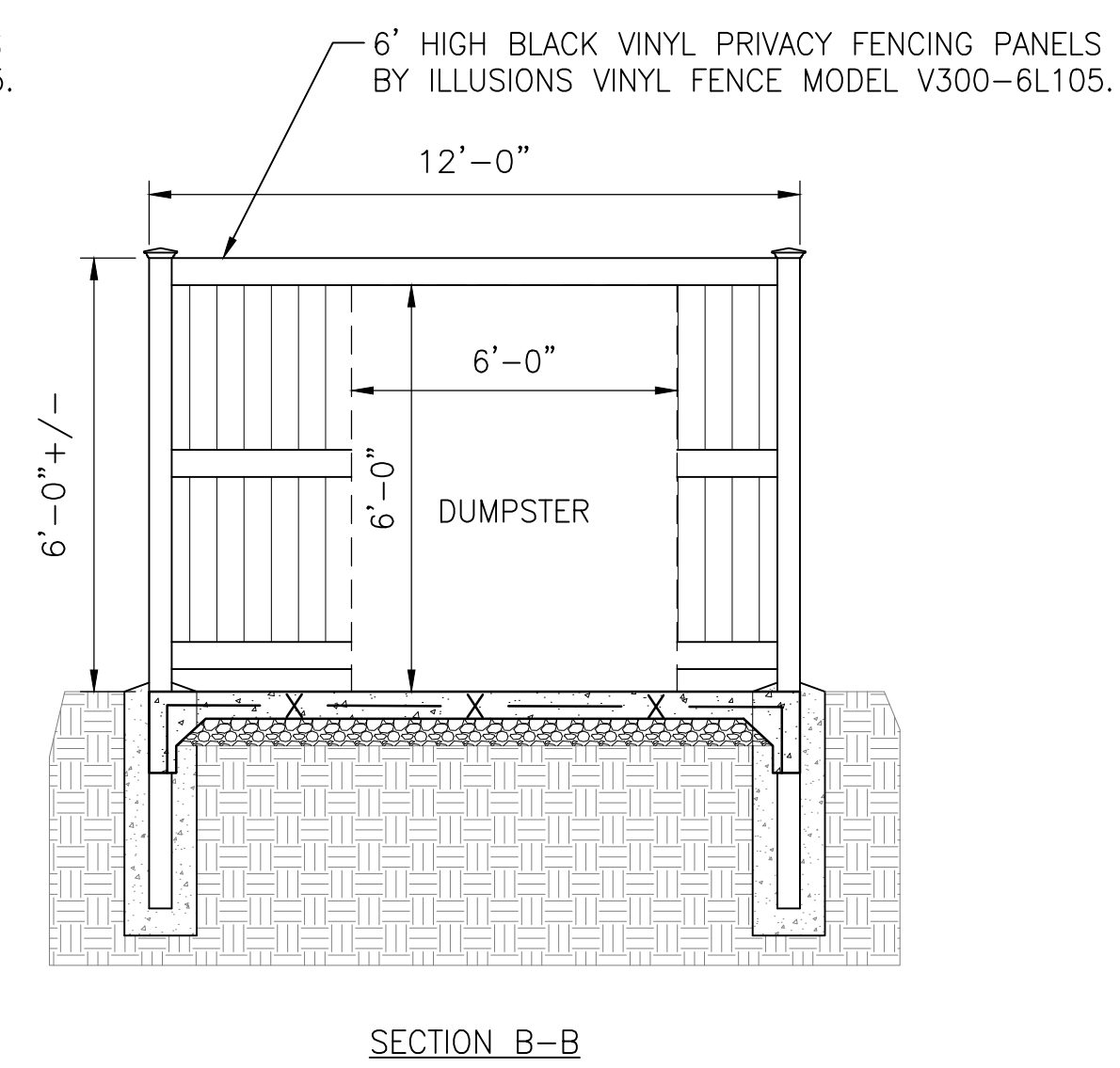
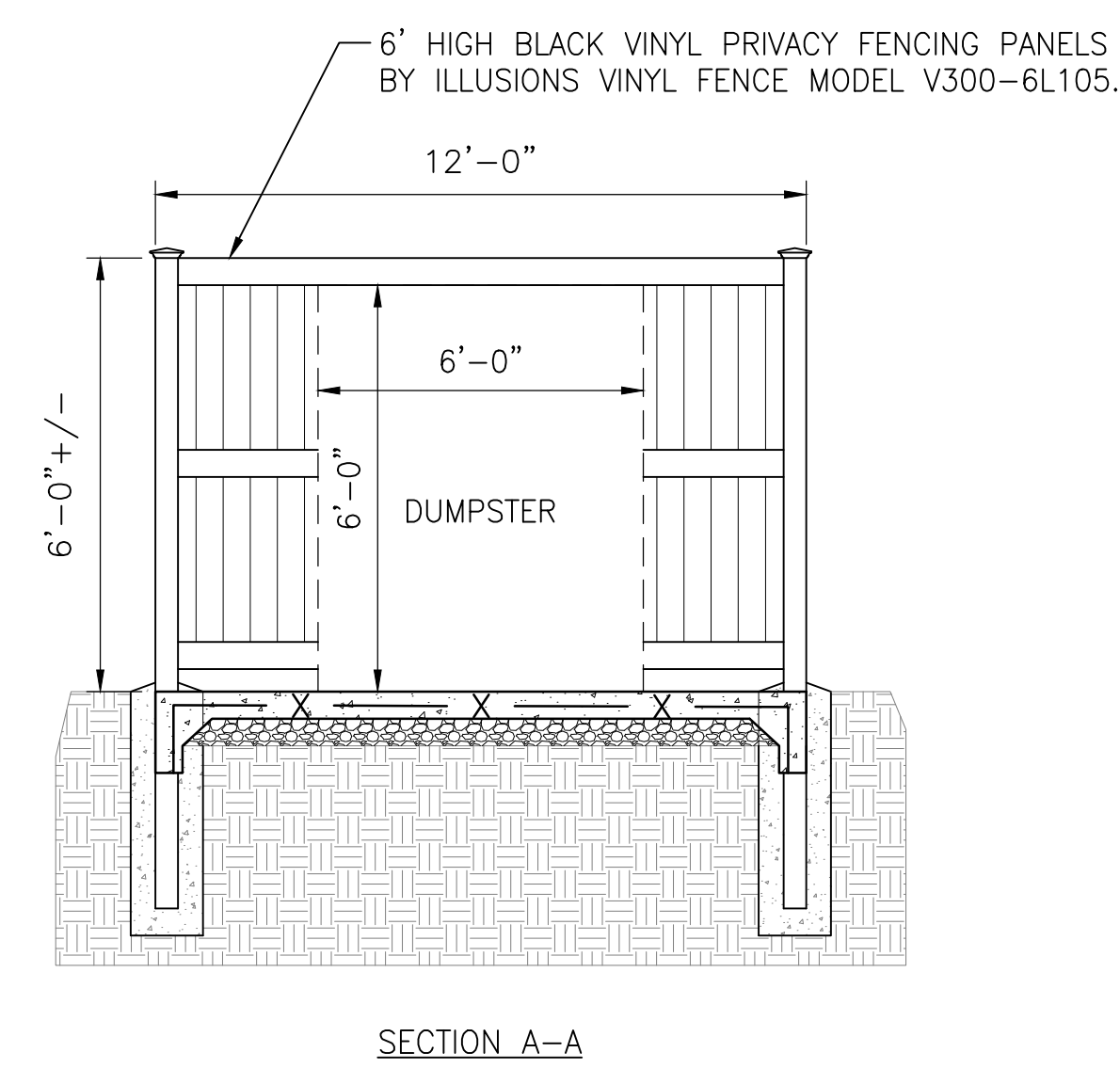
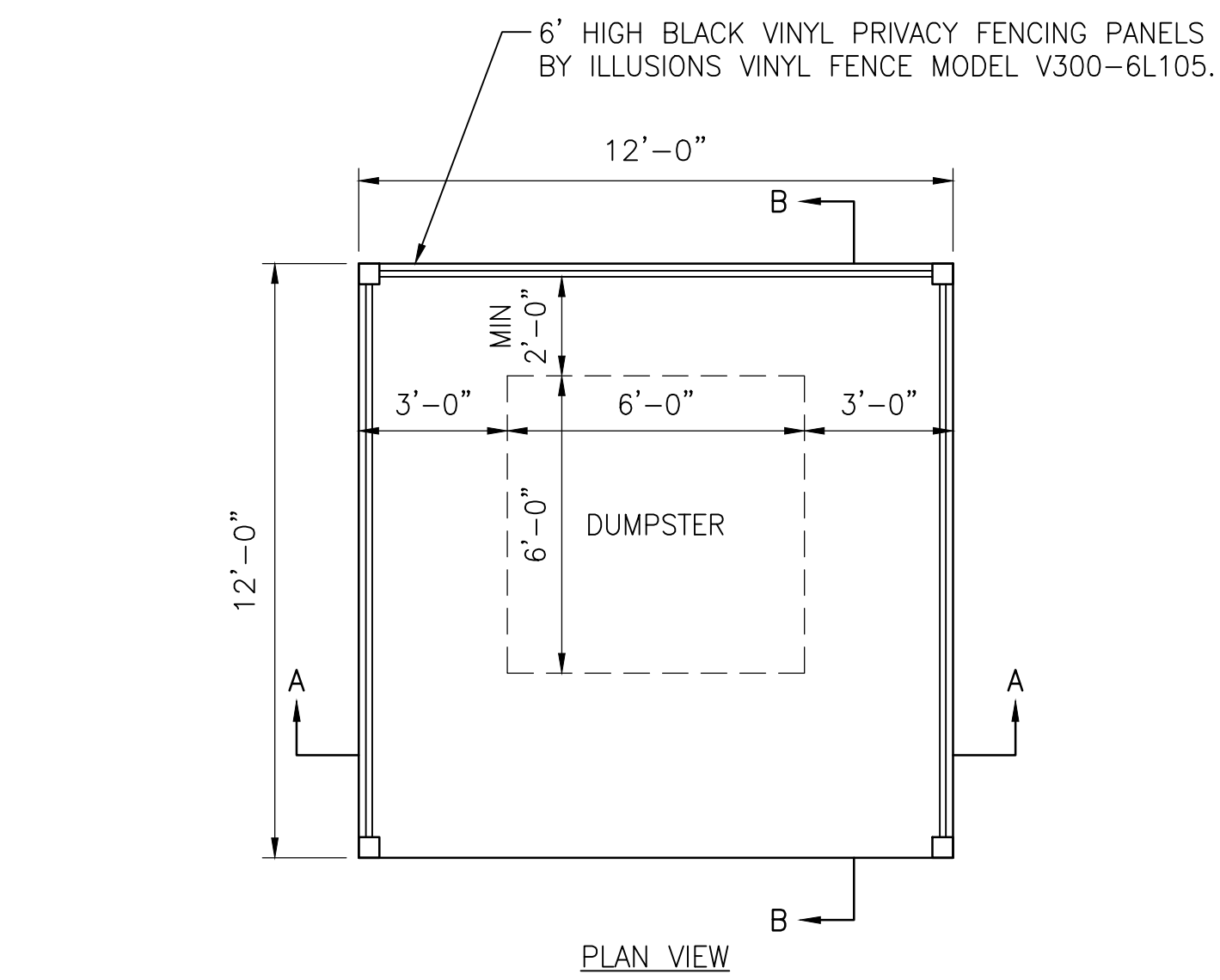
SUNSET MARINE PARK
 WEST OCEAN CITY, MARYLAND

SITE DETAILS

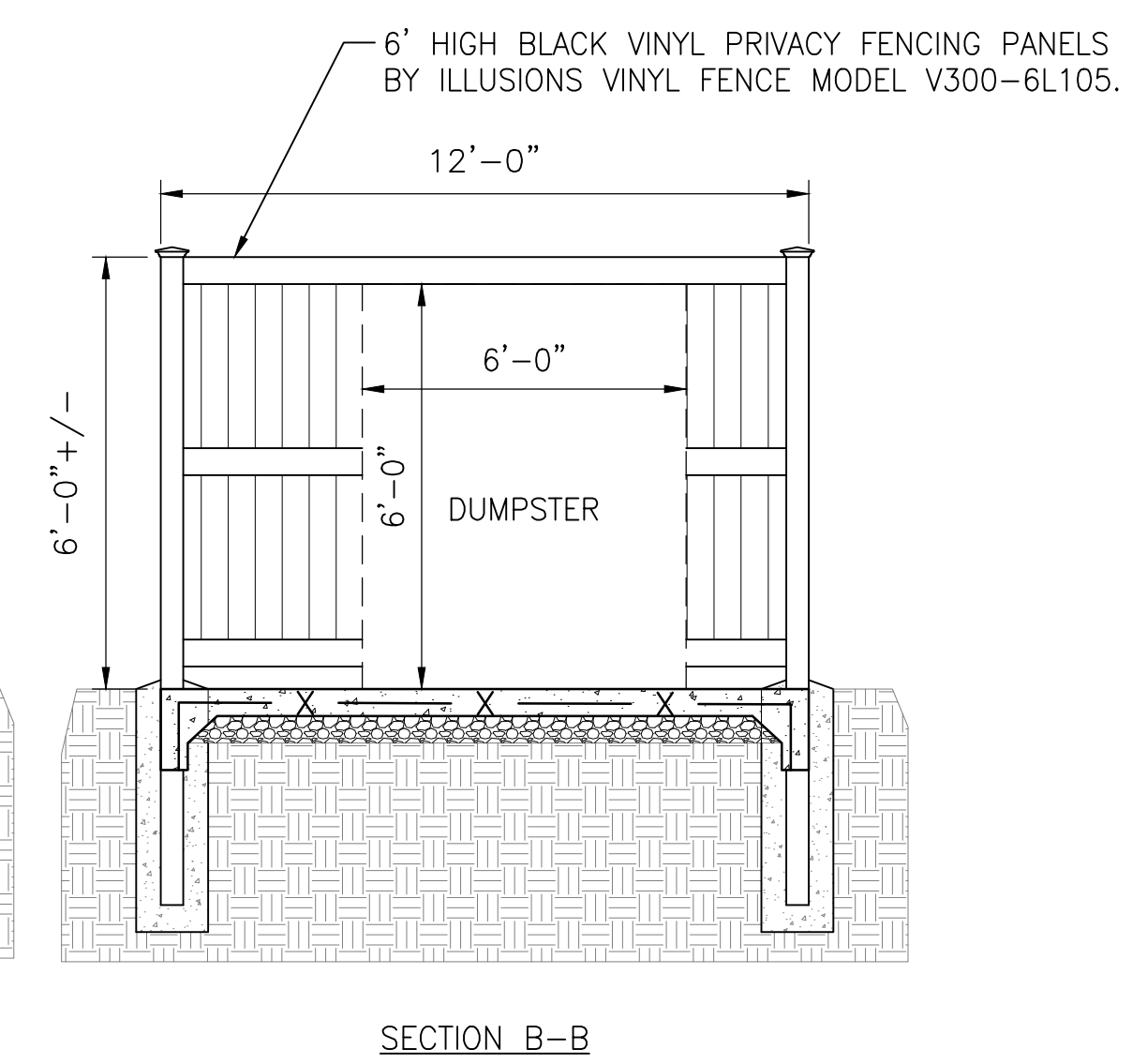
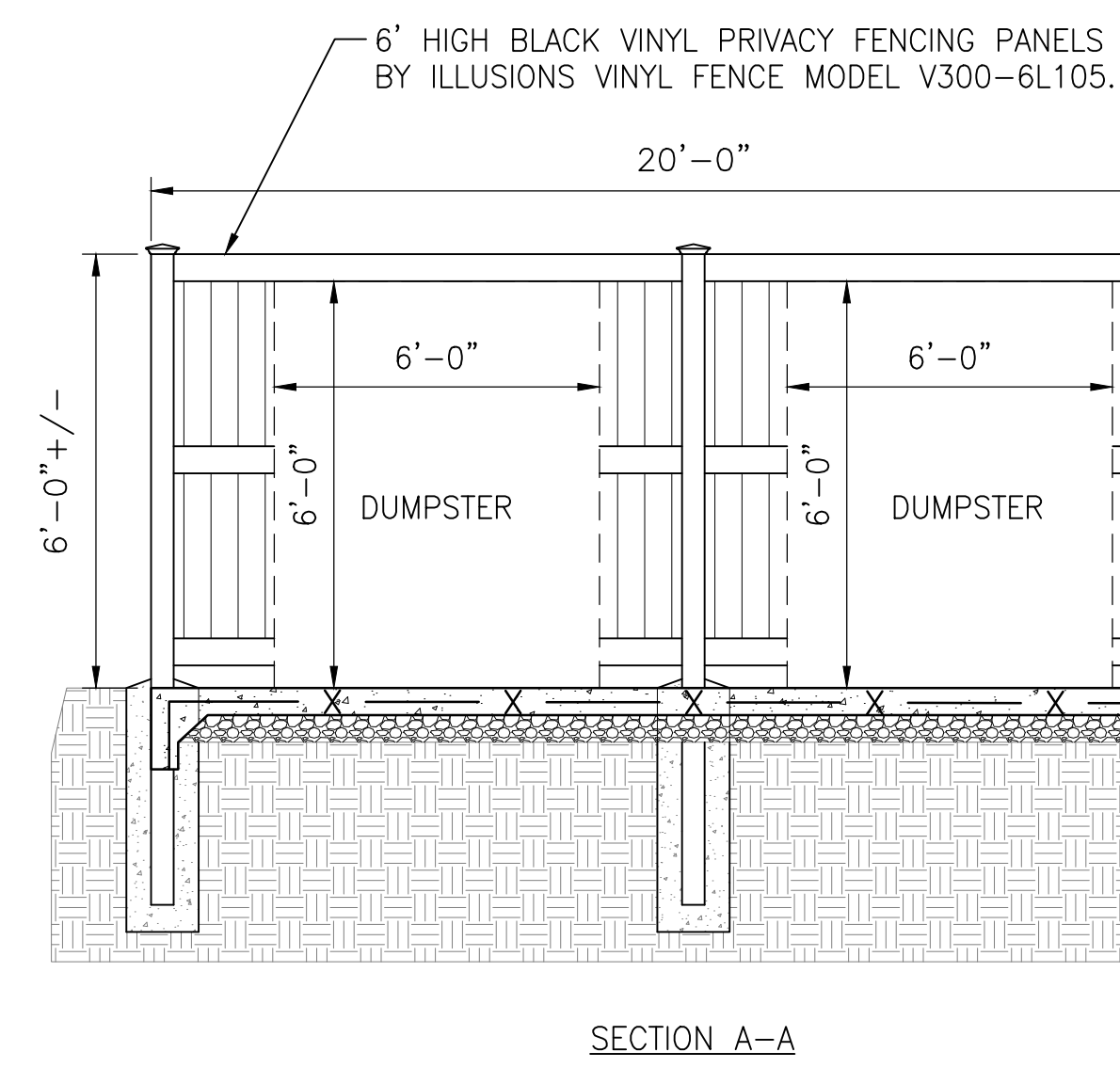
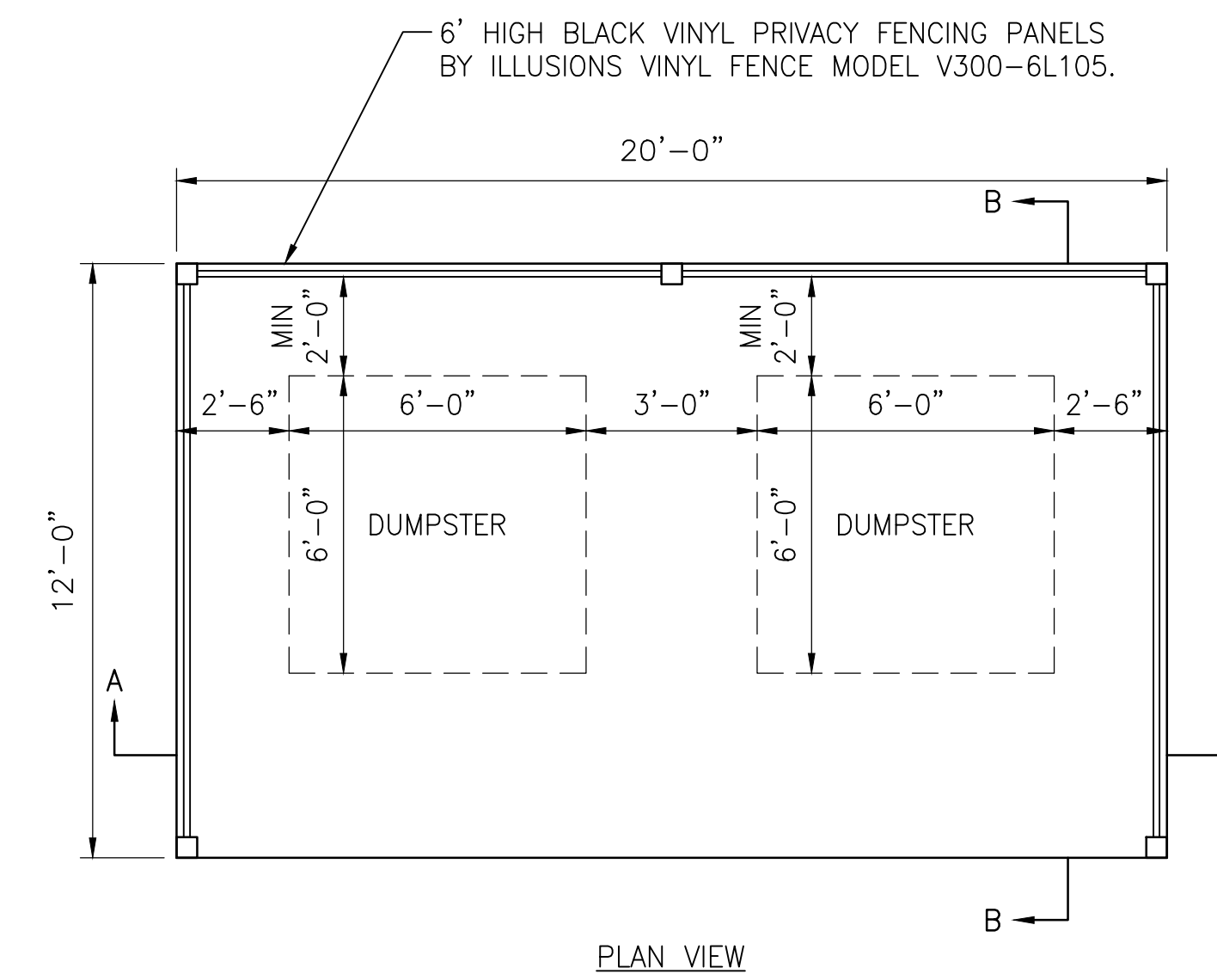
SCALE	: NO SCALE	SHEET NO.	
DESIGN BY	: JAL		
DRAWN BY	: RFT		
CHECKED BY	: CJP		
GMB FILE	: 210225		
DATE	: NOV 2024		

C9.2

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TYPICAL SINGLE DUMPSTER DETAIL
NO SCALE



TYPICAL DOUBLE DUMPSTER DETAIL
NO SCALE

PRINTS ISSUED FOR: CONSTRUCTION DRAWINGS	
DATE	
REVISIONS	
NO.	

GMB
 GEORGE, MILES & BUHR, LLC
 ARCHITECTS & ENGINEERS
 SALISBURY • BALTIMORE • SEAFORD
 206 WEST MAIN STREET
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 www.gmbnet.com

SUNSET MARINE PARK
 WEST OCEAN CITY, MARYLAND

SCALE : NO SCALE	SHEET NO.
DESIGN BY : JAL	C9.3
DRAWN BY : RFT	
CHECKED BY : CJP	
GMB FILE : 210225	
DATE : NOV 2024	

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ARCHITECTS
ENGINEERS

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PH: 800.789.4462
salisbury@gmbnet.com

SALISBURY
BALTIMORE
SEAFORD
LEWES
OCEAN VIEW

www.gmbnet.com

◆◆◆◆

JAMES H. WILLEY, JR., P.E.
CHARLES M. O'DONNELL, III, P.E.
A. REGGIE MARINER, JR., P.E.
JAMES C. HOAGESON, P.E.
STEPHEN L. MARSH, P.E.
DAVID A. VANDERBEEK, P.E.
ROLAND E. HOLLAND, P.E.
JASON M. LYTLE, P.E.
CHRIS B. DERBYSHIRE, P.E.
MORGAN H. HELFRICH, AIA
KATHERINE J. MCALLISTER, P.E.
W. MARK GARDOCKY, P.E.
ANDREW J. LYONS, JR., P.E.

PETER A. BOZICK, JR., P.E.
JUDY A. SCHWARTZ, P.E.
W. BRICE FOXWELL, P.E.

JOHN E. BURNSWORTH, P.E.
VINCENT A. LUCIANI, P.E.
AUTUMN J. BURNS
CHRISTOPHER J. PFEIFER, P.E.
BENJAMIN K. HEARN, P.E.

November 15, 2024

Worcester County
Department of Development and Permitting
One West Market Street, Room 1201
Snow Hill, MD 21863

Attn: Kristen M. Tremblay
Zoning Administrator

RE: Technical Review Committee
Sunset Marine Park
GMB # 210225

Ms. Tremblay:

We are pleased to re-submit the revised items for Planning Commission review for the December 5, 2024, regular meeting. The enclosed materials for review are listed below.

- Ten (10) copies of the Sunset Marine Park Master Site Plans
- One (1) copy of the Sunset Marine Park Approved ESC/SWM Plans
- One (1) copy of the Sunset Marine Park Critical Area Report
- One (1) copy of the Sunset Marine Park Critical Area Computations
- One (1) copy of the Sunset Marine Park Critical Area Exhibit (EX-1)
- One (1) copy of the Sunset Marine Park SWM Report & Calculations
- One (1) copy of the Sunset Marine Park Watercraft Service Facility, Building 02, and Building 03 Elevations
- One (1) copy of the Konline Wallpack KWPD Specifications
- One (1) copy of the Worcester County Review Fee Schedule
- GMB Check \$981.05 - Worcester County Review Fees

The below major revisions have been made to the site plan since the previous submittal.

- Building 1 and all of its associated infrastructure has been removed from the plans.
- Temporary Boat/Vehicle storage areas have been added and can be seen on sheet G1.2.
- Additional buffering/screening has been added for the temporary Boat/Vehicle storage areas and can be seen on Landscaping Plan sheet L1.0.

The responses below address the comments discussed at the November 13, 2024, Technical Review Committee (TRC) Meeting.

General Requirements:

1. In order to obtain a Building Permit, the applicant must submit the following to the Department:
 - a. A complete Building Permit Application along with the initial fee of \$350 made payable to "Worcester County."
 - b. Four (4) sets of complete construction plans (footing, foundation, framing, floor plan and building elevations (front, rear and sides)). The construction plans must be sealed by an architect and prepared in accordance with the applicable International Building Code, Energy Code, and ADA Code.
 - c. Four (4) site plan sets as approved by the Technical Review Committee.
2. Once the permit is issued, the applicant must coordinate all necessary inspections with the respective Building/Housing/Zoning Inspector. The Department requires 24-hour notice for all inspections. The inspector may require special or additional inspections as needed.
3. In order to obtain a Certificate of Use and Occupancy, all of the necessary inspections must be completed and approved by the various inspections' agencies (building, zoning, plumbing, electrical, water, sewage, health, roads, etc.). Two (2) sets of As-Builts (illustrating all lighting, landscaping, parking, signs etc.) must be submitted at least one (1) week prior to the anticipated occupancy of the building, structure, or use of land. Please note that it is **unlawful to occupy a structure (employees or patrons) without the benefit of a Certificate of Use and Occupancy.**

Response: **Acknowledged.**

General

Comment 1: Please label the sidewalks on Sheet G1.2.

Response 1: **Sidewalk labels have been added to Sheet G1.2 as requested.**

Comment 2: Please remove the label for building three (3) on sheet C2.0.

Response 2: **The label for Building 03 has been removed on Sheet C2.0 as requested.**

Comment 3: A bike rack detail is included, however there does not appear to be a dedicated space on the site plan. Please include on the site plan Sheet G1.2 and in alignment with ZS1-320(f)(12):
<https://ecode360.com/14021060>

Response 3: **Building 01 has been removed from this submittal and as a result so has the proposed bike rack. The bike rack will be proposed with future plans showing future buildings. The bike rack details have not been removed from the plans.**

Comment 4: Comment #10. The table on Sheet G1.0 indicates that there are 28 EDU's. I believe these are intended to be parking spaces. Please relabel.

Response 4: *This typo has been corrected.*

Comment 5: Comment #15. Per ZS1-305(k)(3)(B&C), the height of the proposed dumpster enclosures may not exceed six (6) feet in height. The eight (8) foot height shown would be permissible if approved by the Board of Zoning Appeals. Please indicate if a special exception would be sought or if the enclosure heights are to be reduced to six (6) feet. <http://ecode360.com/14020431>

Response 5: *The height of the dumpster pads has been updated and now shows 6'*

Comment 6: Comment #22 Please update the legend for tree height at installation to be 10 feet per ZS1-322(f).
<https://ecode360.com/14021133>

Response 6: *The legend on Sheet L1.0 has been updated as requested.*

Comment 7: Comment # 26. Please also provide the locations and types of lighting proposed for building one (1) and the watercraft services building. <https://ecode360.com/14021143> Please also review the Design Guidelines Review that was provided for the September 6 Technical Review Committee – pages 17-18

Response 7: *Building 01 is no longer proposed with this plan. A detail and locations of the proposed wall mounted detail have been added to the plans.*

Comment 8: Comment #28. Regrettably, the Desing Guidelines for community open space are applicable for commercial developments and are not geared toward the residential component. A bench would be sufficient, or a waiver may be requested from the Planning Commission.

Response 8: *Benching areas have been shown on the plans. Construction Notes # 24 and 25 have been updated on Sheets C1.1-C1.1B in order to reflect this. Additionally, notes have been added to Sheet G1.2 reflecting this.*

Comment 9: Please note that if the areas intended for future development are to be used as outdoor storage until EDU's become available, it will need to be 'buffered' (see code provisions below) from adjoining properties in accordance with the C-2 General Commercial District

regulations. <https://ecode360.com/14019733> Additionally, if outdoor storage is to extend beyond the limits of the fencing for the watercraft services building, this location will need to be shown on the site plan.

A. *“(2) Where the term “buffering” appears in this Title in reference to landscaping for a particular use or structure, such landscaping shall be in accordance with the following provisions:*

- i. *A. Concentrated landscaping shall be provided to diminish the visual and physical impacts of the use or structure, both on the site and from adjacent properties.*
- ii. *B. Landscaping may be a mis of trees, shrubs and other vegetation and of such density that the view, while not obscured, is diffused.”*

Response 9: *Additional Landscaping trees have been proposed in order to buffer/screen the frontage of Sunset Avenue from the site. This can be seen on Sheet L1.0.*

Design Guidelines

Comment 10: Building elevations were provided. The Planning Commission will only be able to review the two (2) that are currently being proposed. For the next submission, please only include the two (2) buildings.

Response 10: *Only building elevations for the Watercraft Service Facility have been provided with this submittal.*

Comment 11: Is building one (1) for the retail to be a one- or two-story structure? As there are only enough EDU's for the retail, how does the second story get developed? Is this to only be one story? It will need to be clear what is to be developed, and the Planning Commission will only be able to review what can actually be developed with the current EDU's available.

Response 11: *Building 01 is no longer within the scope of these plans and has been removed from these plans. The EDU requirements for the Watercraft Service Facility have been provided on Sheet G1.0.*

Comment 12: A more comprehensive review of the Design Guidelines will need to be undertaken by staff for the Planning Commission's review. **Please provide comments in response to the Design Guidelines review provided with the September 6, 2024, TRC Packet and indicate which waivers are being requested. To-scale dimensions will need to be provided on the elevations including building lengths and heights, façade heights, roof pitches, windows & doors sizes, façade trims dimensions,**

roof overhand depths, any wall plane projections or recesses, percentages of transparent features (windows/doors), distance from the base to the windows, and locations of any outdoor mechanicals. Please also note that some of the review comments for the design guidelines are applicable to the site plan in addition to the elevations.

Response 12: *Updated architectural elevations have been provided and can be seen on Sheet A1.1. Additionally, wall mounted light fixtures have been added to the Watercraft Service Facility and can soon on provided elevations as well as by Construction Note #23 on Sheet C1.1A.*

Worcester County Technical Review Committee Natural Resources, Joy S. Birch

Comment 1: Please correct the code section to "Worcester County Code sections "NR 3-120" on the Construction Note #17 on sheet G1.0 and General Note #20 on sheet G1.1.

Response 1: *This typo has been updated as requested.*

Comment 2: This project meets the requirement for the Maryland Critical Area Commission Project Notifications parameters, therefor provide a digital copy of the plan (once revised as per the above comments), Critical Area Report, 10% rule compliance details, and all other pertinent documents when submitted, will be forwarded to Commission staff for review and comment.

Response 2: *Acknowledged – the above requested items have been provided with this submittal.*

Comment 3: Please provide a Critical Area Review Fee of \$355.75 for the Major Site Plan Review.

Response 3: *The review fee will be provided separately with this submittal.*

Storm Water Management & Erosion and Sediment Control:

General Provisions

All Erosion and Sediment controls should comply with the 2011 Maryland Standards and Specifications for Erosion and Sediment Control.

All Stormwater Management practices shall be designed to meet the requirements of the 2007 Maryland Stormwater Management Act.

All projects over one (1) acre shall be required to file for a General Permit Notice of Intent (NOI) for construction activity through Maryland Department of Environment. This is

mandated through the Environmental Protection Agency's (EPA) National Pollutant Discharge Elimination System (NPDES). Any permits to be issued by Worcester County for disturbance that exceeds one acre will not be issued without NOI authorization being obtained prior to.

Response: *Acknowledged*

Worcester County Technical Review Committee Environmental Programs Staff:

Comment 1: Please relabel the parking calculation table to indicate parking spaces required/provided instead of EDUs required/provided.

Response 1: *The typo has been corrected.*

Comment 2: The property currently has two sewer EDUs. An application to transfer two additional EDUs has been submitted for processing.

Response 2: *Acknowledged the transfer process for an additional EDUs is processing.*

Comment 3: The property currently has two water EDUs. Two additional water EDUs will need to be purchased prior to signature site plan approval.

Response 3: *Acknowledged the transfer process for an additional EDUs is processing.*

Comment 4: Commercial plumbing plans and permits are needed. A commercial plumbing plan review will need to be completed on the property. The fee associated with the commercial plumbing plans is \$225.

Response 4: *Acknowledged.*

Comment 5: Gas permits will be needed if gas is utilized within the project.

Response 5: *Acknowledged.*

Comment 6: Plumbing Code is the 2021 International Plumbing Code (IPC) Illustrated (National). The Gas Code is the 2021 International Fuel Gas Code (IFGC), for natural gas.

Response 6: *Acknowledged.*

Department of Development Review & Permitting Site Specific Comments

Comment 1: Wind Design: 127 MPH (assumed); Risk category II; Exposure "C".

- Response 1:** **Acknowledged.**
- Comment 2: Complete sealed architectural, structural, mechanical, plumbing, and electrical plans are required.
- Response 2:** **Acknowledged these will be provided at the time of building permit submittals.**
- Comment 3: Soils Report submittal with permit application.
- Response 3:** **Acknowledged this will be provided at the time of building permit submittals.**
- Comment 4: Provide an Energy Compliance Report and lighting plan.
- Response 4:** **Acknowledged this will be provided at the time of building permit submittals.**
- Comment 5: Provide all information per section C103.2: Building envelope, including slab to comply with 2021 IECC.
- Response 5:** **Acknowledged this will be provided at the time of building permit submittals.**
- Comment 6: Provide all details and specifications per 2010 ADA design standards and MAC (Maryland Accessibility Code).
- Response 6:** **Acknowledged this will be provided at the time of building permit submittals.**
- Comment 7: Provide an accessible route from the parking lot to the building entry.
- Response 7:** **ADA compliant access and grades have been provided for the service building.**

If you have any questions or concerns, please contact us at (410) 742-3115.

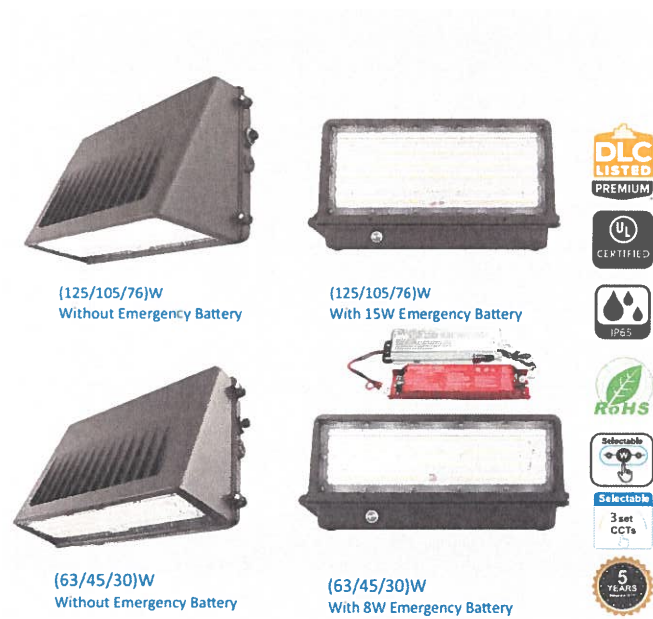
Thank you,


Jesyl J. Silva
Project Manager

KWPD Series - Wattage & CCT Selectable

LED Full Cutoff Wall Pack

Project Name:	
Catalog Number:	
Notes:	



Product Description:

The Konlite KWPD Series LED Full Cut-Off Wall Pack is both Wattage selectable and CCT selectable, covers 21 single SKUs, and can replace up to a 400W MH. With uniform light distribution and an excellent LED lumen maintenance rating, this slim wall pack is an energy efficient lighting solution that's made to last.

This model offers an optional emergency backup battery and a photocell making it an ideal choice for wall mounted lighting applications.

Applications:

Parking Areas, Building Façades, Loading Areas, Driveways, Carports

Features & Specifications:

Construction

Two-piece die-cast aluminum housing ensures maximum heat dissipation for optimal performance

Electric

120-277 VAC input voltage.
 Power factor >90%, THD <20%, 0-10V Dimmable.
 Operating Temperature Range: -40°C to 45°C (-40°F to +113°F)
 Note: Operating Temperature With Emergency Backup Battery:
 5°C to 40°C (+40°F to +104°F)

Certification

UL Listed, suitable for wet locations.
 DesignLights Consortium® (DLC) Premium 5.1 qualified product.
 Note: Please refer to the DLC website for specific product qualifications at www.designlights.org.

Installation

Can be mounted directly onto a Junction Box or via Conduit Mounting

Optic

CCT Selectable with Selections of 3000K/4000K/5000K
 70 CRI Selectable Set Lumens from 3,900 to a Max. of 14,040 Lumens
 Anti-UV prismatic translucent lens designed to distribute light uniformly

Warranty

5-year limited warranty

Ordering Information				Example: KWPDLMWMCLV
Series	Wattage	CCT	Voltage	Emergency
KWPD	LMW=63W/45W/30W (63W default setting) MMW=90W/63W/45W (90W default setting) HMW=125W/105W/76W (125W default setting)	MC=3000K/4000K/5000K (5000K default setting)	LV=120-277V	Blank=Without Emergency Battery Backup EM=With Emergency Battery Backup

Note:

1) 8W Emergency Battery Backup for LMW (63W/45W/30W), 15W Emergency Battery Backup for MMW & HMW (90W/63W/45W, 125W/105W/76W).



2880 North Berkeley Lake Road NW, Suite 8 Duluth, GA 30096
 Toll Free: 877-718-0808 Fax: 770-817-0127 www.revolveled.com

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POWER SELECTIONS & EQUIVALENTS



Switches for Power & CCT Selection

KWPD	Wattage	63W*	45W	30W
	Equal	250W MH	175W MH	100W MH
	Wattage	90W*	63W	45W
	Equal	320W MH	250W MH	175W MH
	Wattage	125W*	105W	76W
	Equal	600W MH	400W MH	250W MH

*Default power setting for each size.

PERFORMANCE DATA

Photometric Data

Lumen values are based on 277 AC input product configuration, contact for performance data on any configurations not shown here

SYSTEM WATTS	VOLTAGE	CRI	LUMENS (3000K)	LPW (3000K)	LUMENS (4000K)	LPW (4000K)	LUMENS (5000K)	LPW (5000K)
30W	120-277VAC	70	4,440lm	148lm/w	4,890lm	163lm/w	4,740lm	158lm/w
45W	120-277VAC	70	6,615lm	147lm/w	7,335lm	163lm/w	7,065lm	157lm/w
63W	120-277VAC	70	9,160lm	146lm/w	10,217lm	162lm/w	9,797lm	156lm/w
76W	120-277VAC	70	11,010lm	145lm/w	12,312lm	162lm/w	11,856lm	156lm/w
90W	120-277VAC	70	13,052lm	143lm/w	14,575lm	160lm/w	13,939lm	154lm/w
105W	120-277VAC	70	15,225lm	145lm/w	17,535lm	167lm/w	16,590lm	158lm/w
125W	120-277VAC	70	18,017lm	144lm/w	20,812lm	166lm/w	19,645lm	157lm/w

Electrical Data

Wattage	AC Input Current (A)			
	120V	208V	240V	277V
30W	0.25	0.14	0.12	0.11
45W	0.38	0.22	0.19	0.16
63W	0.53	0.30	0.26	0.23
76W	0.63	0.37	0.32	0.27
90W	0.75	0.43	0.38	0.32
105W	0.88	0.50	0.44	0.38
125W	1.04	0.60	0.52	0.45



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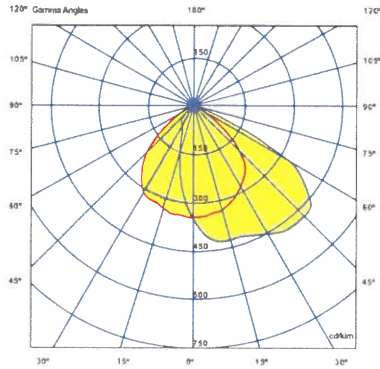
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Lumen Maintenance

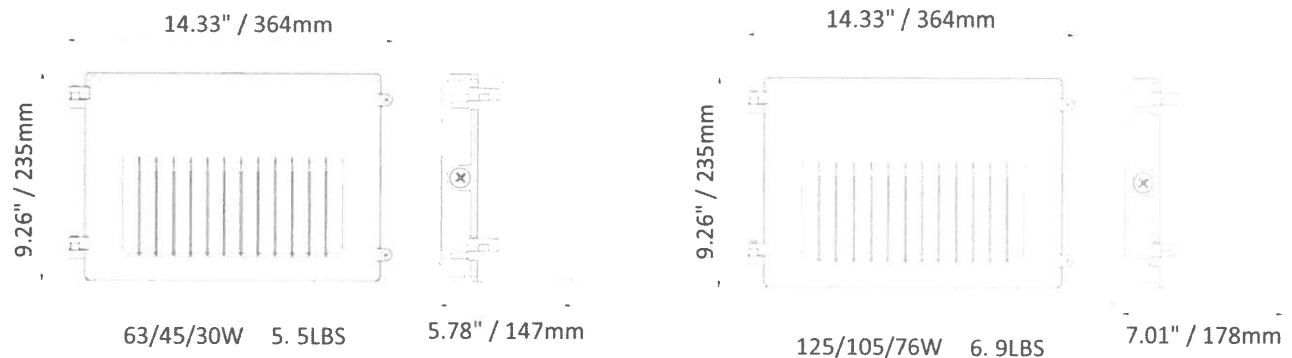
Operating hours	25,000	50,000	75,000	100,000
Lumen Maintenance Factor	>0.95	>0.89	>0.84	>0.79

PHOTOMETRIC DIAGRAM

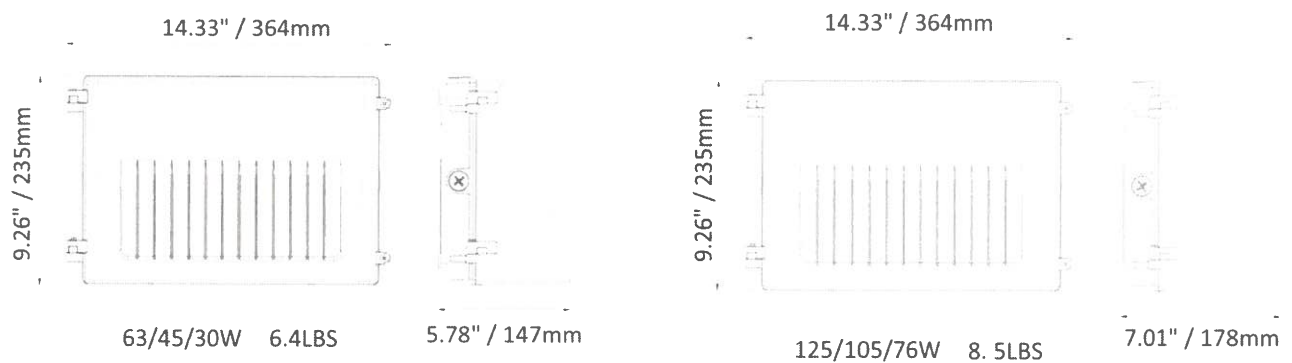


FIXTURE DIMENSIONS AND WEIGHT

unit:inch/mm, Without Emergency Battery



unit:inch/mm, With Emergency Battery



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DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

ZONING DIVISION
BUILDING DIVISION
DATA RESEARCH DIVISION

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410.632.1200 / FAX: 410.632.3008
<http://www.co.worcester.md.us/departments/drp>

ADMINISTRATIVE DIVISION
CUSTOMER SERVICE DIVISION
TECHNICAL SERVICES DIVISION

November 27, 2024

Charlie Barnette
Morris & Ritchie Associates, Inc.
111 Ruthar Drive
Newark, MD 19711

Re: Eastern Shore Natural Gas Storage, Tax Map 9, Parcel 47

Dear Mr. Barnette:

This is to advise you that the Department has completed a review of the site plan dated November 14, 2024 with a professional certification stamp dated the same, associated with the above referenced project. The plan has been reviewed in accordance with the pertinent sections of the Worcester County *Zoning and Subdivision Control Article* and the *Design Guidelines and Standards for Commercial Uses*. The following code requirements have yet to be addressed:

GENERAL:

1. Please provide a handicapped space in accordance with federal and state regulations.

A copy of the Staff Report associated with this project is attached for your reference. Please do not hesitate to contact me at 410-632-1200 ext. 1131 with any questions or comments you may have concerning this matter.

Yours,

Kristen M. Tremblay, AICP
Zoning Administrator

WORCESTER COUNTY PLANNING COMMISSION

MEETING DATE: December 5, 2024

PURPOSE: Review of proposed site development consisting of five (5) 100,000 gallon liquefied natural gas storage tanks with ancillary equipment necessary to re-gasify the natural gas for transport to Eastern Shore's existing pipeline system which currently runs along US Route 113. The facility includes a 3,276 square foot control room, liquified natural gas truck offloading area and turnaround. It also includes impoundment areas, vapor barrier wall, and chain-link security fence installed around the operating area of the facility.

DEVELOPMENT: Eastern Shore Natural Gas – Re-gasification Plant

LOCATION: A land-locked parcel located approximately 1,300 feet west of Route 113, approximately 1,800 feet north of the intersection of Route 113 and Jarvis Road. Tax Map 9, Parcel 47, Tax District 05.

ZONING DESIGNATION: A-1 Agricultural

BACKGROUND: The project went before the Technical Review Committee (TRC) on June 12, 2024. The project site plan has been revised and is now before the Planning Commission for its review.

PROPOSED CONSTRUCTION:

- Five (5) 100,000 gallon liquefied natural gas storage tanks with ancillary equipment, a 3,276 square foot control room, truck offloading and turnaround, impoundment area, vapor barrier wall and fencing.

PARKING: Due to the nature of the proposed utilities control room (MCC room, Utility Room, Control Room, Server Room and bathroom) and the notable lack of office space for on-site employees, parking is not necessary. Please note that the applicants have provided nine (9) parking spaces for contractor convenience when visiting the site. However if an office or other structure having a necessary function of on-site employees is desired in the future, parking would be required in accordance with §ZS1-320.

The proposed surface treatment of the parking areas and travelways is asphalt and gravel. **The applicants are requesting a waiver for the gravel under §ZS1-320(f)(1). If the Planning Commission is amenable, it is recommended that this approval be included in the overall motion.**

LOADING ZONES: Adequate space for loading and storage has been provided around the storage tanks and is labeled as ‘Transport Area.’

TRAFFIC CIRCULATION: Once on the site, users will need to stop to enter a gated area before driving further into the facility. The site may be accessed off Kepler Lane and an easement agreement has been provided.

REFUSE REMOVAL: No dumpsters have been provided.

PEDESTRIAN AND BICYCLE CONNECTIVITY: No bike rack or sidewalks are required for a project of this type.

Additional details pertaining to pedestrian and bicycle connectivity in accordance with the Design Guidelines may be found in the ‘Planning Commission’s Considerations.’

LIGHTING: Three (3) types of lighting are proposed: a stanchion mounted LED light fixture, pole mounted LED light fixture and LED wallpacks. The stanchion and pole mounted lights are proposed within the facility and the wallpacks are proposed for the control building. Due to its location and existing vegetation surrounding the site, it is very unlikely that light will spill onto adjacent properties.

LANDSCAPING: No landscaping is proposed due to the risk of dry materials catching on fire. Existing vegetation surrounds the cleared area of this property and is proposed to remain.

***A waiver to the automatic irrigation system is requested. If the Planning Commission is amenable, it is recommended that this approval be included in the overall motion.**

SIGNS: No sign location has been provided. Please note that any freestanding sign will need to be in accordance with §ZS1-324.

FENCING: A 9.6 foot tall chain-link fence with barbed wire (8 foot tall, with 3-strand wire) is proposed surrounding the facility. **The Planning Commission may require as a condition of any approval fencing up to any height provided such is reasonably necessary and will not adversely affect the use, enjoyment or value of surrounding property. It is recommended that the Planning Commission include this as a condition of approval.**

FOREST CONSERVATION LAW: This project is subject to the Forest Conservation Law. 4.31 acres will need to be afforested according to the staff comment memorandum provided by David Mathers, Natural Resources Planner dated June 3, 2024.

CRITICAL AREA LAW: This property is not located in the Atlantic Coastal Bays Critical Area (ABCA) program boundary.

STORMWATER MANAGEMENT / SEDIMENT EROSION CONTROL: Confirmation of final approval will be required prior to the Department granting signature approval for the site plan if not already done so.

******OTHER MATTERS:** Included in the Planning Commission's packet for this project is a code requirement letter. There are some minor housekeeping items that will need to be addressed by the applicants prior to a final signature approval being granted. The Design Guidelines noted in the Planning Commission Considerations will also need to be addressed.

ARCHITECTURAL JUSTIFICATION: As a major site plan over 10,000 square feet, this project is subject to the *Design Guidelines and Standards for Commercial Uses*. This proposal is not located within any areas designated for architectural traditions based upon the staff policy. The surrounding neighborhood consists of an asphalt plant, agriculture including poultry operations, forestry, low-density residential and contractors' shops.

The proposed facility has attempted to meet the standards required in the Design Guidelines, however a significant number of waivers will be required which are detailed in the 'Planning Commissioner's Considerations.' Under Section 2(b), the Planning Commission is able to grant a waiver to the requirements contained within where it finds that the proposed alternative building or site design features generally achieve the overall objectives of the guidelines or standards that apply to the waiver being requested.

OWNER: Eastern Shore Natural Gas, C/O Charles Howell

ENGINEER: Morris & Ritchie Associates, Inc.

ARCHITECT: TAI Engineers, Managers, Technical Services.

PREPARED BY: Kristen M. Tremblay, AICP, Zoning Administrator

**PLANNING COMMISSION CONSIDERATIONS – DESIGN GUIDELINES
EASTERN SHORE NATURAL GAS STORAGE FACILITY**

During the review of the Design Guidelines, it was found that a significant number of waivers will be required and are depicted below. **The proposed land use, a liquified natural gas storage facility, is located on a land-locked parcel surrounded by existing forested areas that are proposed to remain. There will be no access for the public (will be gated) and it will not be seen from either the road or adjacent properties. As this project will not be visible and is not intended to be visible, the Planning Commission is encouraged to waive the following requirements including automatic irrigation, gravel, and place a condition of approval that the fence may be to any height for providing security to the facility:**

Design Guidelines: Waivers Requested

Sec 5	Architectural Traditions
Sec 6(b)(1)	General Site and Building Compatibility
Sec 7(b)(1)(B) & (2)(A)	Mass and Scale
Sec 8(b)(1)(2) & (4-10)	Roofs
Sec 9(b)(2-5)	Materials
Sec 10(a)(2 &3) & (b)(1) & (2)	Facades
Sec 11(b)(1-5)	Entries
Sec 12(b)(1-4)	Color
Sec 13(b)(1-3)	Details
Sec 14(b)(1-7)	Signs
Sec 15(b)(2-4 & 6-9 & 13)	Parking
Sec 16(b)(1-10)	Pedestrian and Bicycle Circulation
Sec 17(b)(4-11)	Landscaping
Sec 18 (b)(1, 5-10)	Lighting
Sec 19(b)(1-3) Sec 20(b)(3-6 & 8-9) Sec 21(b)(1-2)	Community Features and Spaces Outdoor Service and Utility Areas Outparcels and Pad Sites.

RECOMMENDATION:

It is recommended that the Planning Commission review the materials provided and determine if the waivers requested are appropriate for the proposed liquified natural gas facility, including automatic irrigation, gravel and fencing to any height required for security purposes.

DRAWING INDEX

SHEET	TITLE
1	SITE PLAN COVER SHEET
2	EXISTING CONDITIONS PLAN
3	OVERALL SITE PLAN
4-5	SITE PLAN
6	SITE DETAILS
7-8	LIGHTING PLAN

BISHOPVILLE FACILITY

MAJOR SITE PLAN

WORCESTER COUNTY, MARYLAND

1ST ELECTION DISTRICT



VICINITY MAP
SCALE: 1"=1,000'

USGS 7.5 MINUTE QUAD MAPS
SELBYVILLE, DE & MD 2019

SITE ANALYSIS:

TAX ID: T.M. 9 GRID 20 PARCEL 47 (DEED 6674/01) PLAT #134/65

OWNER (MAILING ADDRESS): CLINTON W. DAVIDSON & RENE C. DAVIDSON 10228 BISHOPVILLE ROAD BISHOPVILLE, MD 21013

EQUITABLE OWNER / DEVELOPER: EASTERN SHORE NATURAL GAS 500 ENERGY LANE, SUITE 200 DOVER, DE, 19901 CONTACT PERSON: CHARLES HOWELL P. 302-213-1265

SITE ADDRESS: R-113 HIGHWAY BISHOPVILLE, MD 21013

TAX DISTRICT: #5 (ST. MARTINS)

OWNER: ZONE A-1 AGRICULTURE

EXISTING USE: AGRICULTURAL

BULK STANDARDS:
MINIMUM LOT: 20,000 SF
MIN. LOT WIDTH: 100 FT.
FRONT YARD SETBACK: 35 FT.
SIDE YARD SETBACK: 35 FT.
REAR YARD SETBACK: 35 FT.

OFFSTREET PARKING: 2 REQUIRED (INDUSTRIAL TRANSPORTATION & DISTRIBUTION) 4 PROVIDED

LOADING SPACES: 1 REQUIRED 2 PROVIDED (SEE TRANSPORT AREA, SHEET 5)

EXISTING SITE AREA: 135.2± AC.

AREA WITHIN LIMITS OF DISTURBANCE: 25.3± AC.

AREA TO BE VEGETATIVELY STABILIZED: 17.90± AC.

AREA TO BECOME IMPERVIOUS: 7.40± AC.

PROPOSED USE: NATURAL GAS FACILITY

THIS SITE IS LOCATED WITHIN THE ISLE OF NIGHT BAY WATERSHED (021301030691).

THIS SITE IS NOT WITHIN THE 100-YEAR FLOODPLAIN ACCORDING TO FEMA FIRM MAP #24047C00404, DATED 07/16/2015.

THIS SITE IS NOT LOCATED WITHIN A CRITICAL AREA.

SOIL INFORMATION BASED ON USDA / NRCG SOIL SURVEY FOR WORCESTER COUNTY, MD PER WEB SOIL SURVEY APPLICATION (NEBISOILSURVEY.SC.EGOV.USDA.GOV).

ON-SITE TOPOGRAPHY SHOWN HEREON IS BASED UPON SURVEY DATA OBTAINED THROUGH FIELD RUN TOPOGRAPHIC AND BOUNDARY SURVEY, DATUM NAD 83, NAVD 88. OFF SITE TOPOGRAPHIC DATA WAS OBTAINED THROUGH WORCESTER COUNTY G.I.S. DATABASES.

THIS FACILITY WILL USE THE EXISTING KEPLER LANE FOR ACCESS.

THIS FACILITY DOES NOT PROPOSE ANY LANDSCAPING DUE TO THE EXISTING WOODS ALONG THE PERIMETER WHICH WILL REMAIN, AND TO MINIMIZE MAINTENANCE WITHIN THE FACILITY.

NO COMMERCIAL SIGNS ARE PROPOSED FOR THIS FACILITY AT THIS TIME.

THE STORMWATER MANAGEMENT FINAL PLAN FOR THIS PROJECT WAS APPROVED ON NOVEMBER 1, 2024.

A FOREST STAND CONSTRUCTION PLAN FOR THIS PROJECT HAS BEEN PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC.

A WETLAND DELINEATION WAS PERFORMED BY GEO-TECHNOLOGY ASSOCIATES, INC. IN OCTOBER 2022.

THIS PROJECT IS UNDER THE JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION (FERC) AND ALL NECESSARY APPROVALS WILL BE OBTAINED BEFORE THE START OF CONSTRUCTION.

STRUCTURES AND EXTERIOR USE AREAS:

THERE ARE NO EXISTING STRUCTURES ON THIS PROPERTY.

PROPOSED BUILDINGS:

CONTROL BUILDING

GROSS FLOOR AREA: 3,450 S.F.

STORIES / HEIGHT: 1 STORY / 20-FOOT MAX

TYPE OF CONSTRUCTION: PRE-ENGINEERED METAL BUILDING

DISTANCE TO PROPERTY LINE: 845'

LITTER RECEPTACLES AT BUILDING: ANY TRASH WILL BE REMOVED BY OWNERS

FIRE WATER PUMP BUILDING

GROSS FLOOR AREA: 750 S.F.

STORIES / HEIGHT: 1 STORY / 18-FOOT MAX

TYPE OF CONSTRUCTION: MASONARY BLOCK BUILDING

DISTANCE TO PROPERTY LINE: 935'

LITTER RECEPTACLES AT BUILDING: ANY TRASH WILL BE REMOVED BY OWNERS

LEGEND

	EXISTING RIGHT-OF-WAY		PROPOSED 1' CONTOUR
	EXISTING PROPERTY LINE		PROPOSED 5' CONTOUR
	EXISTING WOODS		PROPOSED LIMIT OF DISTURBANCE
	EXISTING CONCRETE		PROPOSED PAVEMENT
	EXISTING PAVEMENT		PROPOSED WOODS
	EXISTING ROAD CENTERLINE		
	EXISTING OVERHEAD ELECTRIC		
	EXISTING STORM DRAIN		
	EXISTING MINOR CONTOUR		
	EXISTING MAJOR CONTOUR		
	EXISTING WATERS OF THE US		
	EXISTING WETLAND BUFFER		
	EXISTING WETLAND		



MORRIS & RITCHE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS

111 RUTHAR DRIVE
NEWARK, DE 19711
302-326-2200

OWNER/DEVELOPER
EASTERN SHORE
NATURAL GAS
500 ENERGY LANE, SUITE 100
DOVER, DE 19901

PROJECT ENGINEER
CHARLES HOWELL

BISHOPVILLE FACILITY
KEPLER LANE, BISHOPVILLE,
MARYLAND, 21813
1ST ELECTION DISTRICT

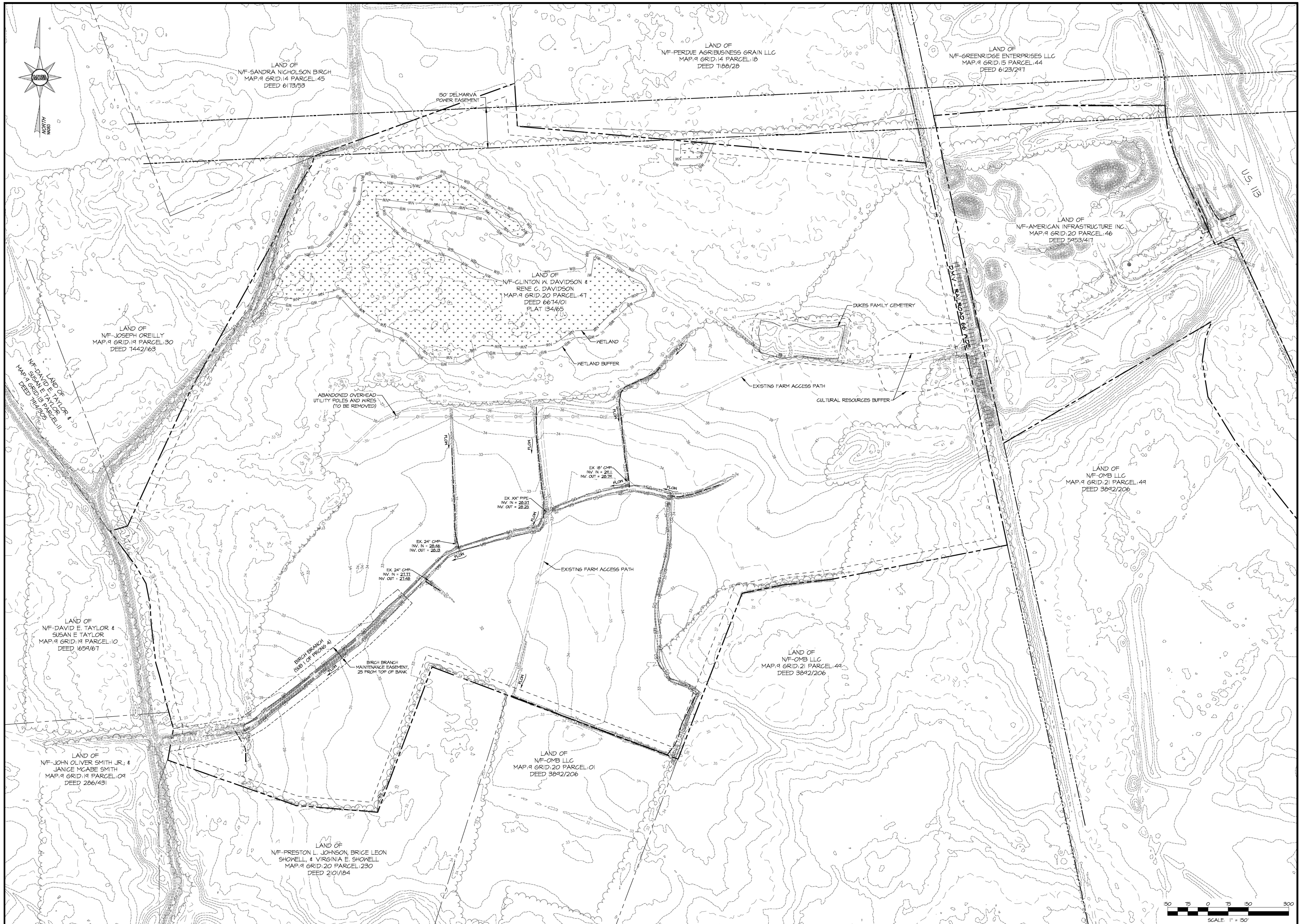


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NO.	REVISION	DATE
22013	JTH	11/14/24

SHEET TITLE
SITE PLAN
COVER SHEET

SHEET NUMBER



MORRIS & RITCHE ASSOCIATES, INC.

ENGINEERS, PLANNERS,
SURVEYORS, AND LANDSCAPE
ARCHITECTS

111 RUTHAR DRIVE
NEWARK, DE 19711
302-326-2200

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PROJECT ENGINEER
CHARLES HOWELL

BISHOPVILLE FACILITY

KEPLER LANE, BISHOPVILLE,
MARYLAND, 21813
1ST ELECTION DISTRICT

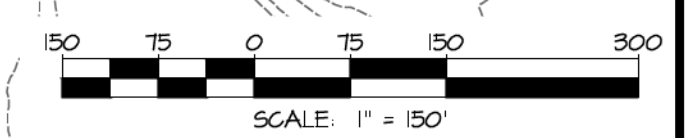


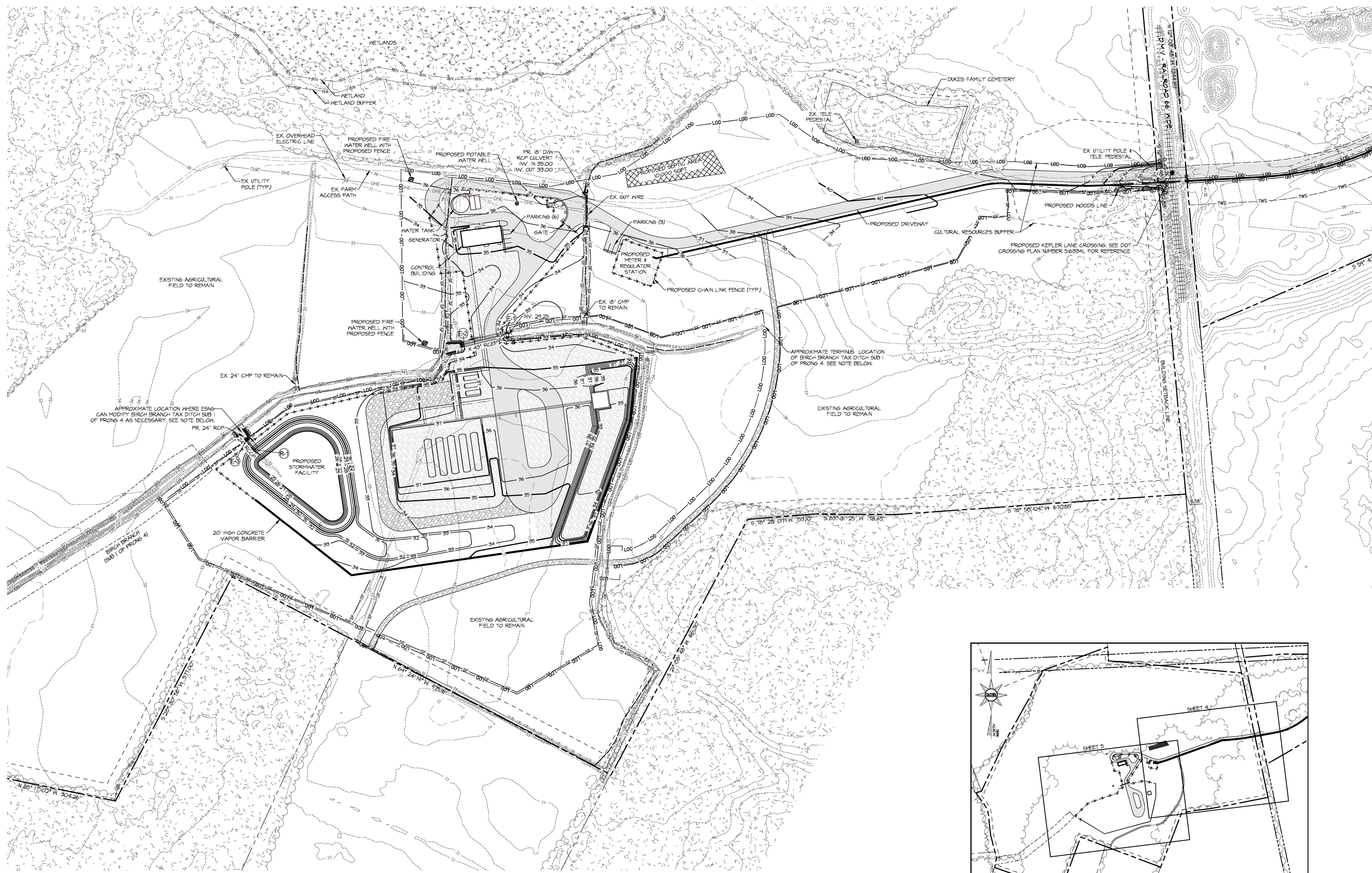
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NO.	REVISION	DATE
22013	DRAWN BY JTH	11/14/24

EXISTING CONDITIONS
PLAN

SHEET NUMBER

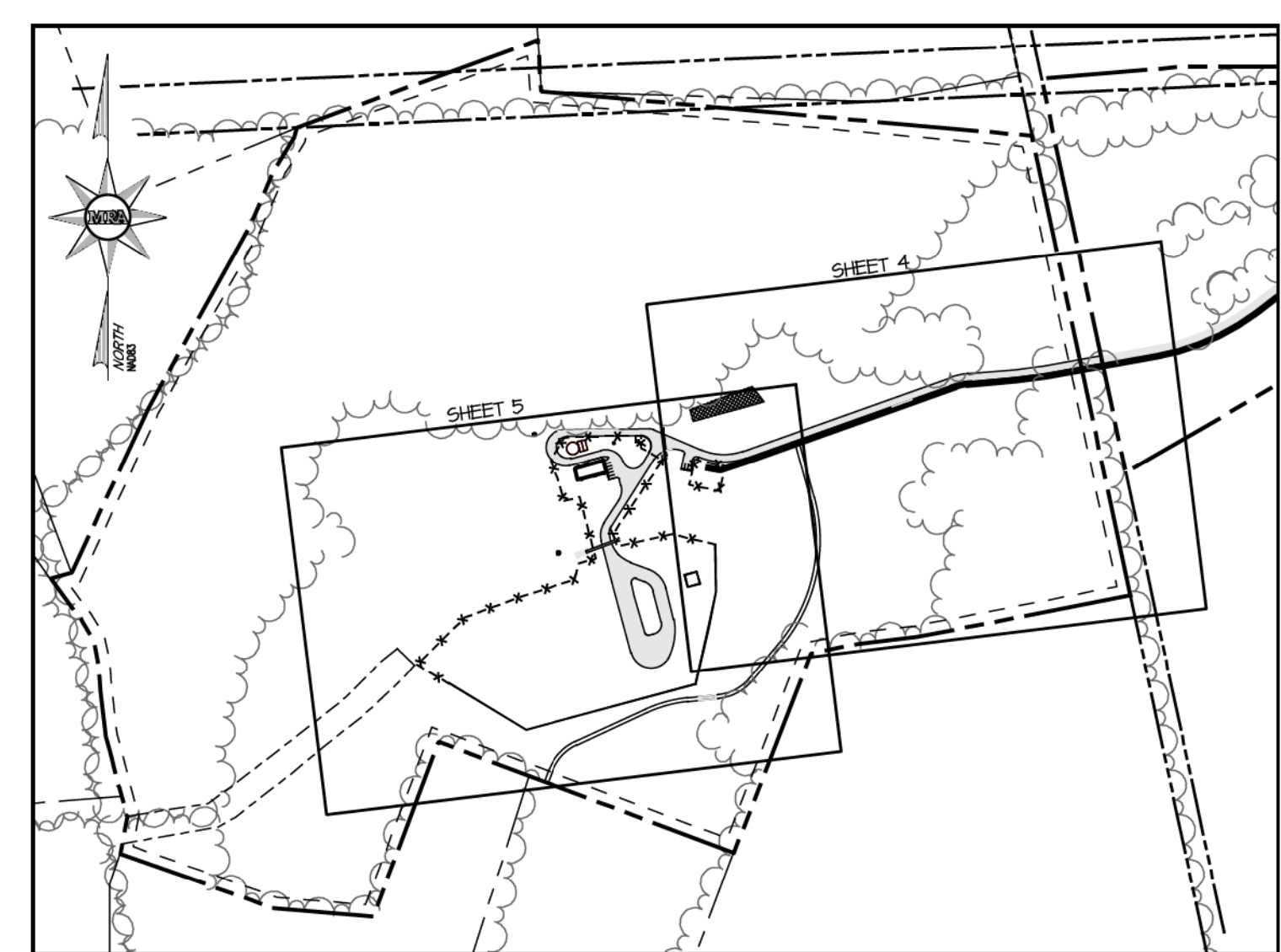
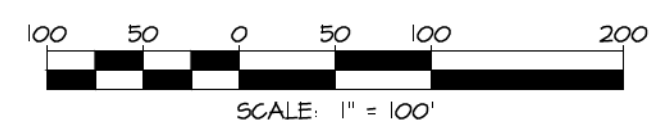




NOTE:

ON SEPTEMBER 30, 2024 THE BIRCH BRANCH PUBLIC DRAINAGE ASSOCIATION ISSUED A MEMORANDUM OF UNDERSTANDING (MOU) FOR THE FOLLOWING ACTIONS TO TAKE PLACE FOR BIRCH BRANCH SUB 1 OF PRONG 4 UNDER THE CONDITION THAT EASTERN SHORE NATURAL GAS PURCHASES THE PROJECT SITE PARCEL. FOR ADDITIONAL INFORMATION SEE TAX DITCH MOU.

- MANAGERS OF THE BIRCH BRANCH PDA WILL CONTINUE TO MAINTAIN SUB 1 FOR APPROXIMATELY 100' BEGINNING AT THE INTERSECTION WITH PRONG 4.
- MANAGERS OF THE BIRCH BRANCH PDA AGREE TO ALLOW ESNG TO MODIFY AS NECESSARY SUB 1 OF PRONG 4 BEGINNING APPROXIMATELY 60-100' FROM THE INTERSECTION WITH PRONG 4 TO THE TERMINUS.
- THE SAID PROPERTY KNOWN AS WARD PARCEL 41, AGOT 02-0066W SHALL REMAIN ON THE BIRCH BRANCH PDA TAX ROLL SINCE IT IS DETERMINED THAT THE PARCEL WILL CONTINUE TO BENEFIT FROM THE OUTLET PROVIDED BY THE BIRCH BRANCH PDA. THE PROPERTY IS CURRENTLY ASSESSED FOR 24 ACRES CROPLAND 30 ACRES WOODLAND PER THE HAGERSTOWN COUNTY TREASURERS OFFICE, SNOW HILL, MD.
- THE BIRCH BRANCH PDA WILL CONTINUE SCHEDULED MAINTENANCE PER ITS OPERATION AND MAINTENANCE PLAN, WHICH IS APPROVED BY MDA, DNR AND MDE ON AN ANNUAL BASIS.



KEY MAP
SCALE: 1" = 500'



MORRIS & RITCHE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS

111 RUTHAR DRIVE
NEWARK, DE 19711
302-326-2200

OWNER/DEVELOPER
EASTERN SHORE NATURAL GAS
500 ENERGY LANE, SUITE 100
DOVER, DE 19901

PROJECT ENGINEER
CHARLES HOWELL

BISHOPVILLE FACILITY
KEPLER LANE, BISHOPVILLE,
MARYLAND, 21813
1ST ELECTION DISTRICT

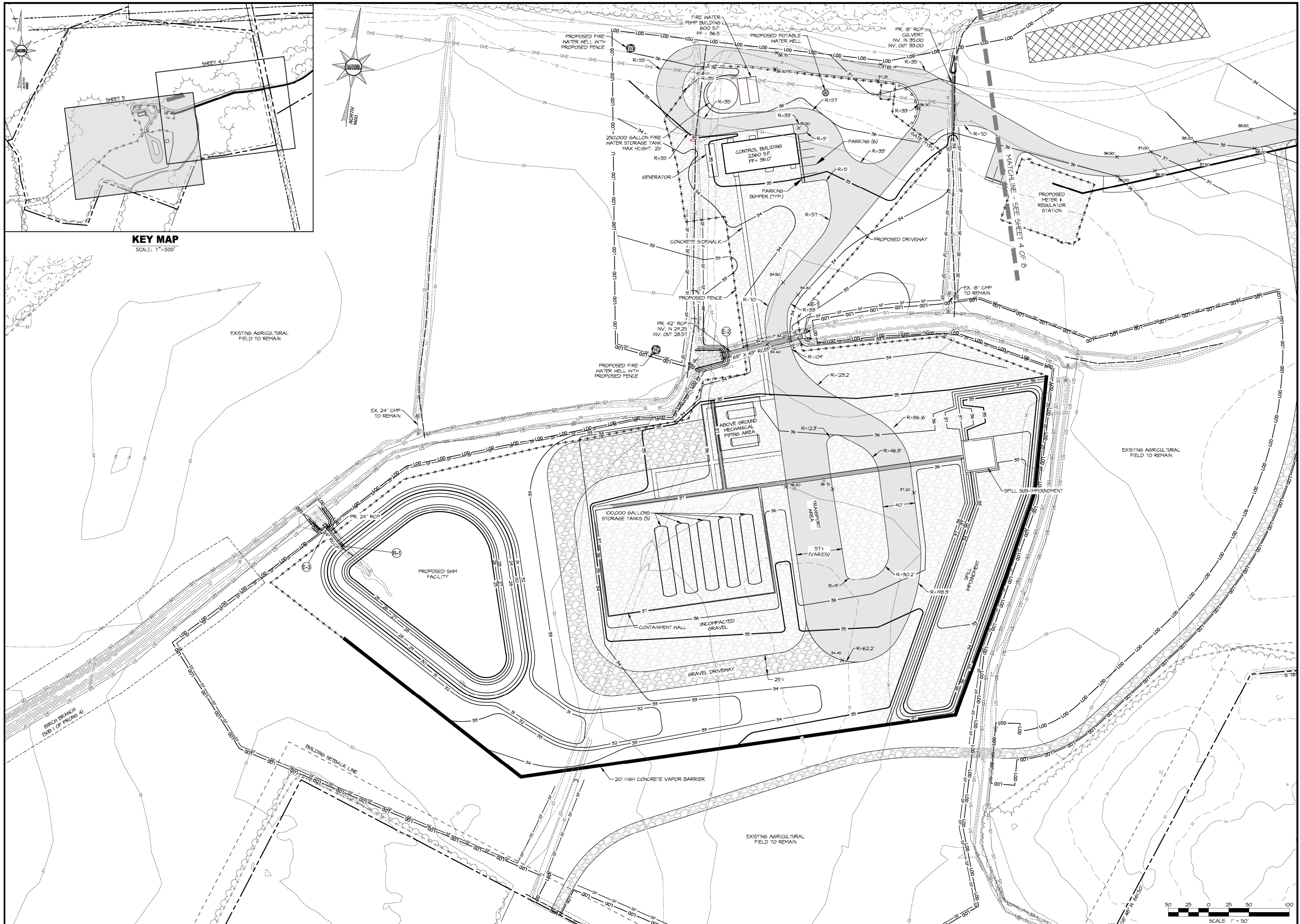


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22013	DRAWN BY JTH	ISSUED 11/14/24

OVERALL SITE PLAN

SHEET NUMBER



KEY MAP
SCALE: 1"=500'

ENGINEERS, PLANNERS,
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ARCHITECTS

111 RUTHAR DRIVE
NEWARK, DE 19711
302-326-2200

OWNER/DEVELOPER
EASTERN SHORE
NATURAL GAS
500 ENERGY LANE, SUITE 100
DOVER, DE 19901

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CHARLES HOWELL

BISHOPVILLE FACILITY
KEPLER LANE, BISHOPVILLE,
MARYLAND, 21813
1ST ELECTION DISTRICT

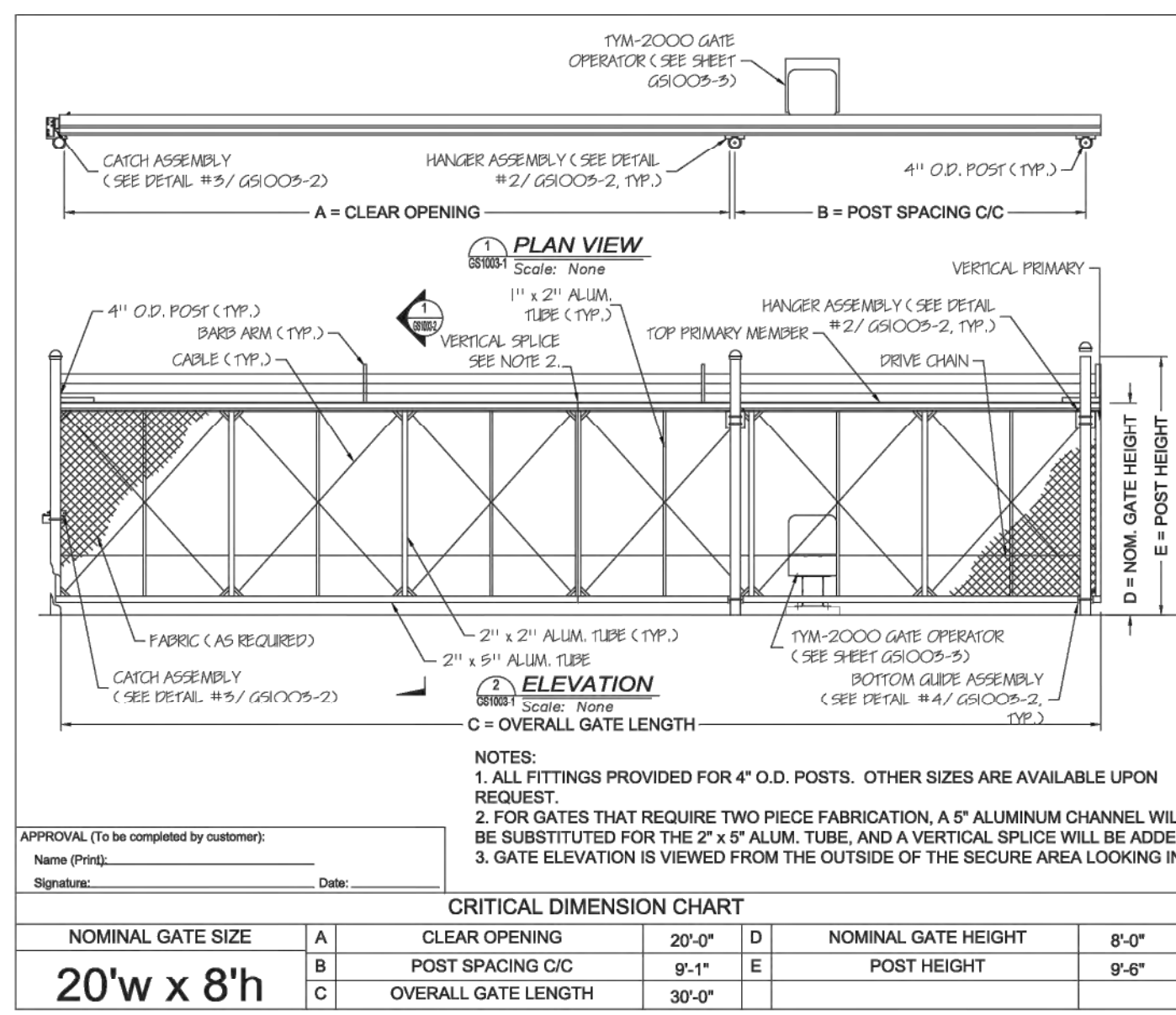


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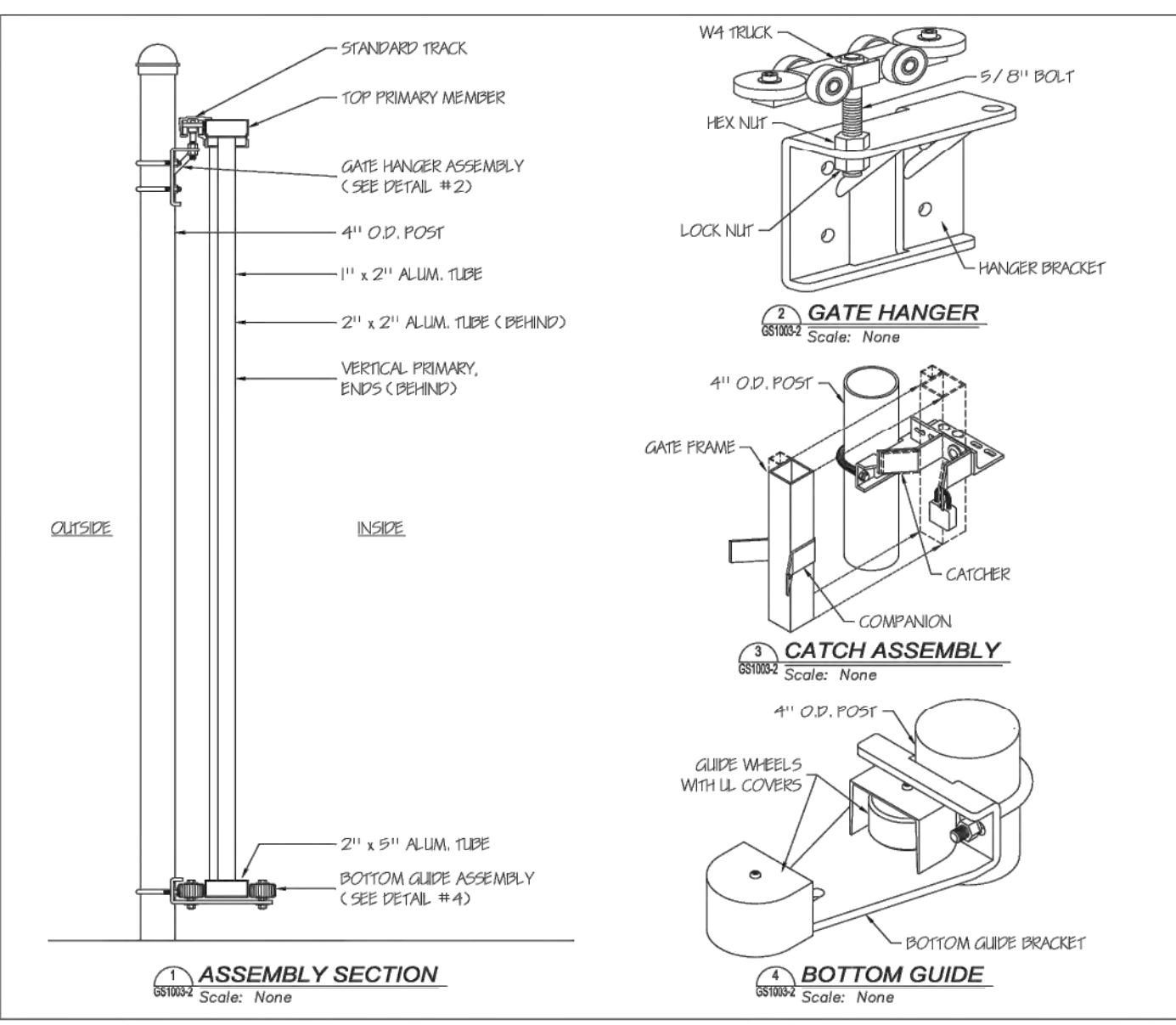
NO.	REVISION	DATE
1	ISSUED	11/14/24

SHEET TITLE
SITE PLAN

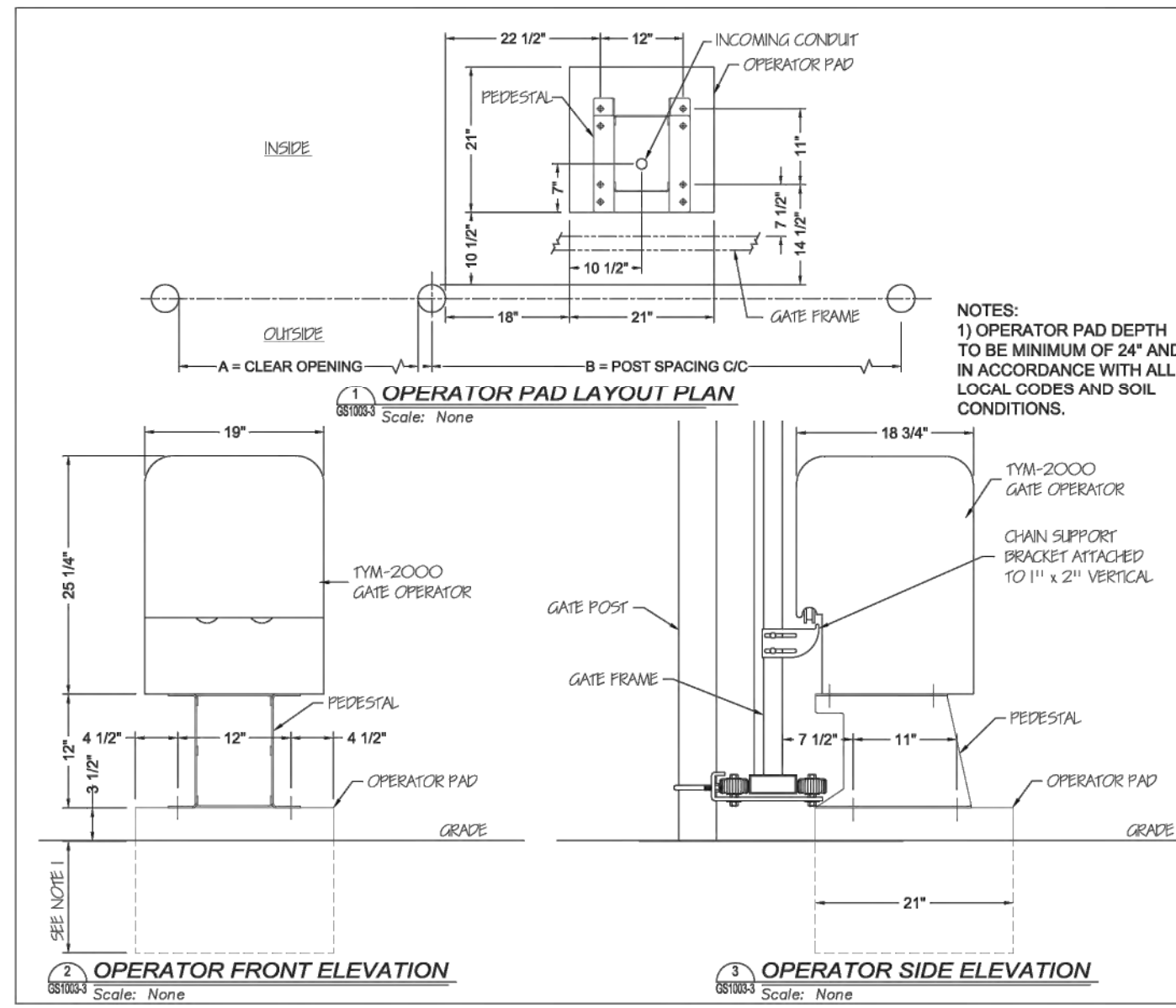
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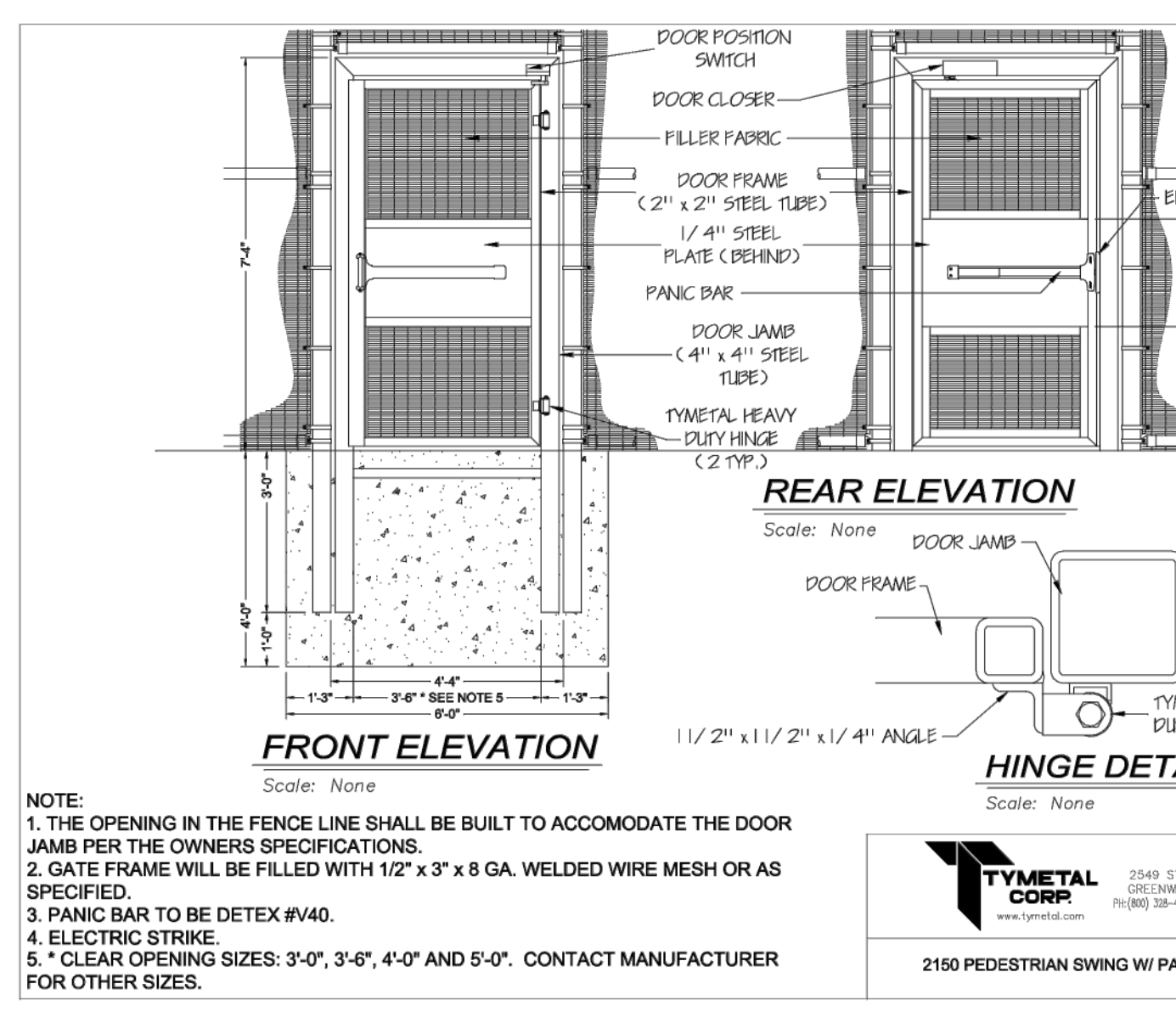
PROJECT: Heavy Duty Slide Gate with TYP-2000 Operator
 DRAWING NO.: GS1003-1
 DATE: 11/14/24
 TYP METAL CORP.
 2549 STATE ROUTE 40
 GREENWICH, N.Y. 10304
 PHONE 516-338-1031 FAX 516-338-1034
 WWW.TYPMETALCORP.COM



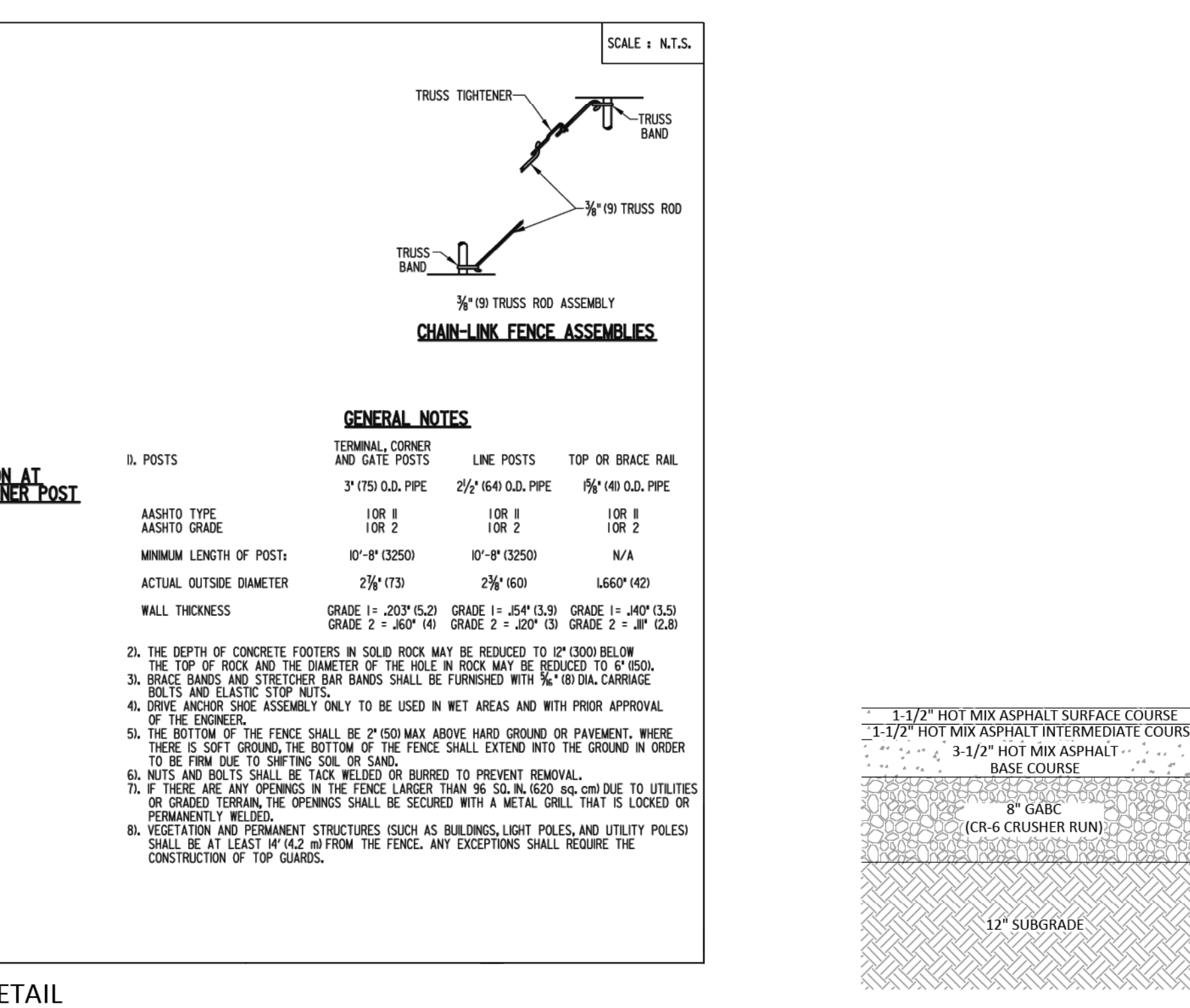
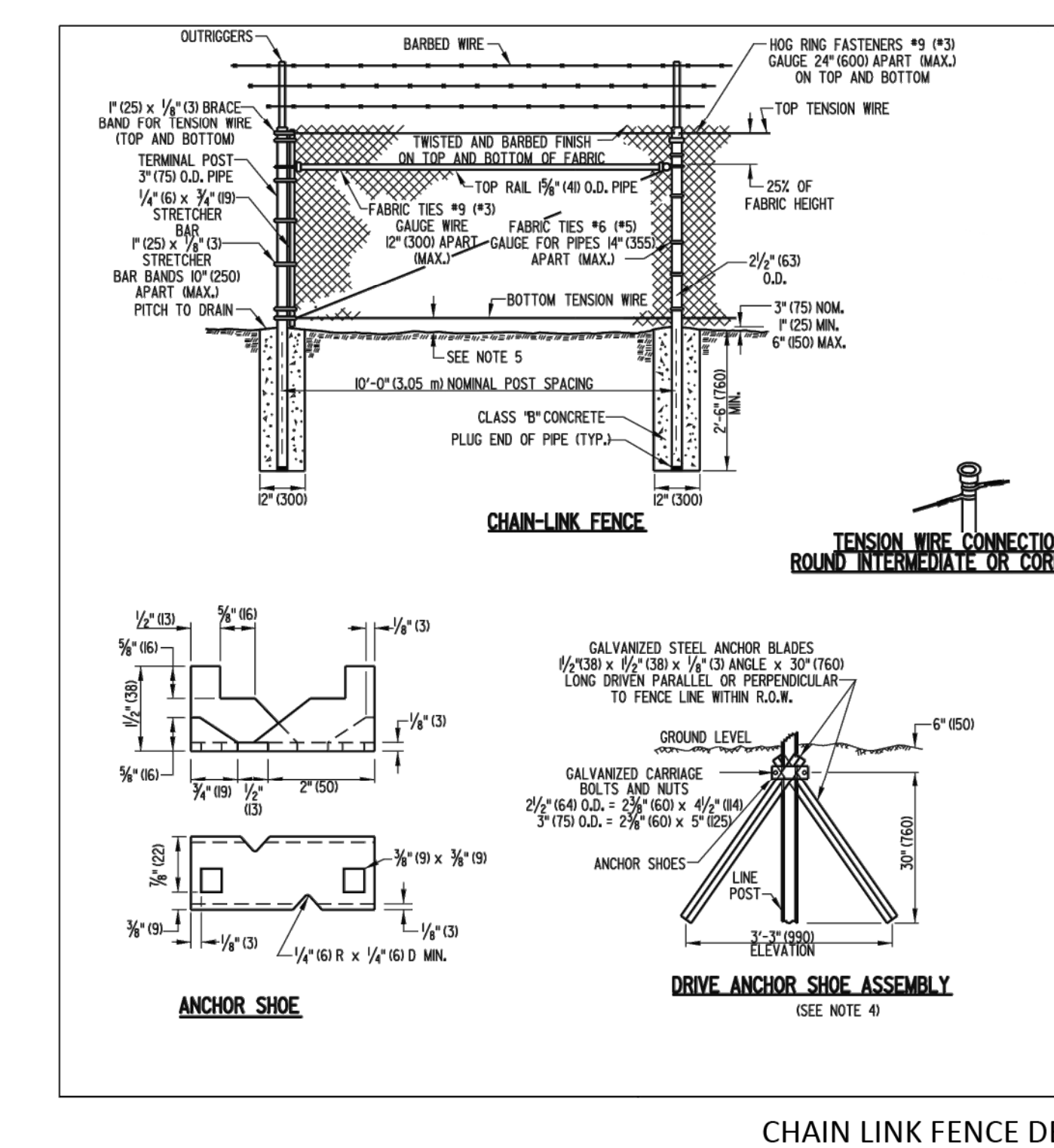
PROJECT: Heavy Duty Carrier Slide Gate Details
 DRAWING NO.: GS1003-2
 DATE: 11/14/24
 TYP METAL CORP.
 2549 STATE ROUTE 40
 GREENWICH, N.Y. 10304
 PHONE 516-338-1031 FAX 516-338-1034
 WWW.TYPMETALCORP.COM



PROJECT: TYP-2000 Gate Operator
 DRAWING NO.: GS1003-3
 DATE: 11/14/24
 TYP METAL CORP.
 2549 STATE ROUTE 40
 GREENWICH, N.Y. 10304
 PHONE 516-338-1031 FAX 516-338-1034
 WWW.TYPMETALCORP.COM



PROJECT: 2150 PEDESTRIAN SWING W/ PANIC BAR
 DRAWING NO.: GS1003-4
 DATE: 11/14/24
 TYP METAL CORP.
 2549 STATE ROUTE 40
 GREENWICH, N.Y. 10304
 PHONE 516-338-1031 FAX 516-338-1034
 WWW.TYPMETALCORP.COM



BISHOPVILLE FACILITY
 KEPLER LANE, BISHOPVILLE, MARYLAND, 21813
 1ST ELECTION DISTRICT

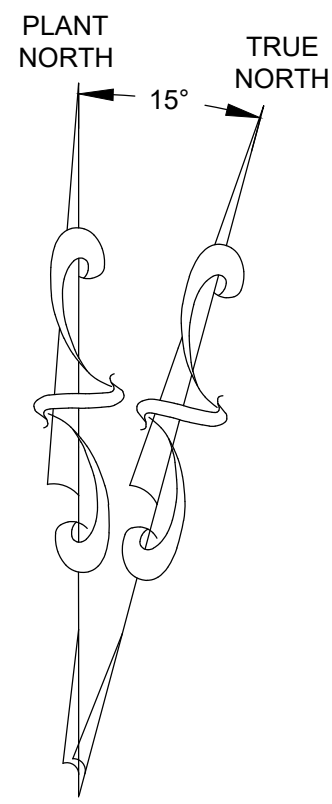


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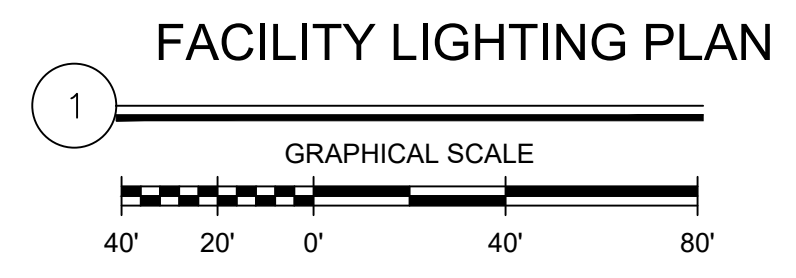
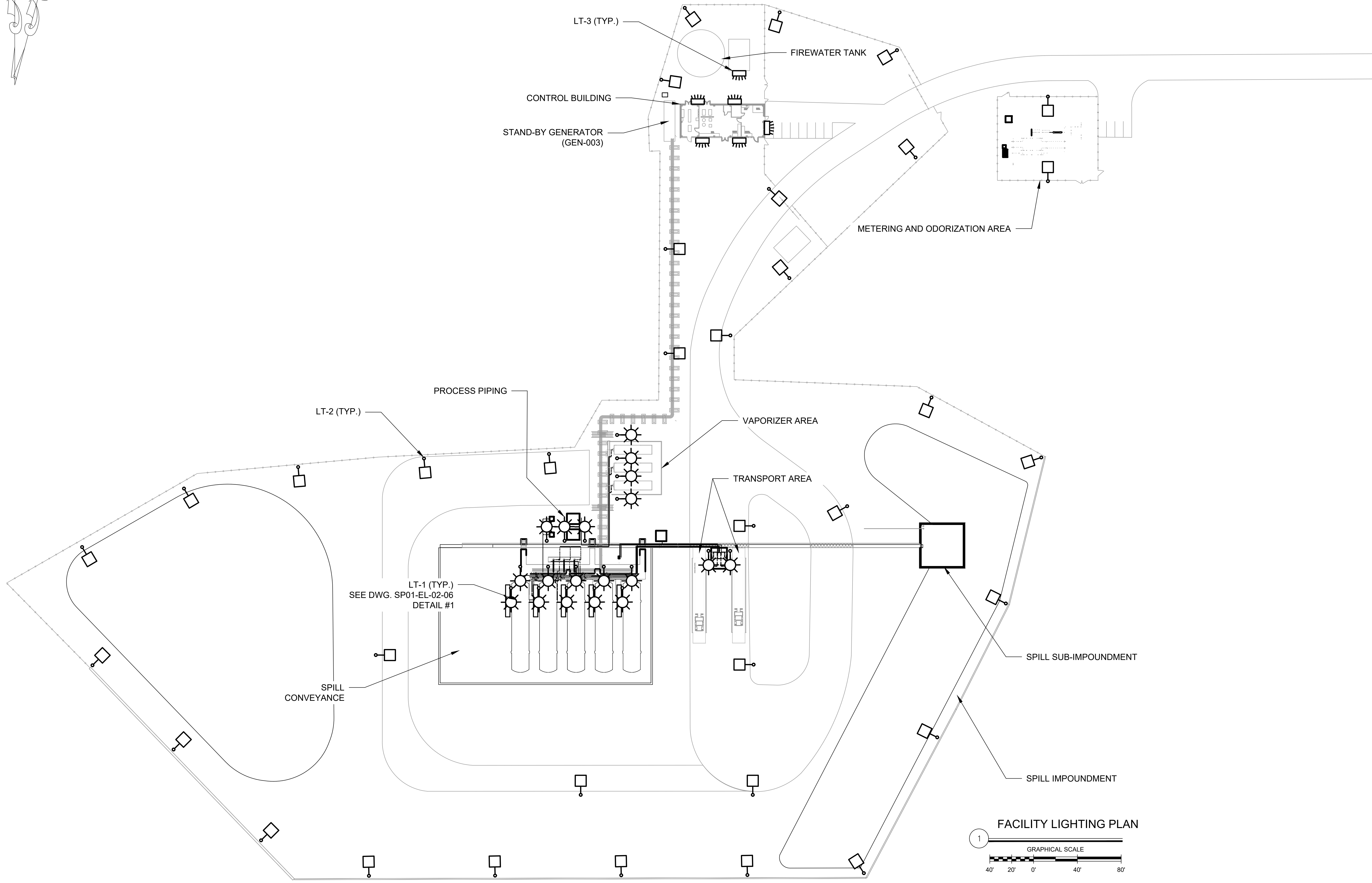
NO.	REVISION	DATE
JOB NO. 22013	DRAWN BY JTH	ISSUED 11/14/24

SHEET TITLE: SITE DETAILS

SHEET NUMBER: 6 OF 8



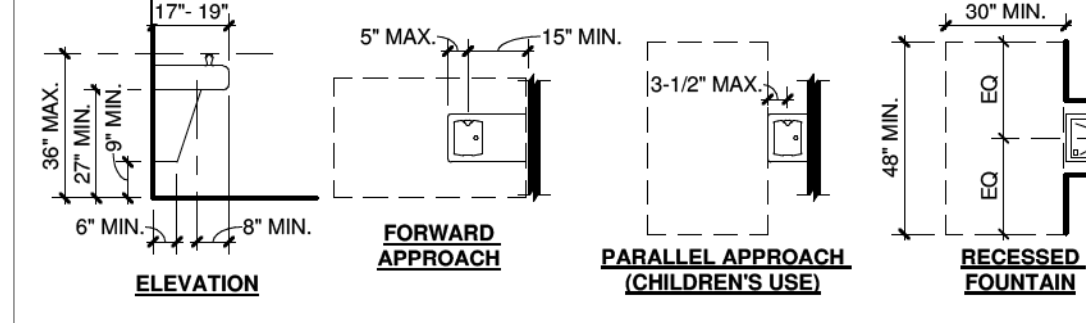
- NOTES:
1. FOR LIGHTING FIXTURE SCHEDULE, SEE DWG. SP-01-EL-02-06.
 2. FACILITY LIGHT PLAN DESIGNED TO MAINTAIN A MINIMUM OF 0.2 FC WITHIN FACILITY IN ACCORDANCE WITH 10 CFR 193.2911
 3. LIGHTING LEVELS IN OUTDOOR PROCESS AREAS SHALL BE 10-15 FC



FILE: P:\PROJECTS\2024\Worcester Resiliency Upgrade\Bishopville Storage Facility\SP01-EL-08-01.dwg
 DATE: 05/20/2024
 USER: JCS
 PROJECT: WORCESTER RESILIENCY UPGRADE - BISHOPVILLE STORAGE FACILITY
 DRAWING: FACILITY LIGHTING PLAN
 SHEET: 5497.01

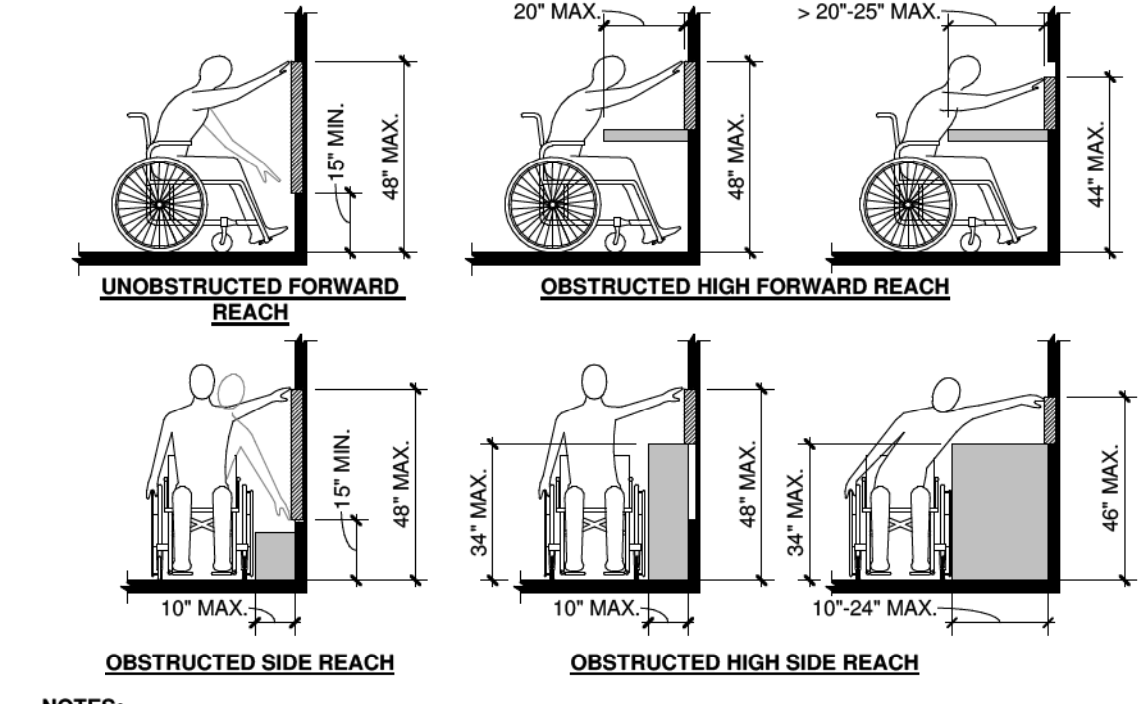
WORCESTER RESILIENCY UPGRADE EASTERN SHORE NATURAL GAS COMPANY BISHOPVILLE STORAGE FACILITY		FACILITY LIGHTING PLAN	
PROJECT NUMBER: 5497.01		SHEET NUMBER: SP01-EL-08-01	
DRAWN BY: MRB		DATE: MAY 2024	
DESIGNED BY: MRB		PROJECT MGR: CJF	
REVIEWED BY: CJF		PIC: SPS	
PROGRESS NOT FOR CONSTRUCTION			
SANBORN HEAD		EASTERN SHORE NATURAL GAS	
UPDATED FOR MAJOR SITE PLAN SUBMITTAL		ISSUED FOR PERC APPLICATION	
06/07/2024		08/17/2023	
C		B	
NO.		DATE	
MRB		ISSUED FOR CLIENT REVIEW	
MRB		BY	
MRB		DESCRIPTION	

SCOPE:
 1. NO FEWER THAN TWO DRINKING FOUNTAINS SHALL BE PROVIDED. ONE ACCESSIBLE AND ONE FOR STANDING.
 2. WHERE A SINGLE DRINKING FOUNTAIN COMPLIES WITH BOTH, IT SHALL BE PERMITTED TO BE SUBSTITUTED FOR THE TWO SEPARATE DRINKING FOUNTAINS



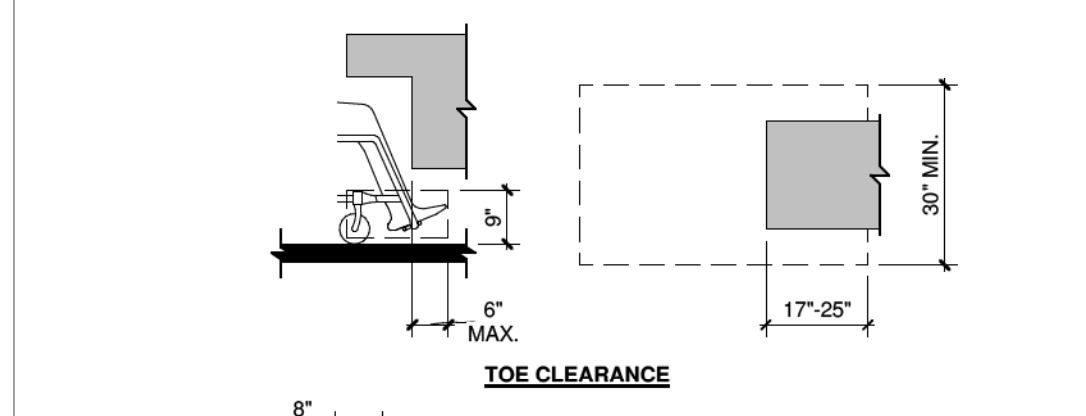
NOTES:
 1. A CLEAR FLOOR SPACE POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. PROVIDE KNEE AND TOE CLEARANCE. THE CLEAR SPACE SHALL BE CENTERED ON THE DRINKING FOUNTAIN.
 A. EXCEPTION: DRINKING FOUNTAINS PRIMARILY FOR CHILDREN'S USE SHALL BE PERMITTED WHERE THE SPOUT OUTLET IS 30 INCHES MAXIMUM ABOVE FINISHED FLOOR. A PARALLEL APPROACH, CENTERED ON THE DRINKING FOUNTAIN SHALL BE PERMITTED. EXCEPTION IS PER ICC/ANSI A117.1-2009.
 2. OPERABLE PARTS SHALL COMPLY WITH OPERABLE PARTS REQUIREMENTS.
 3. SPOUT OUTLETS OF WHEELCHAIR ACCESSIBLE DRINKING FOUNTAINS SHALL BE 36 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. SPOUT OUTLETS OF DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38 INCHES MINIMUM AND 45 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
 4. THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES MINIMUM IN HEIGHT. THE ANGLE OF THE WATER STREAM FROM THE SPOUTS BETWEEN 2 INCHES AND 5 INCHES FROM THE FRONT OF THE DRINKING FOUNTAIN SHALL BE 15 DEGREES MAXIMUM, MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE DRINKING FOUNTAIN.

10 D.F. SPOUT LOCATION - 602
 1/4" = 1'-0"



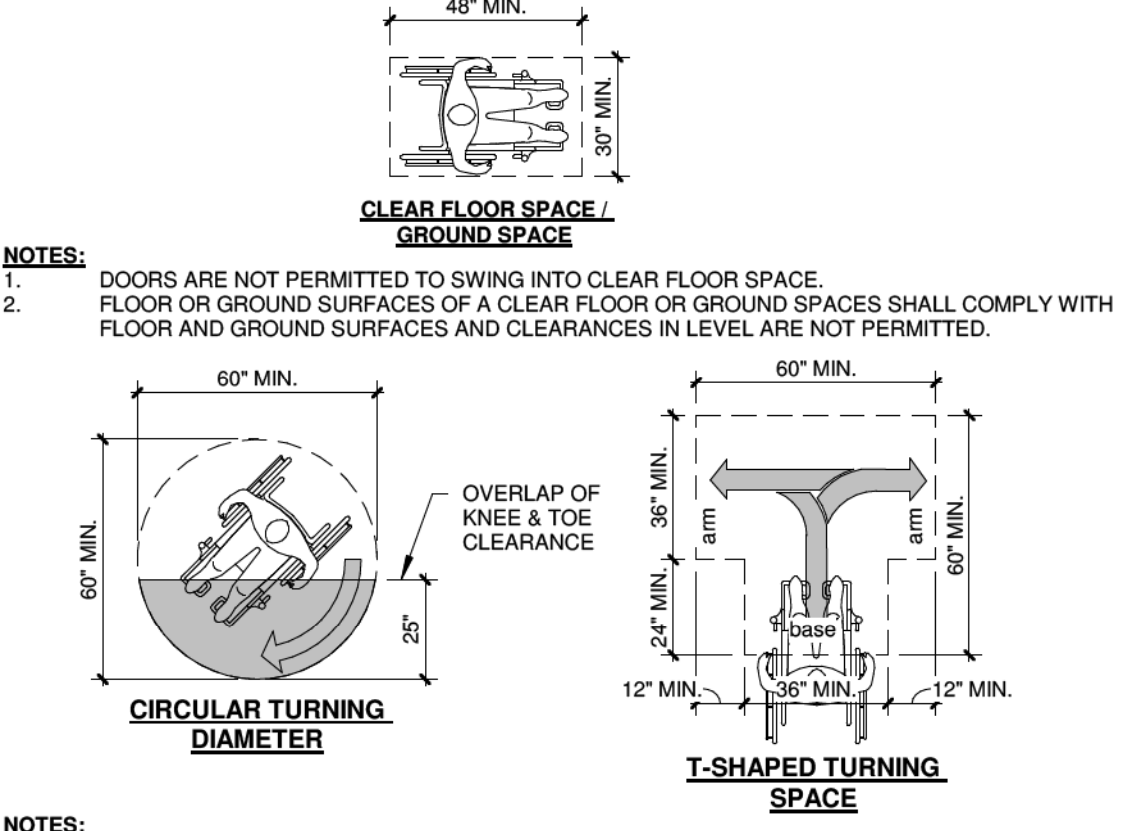
NOTES:
 1. A CLEAR FLOOR OR GROUND SPACE SHALL BE PROVIDED.
 2. OPERABLE PARTS SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES.
 3. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 4. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
 5. WHERE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION.

8 OBSTRUCTED / UNOBSTRUCTED REACH - 308
 1/4" = 1'-0"



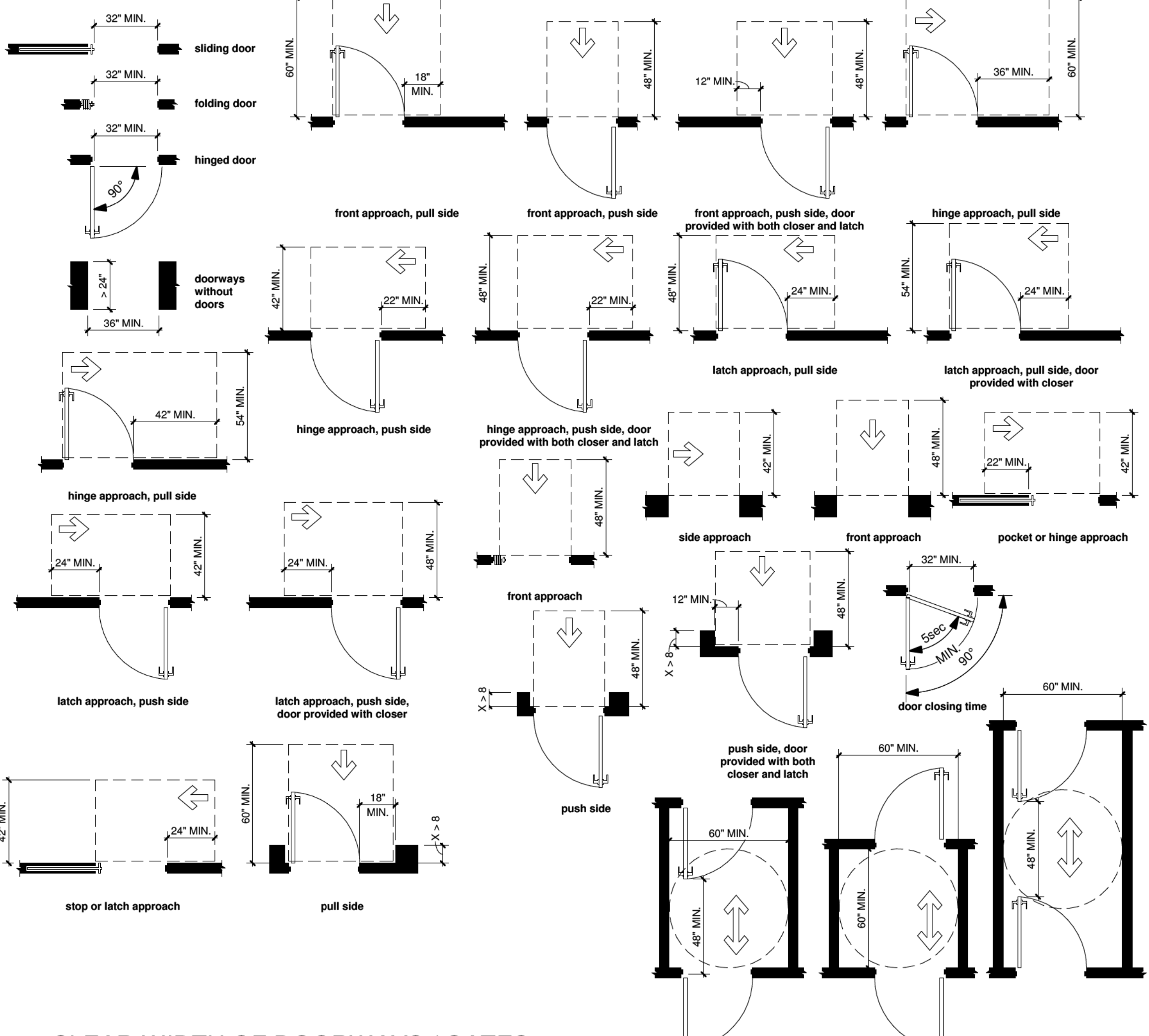
NOTES:
 1. WHERE SPACE BENEATH AN ELEMENT IS INCLUDED AS PART OF CLEAR FLOOR SPACE AT AN ELEMENT, CLEARANCE AT AN ELEMENT, OR A TURNING SPACE, THE SPACE SHALL COMPLY WITH KNEE AND TOE CLEARANCE REQUIREMENTS. ADDITIONAL SPACE BEYOND KNEE AND TOE CLEARANCE SHALL BE PERMITTED BENEATH ELEMENTS.

5 KNEE/TOE CLEARANCE
 3/8" = 1'-0"

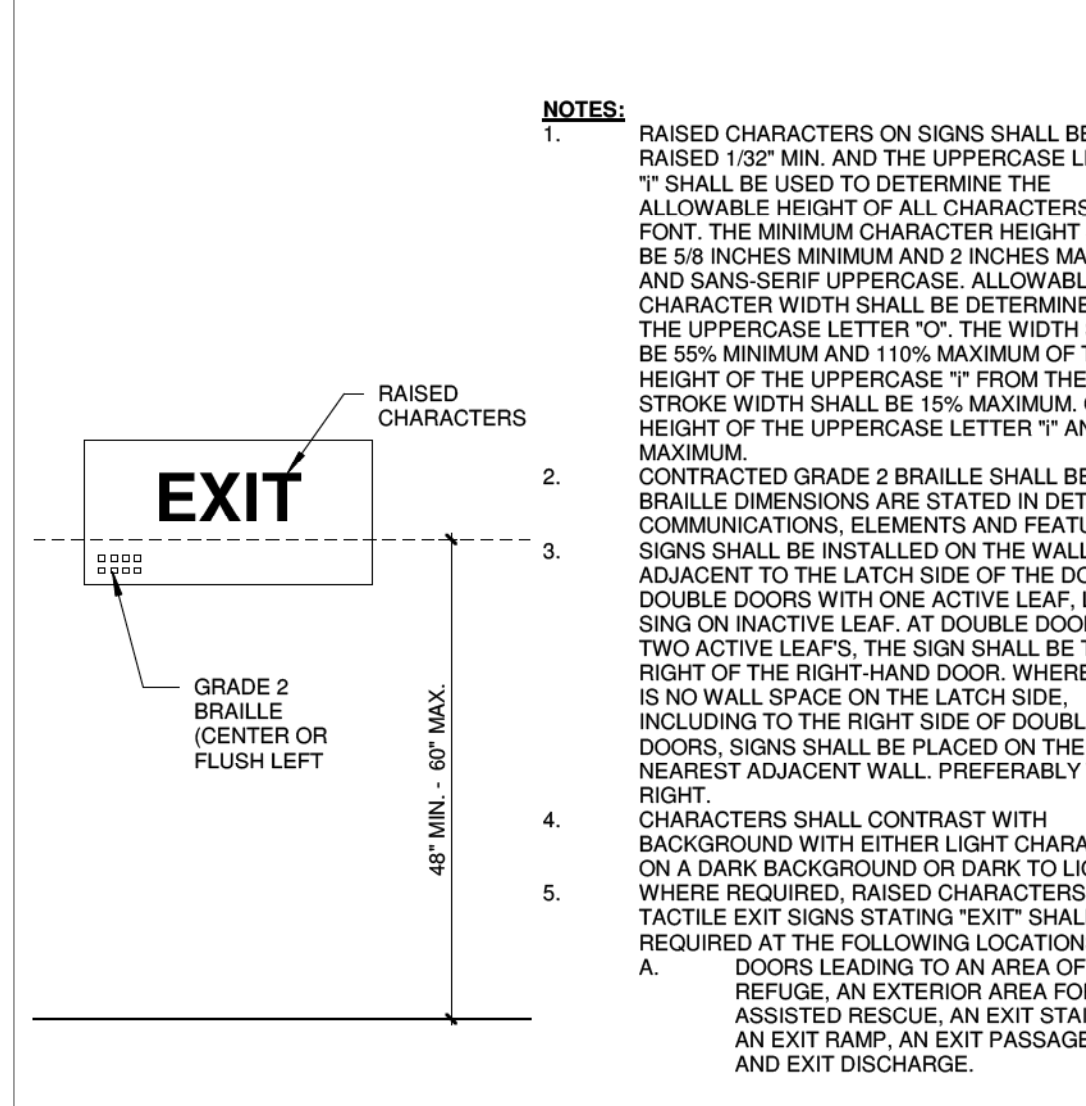


NOTES:
 1. DOORS ARE NOT PERMITTED TO SWING INTO CLEAR FLOOR SPACE.
 2. FLOOR OR GROUND SURFACES OF A CLEAR FLOOR OR GROUND SPACES SHALL COMPLY WITH FLOOR AND GROUND SURFACES AND CLEARANCES IN LEVEL ARE NOT PERMITTED.
 3. UNLESS OTHERWISE SPECIFIED, DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.
 4. EACH ARM OF THE T-SHAPED SPACE SHALL BE CLEAR OF OBSTRUCTIONS 12 INCHES MINIMUM IN EACH DIRECTION AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 INCHES MINIMUM. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE ONLY AT THE END OF EITHER THE BASE OR ONE ARM.

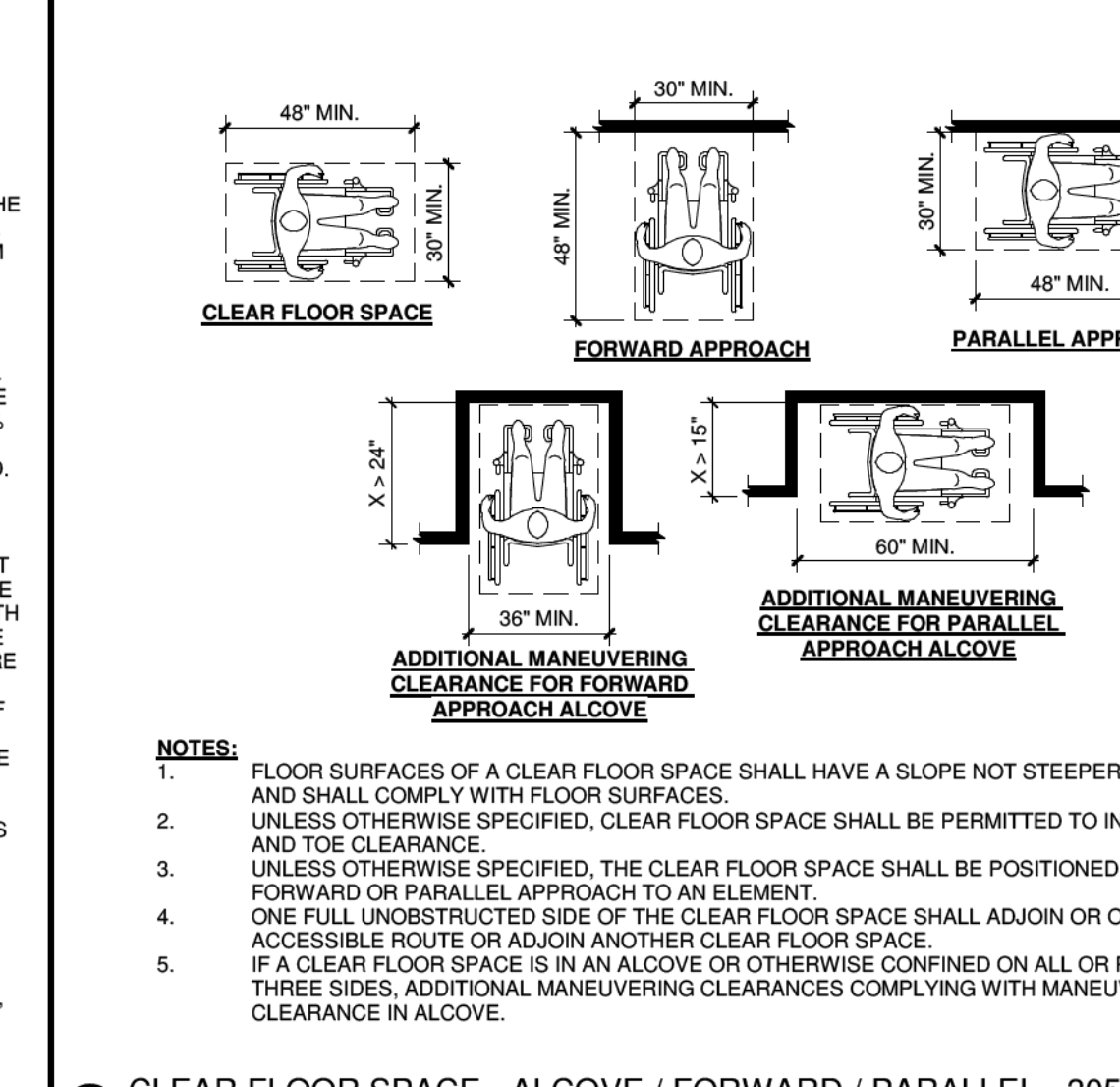
3 CLEAR FLOOR SPACE / TURNING - 304 (EXIST. BLDG.)
 1/4" = 1'-0"



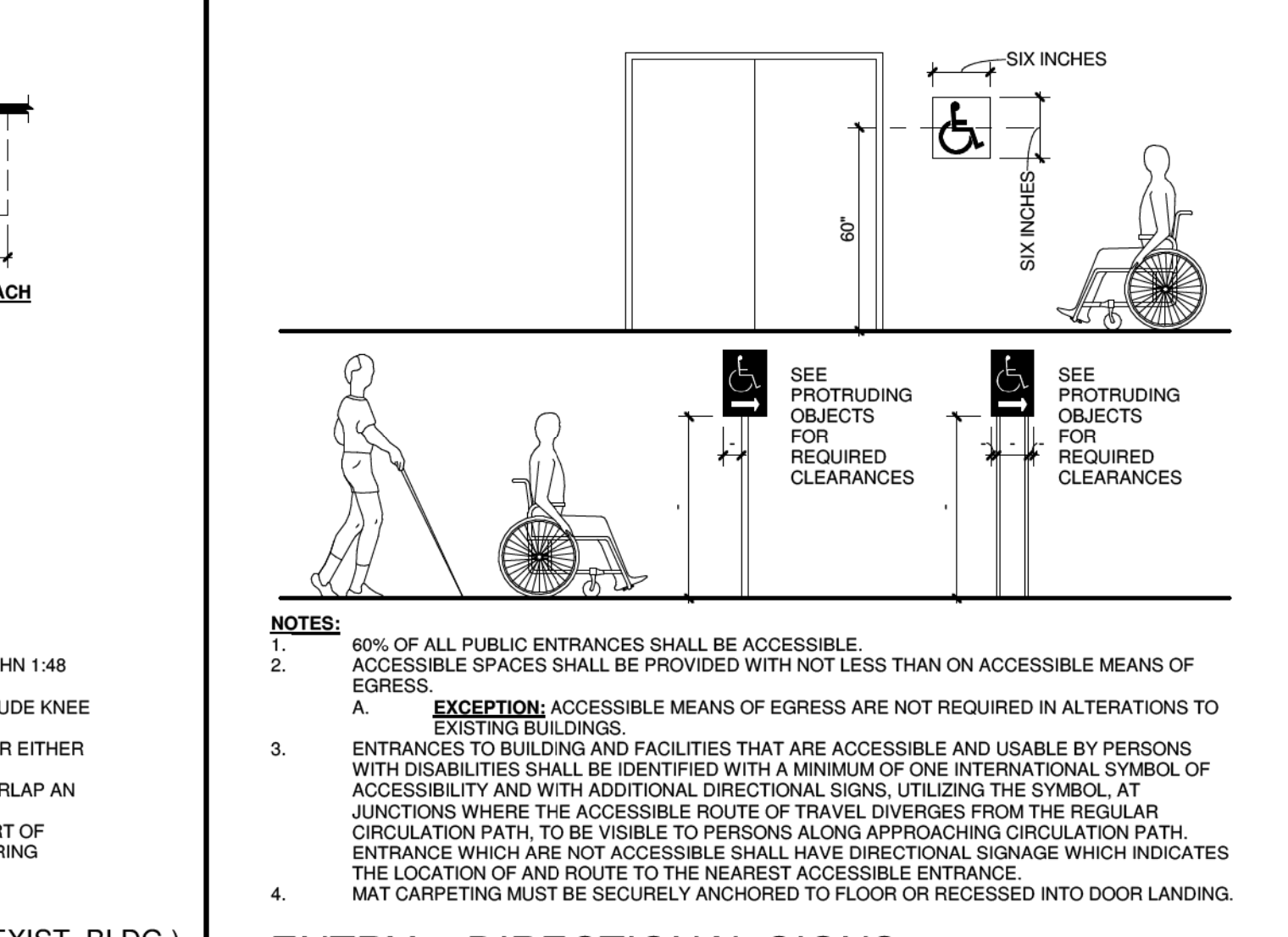
11 CLEAR WIDTH OF DOORWAYS / GATES - 404
 1/4" = 1'-0"



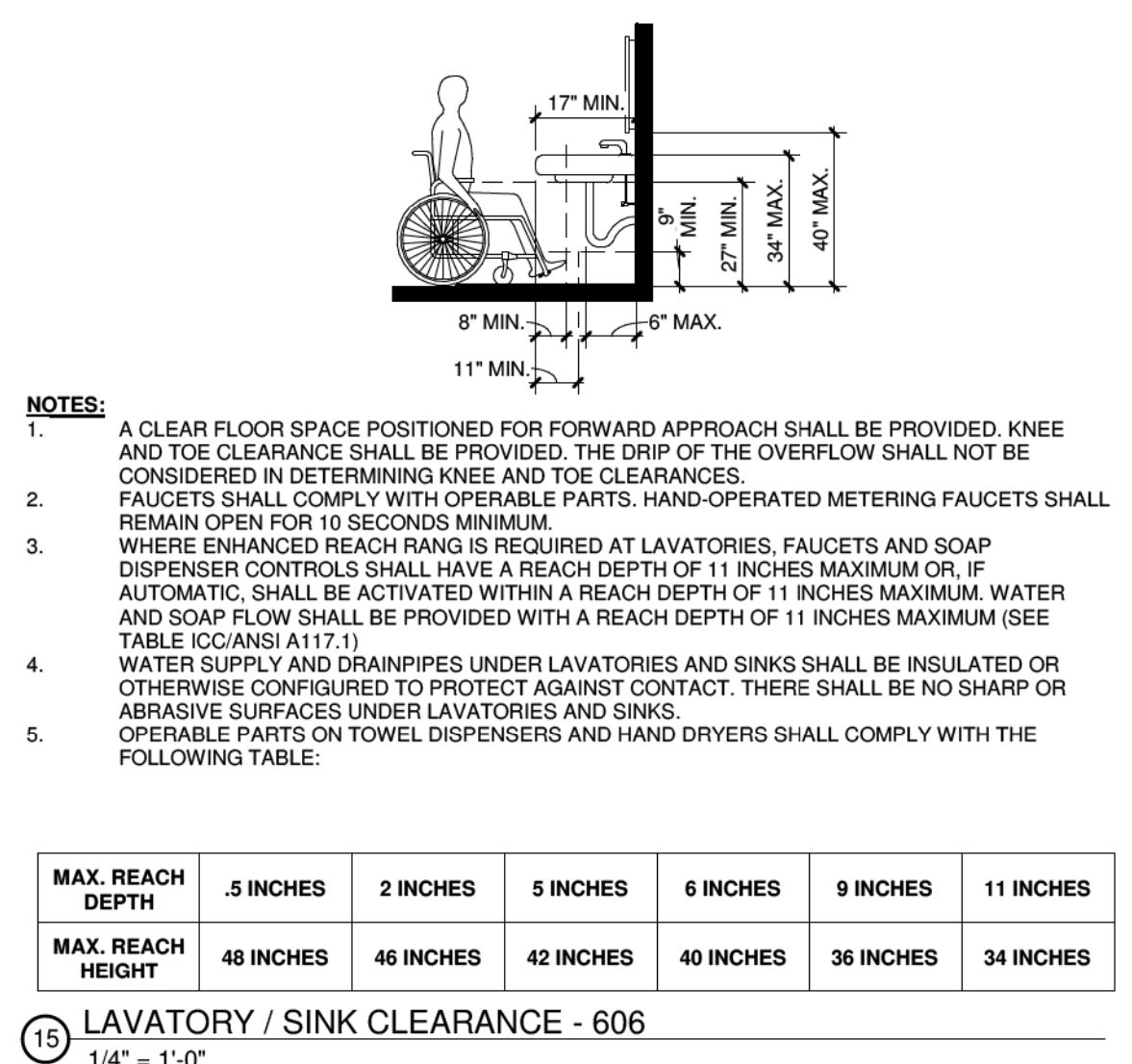
16 TACTILE EXIT SIGN - 703
 1/2" = 1'-0"



4 CLEAR FLOOR SPACE - ALCOVE / FORWARD / PARALLEL - 305 (EXIST. BLDG.)
 1/4" = 1'-0"



1 ENTRY & DIRECTIONAL SIGNS - 216
 1/4" = 1'-0"



15 LAVATORY / SINK CLEARANCE - 606
 1/4" = 1'-0"

Convention Description

	dimension showing English units (in inches unless otherwise specified)
	dimension for small measurements
	dimension showing a range with minimum - maximum
	minimum
	maximum
	greater than
	greater than or equal to
	less than
	less than or equal to
	boundary of clear floor space or maneuvering clearance
	centerline
	a permitted element or it's extension
	direction of travel or approach
	a wall, floor, ceiling or other element cut in section or plan
	a highlighted element in elevation or plan
	location zone of element, control or feature

MAX. REACH DEPTH	.5 INCHES	2 INCHES	5 INCHES	6 INCHES	9 INCHES	11 INCHES
MAX. REACH HEIGHT	48 INCHES	46 INCHES	42 INCHES	40 INCHES	36 INCHES	34 INCHES

NOTES:
 1. AT LEAST ONE OF THE ACTIVE LEAFS OF DOORWAYS WITH TWO LEAFS SHALL COMPLY. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN 34 INCHES ABOVE FINISHED FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR OR GROUND SHALL NOT EXCEED 4 INCHES.
 A. EXCEPTION: IN ALTERATIONS, A PROJECTION OF 5/8 INCH MAXIMUM INTO THE REQUIRED CLEAR WIDTH SHALL BE PERMITTED FOR THE LATCH SIDE STOP. DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MINIMUM ABOVE THE FINISHED FLOOR OR GROUND.
 2. PROVIDE REQUIRED MANEUVERING SPACE AT DOORS. MANEUVERING CLEARANCE SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE THRESHOLDS, IF PROVIDED. SHALL COMPLY WITH CHANGES IN LEVEL.
 A. EXCEPTION: EXISTING OR ALTERED THRESHOLDS 3/4 INCH HIGH WITH BEVELED EDGE ON EACH SIDE WITH A MAX SLOPE OF 1:2 FOR THE HEIGHT EXCEEDING 1/4 INCH SHALL NOT BE REQUIRED TO COMPLY.
 3. DOOR HARDWARE: HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOOR AND GATES SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR OR GROUND, WHERE SLIDING DOORS ARE IN THE FULLY OPENED POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
 A. EXCEPTION: EXISTING LOCKS SHALL BE PERMITTED IN ANY LOCATION AT EXISTING GLAZED DOORS WITHOUT STILE, EXISTING OVERHEAD DOORS OR GRILLS, AND SIMILAR EXISTING DOORS OR GRILLS THAT ARE DESIGNED WITH LOCKS THAT ARE ACTIVATED AT THE TOP OR BOTTOM RAIL.
 4. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
 5. DOOR AND GATE SWING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS.
 6. DOOR, FIRE DOOR AND GATE OPENING FORCE SHALL HAVE A MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN A FIRE DOOR SHALL BE 5 POUNDS FOR INTERIOR DOORS, GATES, SLIDING OR FOLDING DOORS.
 7. DOOR AND GATE SURFACES, SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISHED FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACE SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.
 A. EXCEPTIONS: SLIDING DOORS ARE NOT REQUIRED TO COMPLY. TEMPERED GLASS DOORS WITHOUT STILES AN HAVING A BOTTOM RAIL, OR SHOE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO COMPLY. DOORS AND GATES THAT DO NOT EXTEND TO WITHIN 10 INCHES OF THE FINISHED FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY. EXISTING DOORS AND GATES WITHOUT SMOOTH SURFACES WITHIN 10 INCHES OF THE FINISHED FLOOR OR GROUND SHALL BE REQUIRED TO PROVIDE A SMOOTH SURFACE PROVIDED THAT IF ADDED KICK PLATES ARE INSTALLED CAVITIES CREATED BY SUCH KICK PLATES ARE CAPPED.
 8. VISION LIGHTS: DOORS, GATES AND SIDE LIGHT ADJACENT TO DOORS OR GATES, CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE GLAZED PANEL LOCATED 43 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
 A. EXCEPTION: VISION LIGHTS WITH THE LOWEST PART MORE THAN 68 INCHES FROM THE FINISHED FLOOR OR GROUND SHALL NOT BE REQUIRED TO COMPLY.
 9. AUTOMATIC POWER ASSISTED DOORS AND GATES: AUTOMATIC DOORS AND AUTOMATIC GATES SHALL COMPLY WITH ANSIBHMA A156.19 LOW ENERGY AND POWER ASSISTED DOORS SHALL COMPLY WITH ANSIBHMA A159.19 (LATEST EDITION). AUTOMATIC DOORS SHALL PROVIDE A CLEAR OPENING OF 32 INCHES MINIMUM IN POWER ON AND POWER-OFF MODE AND APPLIES TO ALL LEAFS IN THE OPEN POSITION. MANEUVERING CLEARANCES AND THRESHOLDS SHALL COMPLY. MANUAL CONTROLS SHALL COMPLY WITH REACH RANGES AND BE LOCATED BEYOND THE ARC OF THE DOOR SWING. WHERE DOORS AND GATES WITHOUT STANDBY POWER ARE A PART OF A MEANS OF EGRESS, THE CLEAR BREAK OUT OPENING AT SWINGING OR SLIDING DOORS AND GATES SHALL BE 32 INCHES MINIMUM WHEN OPERATED IN EMERGENCY MODE.

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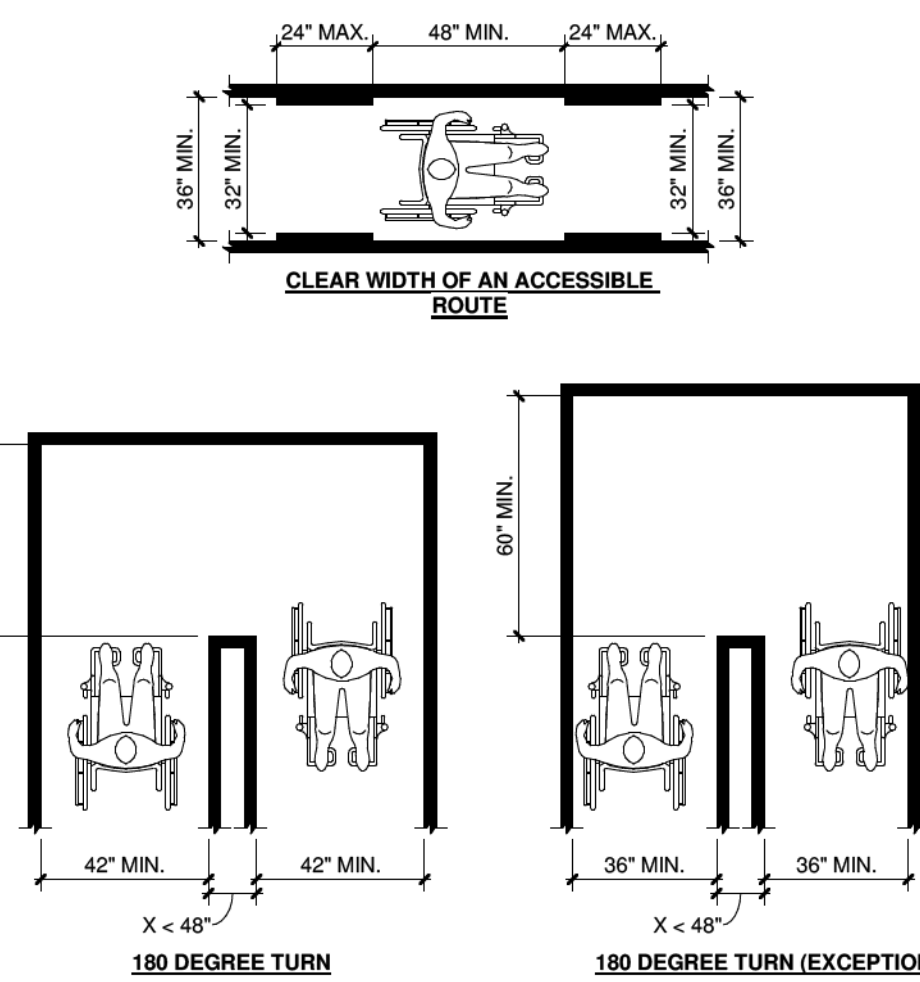
WORCESTER RESILIENCY UPGRADE
 EASTERN SHORE NATURAL GAS COMPANY
 BISHOPVILLE LING. STORAGE FACILITY

A.D.A. REQUIREMENTS

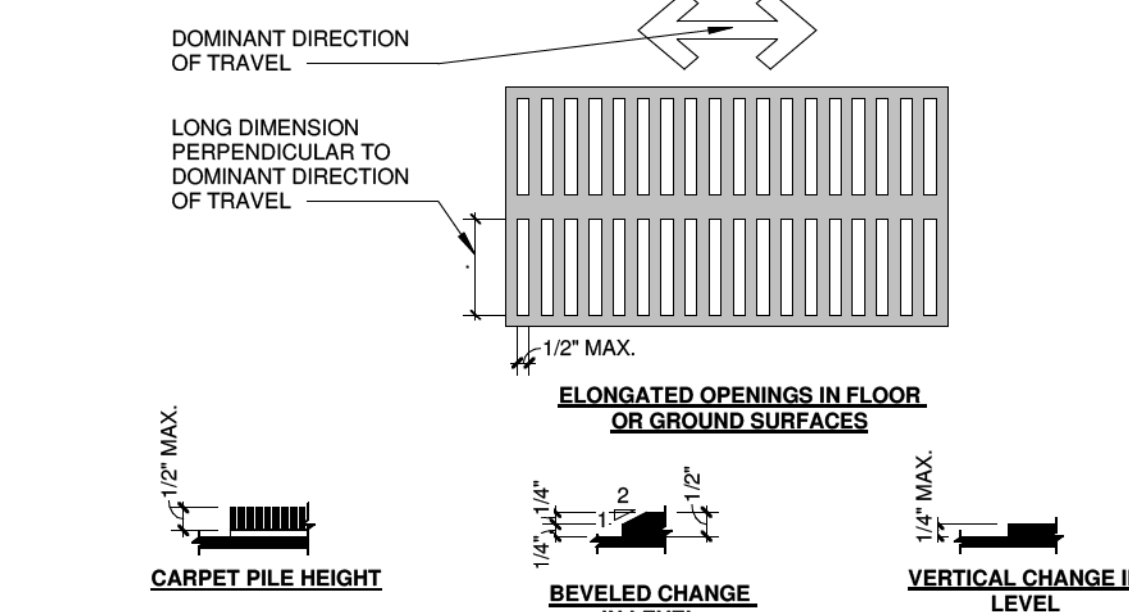
PROJECT NUMBER: 24-171
 SHEET NUMBER: A002

PROGRESS NOT FOR CONSTRUCTION

- NOTES:**
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE REQUIRED ON THE SAME SITE.
 - EXCEPTION:** AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS.
 - ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, DOORS AND DOORWAYS, RAMP, CURB RAMPS (EXCLUDING THE FLARED SIDES), ELEVATORS, AND PLATFORM LIFTS. REVOLVING DOORS, REVOLVING GATES AND TURNSTILES SHALL NOT BE PART OF AN ACCESSIBLE ROUTE.
 - ACCESSIBLE ROUTES SHALL COMPLY WITH FLOOR AND GROUND SURFACES.
 - ACCESSIBLE ROUTES SHALL COMPLY WITH CHANGES IN LEVEL.
 - THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48.
 - AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN 80 INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF 200 FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A 60 INCH MINIMUM BY 60 INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO WALKING SURFACES THAT PROVIDE A T-SHAPED TURNING SPACE. PROVIDED THE BASE AND THE ARMS OF THE T-SHAPED TURNING SPACE EXTEND 48 INCHES MINIMUM BEYOND THE INTERSECTION.
 - EMPLOYEE WORK AREAS: COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK AREAS SHALL BE ACCESSIBLE ROUTES.
 - EXCEPTION:** COMMON USE CIRCULATION PATHS, LOCATED WITHIN EMPLOYEE WORK AREAS THAT ARE LESS THAN 1,000 SQUARE FEET IN SIZE AND DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS, SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES. OR COMMON USE CIRCULATION PATHS, LOCATED WITHIN EMPLOYEE WORK AREAS, THAT ARE AN INTEGRAL COMPONENT OF EQUIPMENT SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES. OR COMMON USE CIRCULATION PATHS LOCATED WITHIN EXTERIOR EMPLOYEE WORK AREAS THAT ARE FULLY EXPOSED TO THE WEATHER SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES.
 - MULTILEVEL BUILDINGS: AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT EACH ACCESSIBLE LEVEL, INCLUDING MEZZANINES, IN MULTILEVEL BUILDINGS AND FACILITIES.
 - EXCEPTION:** AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED TO STORIES AND MEZZANINES ABOVE AND BELOW ACCESSIBLE LEVELS THAT AN AGGREGATE AREA OF NOT MORE THAN 3,000 SQUARE FEET. THIS EXCEPTION SHALL NOT APPLY TO MULTIPLE TENANT FACILITIES OF GROUP M OCCUPANCIES CONTAINING FIVE OR MORE TENANT SPACES (IBC SECTION 1140.4)

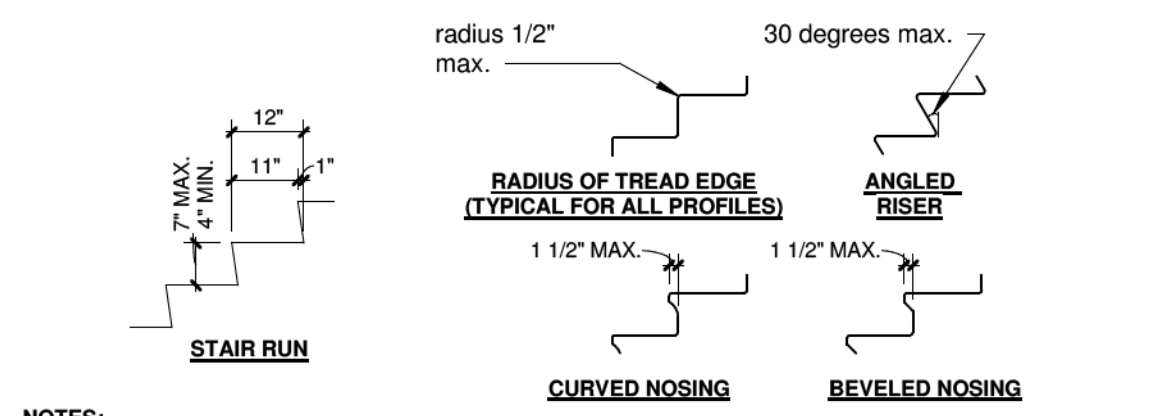


7 CLEAR WIDTH OF ACCESSIBLE ROUTE - 403
1/4" = 1'-0"



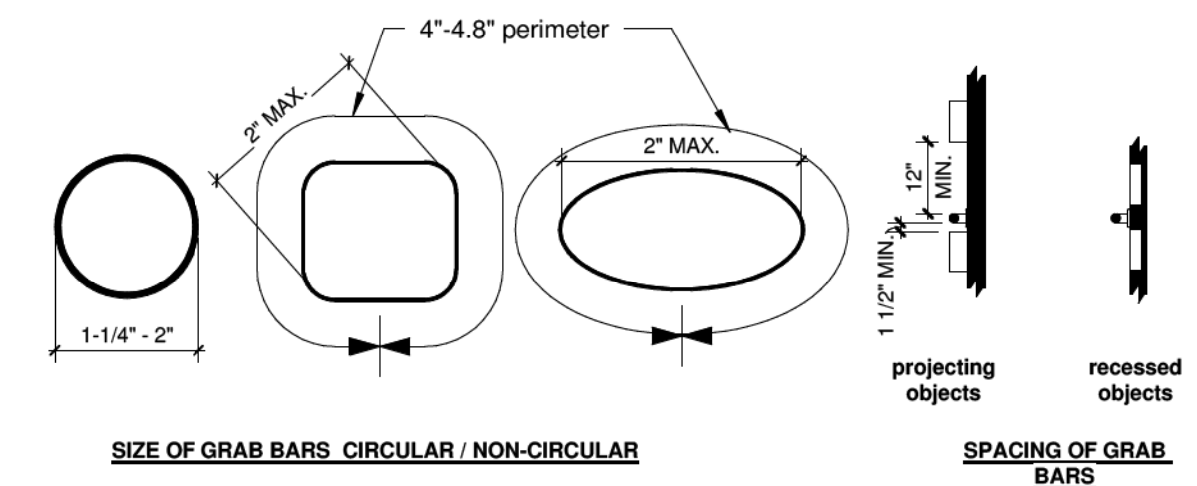
- NOTES:**
- CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE RAMPED.
 - FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
 - CARPET TO CARPET TILE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE OR LEVEL CUT/UNCUT PILE TEXTURE. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND SHALL HAVE TRIM IN THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET TRIM SHALL COMPLY WITH CHANGES IN LEVEL.

5 CHANGES IN LEVEL - 302/303
3/8" = 1'-0"



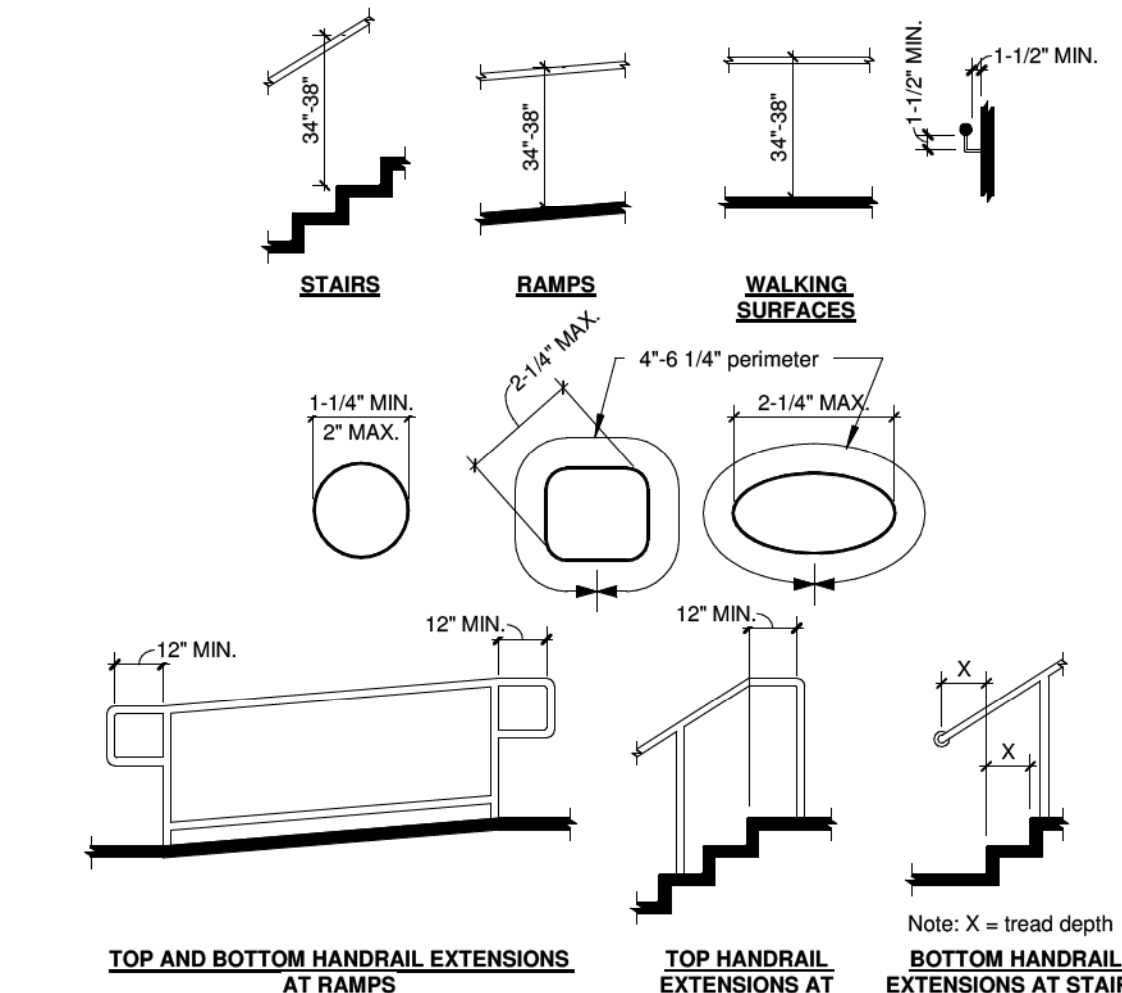
- NOTES:**
- OPEN RISERS SHALL NOT BE PERMITTED.
 - TREADS SHALL COMPLY WITH FLOOR SURFACES AND SHALL HAVE A SLOPE NOT STEEPER THAN 1:48.
 - THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE 1/2 INCH MAXIMUM. NOSINGS THAT PROJECT BEYOND RIDERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. THE LEADING 2 INCHES OF THE TREAD SHALL HAVE A VISUAL CONTRAST OF DARK-ON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD.
 - STAIRS SHALL HAVE COMPLYING HANDRAILS.
 - STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.
 - IF PROVIDED, OCCUPANCY-SENSING AUTOMATIC CONTROLS SHALL ACTIVATE THE STAIRWAY LIGHTING SO THE LUMINANCE LEVEL REQUIRED IS PROVIDED ON THE ENTRANCE LANDING OF EACH STAIR FLIGHT ADJACENT TO THE ENTRANCE LANDING, AND ON LANDINGS ABOVE AND BELOW THE ENTRANCE LANDING PRIOR TO ANY STEP BEFORE USED.
 - COMPLYING STAIR LEVEL IDENTIFICATION SIGNS IN TACTILE CHARACTERS SHALL BE LOCATED AT EACH DOOR LEVEL LANDING IN ALL ENCLOSED STAIRWAYS ADJACENT TO THE DOOR LEADING FROM THE STAIRWELL INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL. THE EXIT DOOR DISCHARGING TO THE OUTSIDE OR TO THE LEVEL OF EXIT OR DISCHARGE SHALL HAVE A TACTILE SIGN STATING "EXIT".

5 STAIR NOSINGS
3/8" = 1'-0"



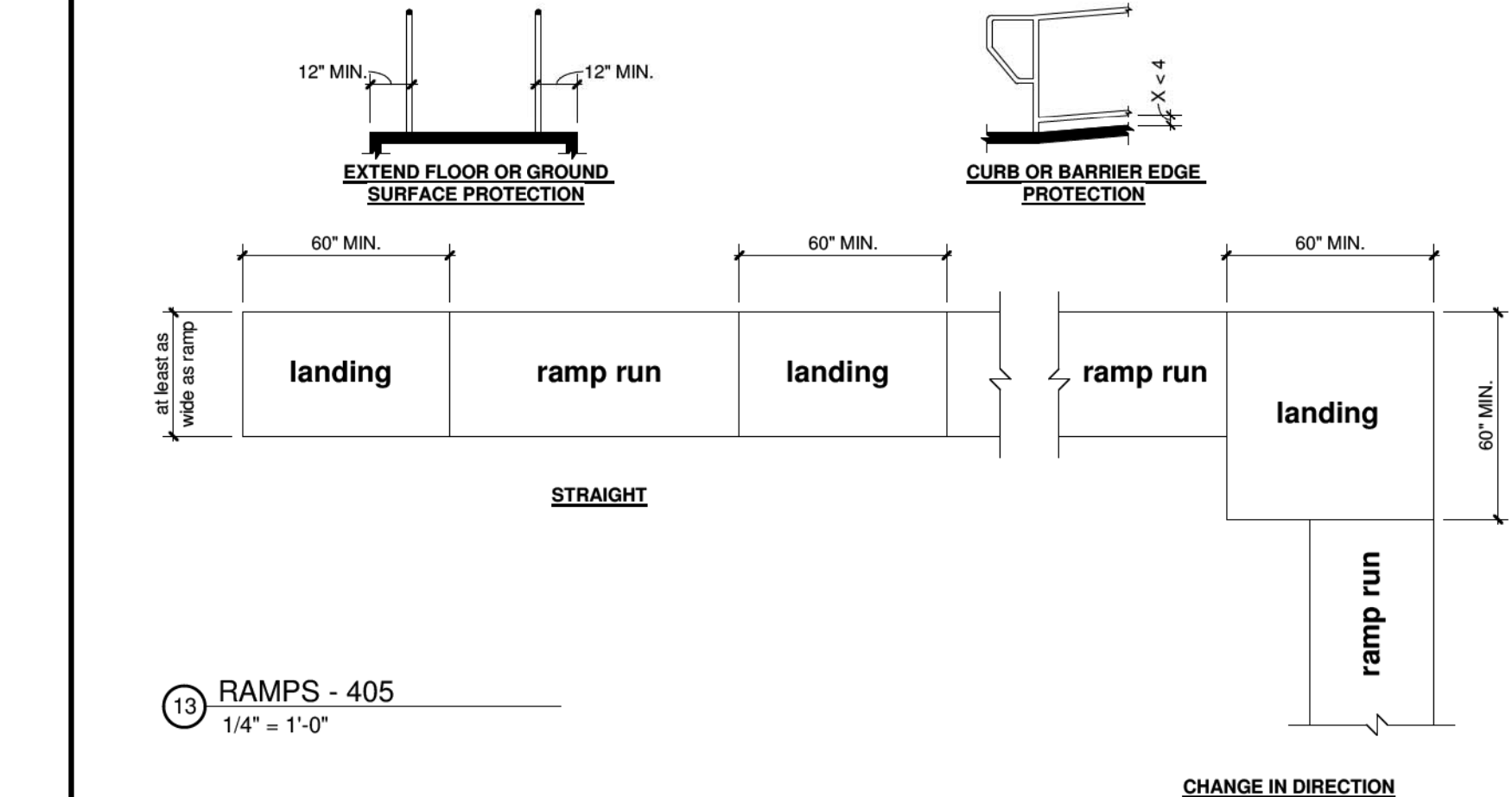
- NOTES:**
- GRAB BARS IN ACCESSIBLE TOILET ROOMS / SHOWER FACILITIES SHALL COMPLY.
 - GRAB BARS SHALL BE INSTALLED IN A HORIZONTAL POSITION 33 INCHES MINIMUM AND 36 INCHES MAXIMUM ABOVE THE FLOOR MEASURED TO THE TOP OF THE GRIPPING SURFACE.
 - GRAB BARS, AND ANY WALL OR OTHER SURFACES ADJACENT TO GRAB BARS, SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED AS NEEDED.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - GRAB BARS SHALL BE INSTALLED IN ANY MANNER THAT PROVIDES A GRIPPING SURFACE AT THE LOCATIONS SPECIFIED IN THIS STANDARD AND DOES NOT OBSTRUCT THE CLEAR FLOOR SPACE.
 - STRUCTURAL STRENGTH: ALLOWABLE STRESSES SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE.

1 A.D.A. GRAB BAR REQUIREMENTS - 609
3/8" = 1'-0"



- NOTES:**
- HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS.
 - EXCEPTION:** IN ASSEMBLY SEATING AREAS AISLE STAIRS AND AISLE RAMPS PROVIDED WITH A HANDRAIL EITHER AT THE SIDE OR WITHIN THE AISLE WIDTH. HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS OR RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS.
 - GRIPPING SURFACES SHALL BE CONTINUOUS WITHOUT INTERRUPTIONS BY NEWELL POSTS, OTHER CONSTRUCTION ELEMENTS, OR OBSTRUCTIONS.
 - EXCEPTIONS: HANDRAIL BRACKETS OR BALLUSTERS ATTACHED TO THE BOTTOM SURFACE OF THE HANDRAIL SHALL NOT BE CONSIDERED OBSTRUCTIONS, PROVIDED THEY COMPLY WITH THE FOLLOWING CRITERIA:
 - NOT MORE THAN 20% OF THE HANDRAIL LENGTH IS OBSTRUCTED.
 - HORIZONTAL PROJECTS BEYOND THE SIDES OF THE HANDRAIL OCCUR 1-1/2 INCHES MINIMUM BELOW THE BOTTOM OF THE HANDRAIL AND PROVIDED THAT FOR EACH 1/2 INCH OF ADDITIONAL HANDRAIL PERIMETER DIMENSION ABOVE 4 INCHES THE VERTICAL CLEARANCE DIMENSION OF 1-1/2 INCH CAN BE REDUCED BY 1/8 INCH AND EDGES SHALL BE ROUNDED.
 - WHERE HANDRAILS ARE PROVIDED ALONG WALKING SURFACES WITH SLOPES NOT STEEPER THAN 1:20 THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL BE PERMITTED TO BE OBSTRUCTED ALONG THEIR ENTIRE LENGTH WHERE THEY ARE INTEGRAL TO CRASH RAILS OR BUMPER GUARDS.
 - HANDRAILS AND ANY WALL OR OTHER SURFACES ADJACENT TO THEM, SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED.
 - HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - HANDRAILS SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FLIGHTS AND RAMP RUNS.
 - EXCEPTIONS:** EXTENSIONS SHALL NOT BE REQUIRED FOR CONTINUOUS HANDRAILS AT THE INSIDE TURN OF STAIR AND RAMPS. EXTENSIONS ARE NOT REQUIRED FOR HANDRAILS IN AISLES SERVING SEATING WHERE THE HANDRAILS ARE DISCONTINUED TO DISCOURAGE PARKING IN THEM AND TO PERMIT CROSSOVERS WITHIN THE AISLE. IN ALTERNATIONS, FULL EXTENSIONS FOR HANDRAILS SHALL NOT BE REQUIRED WHERE SUCH EXTENSIONS WOULD BE HAZARDOUS DUE TO PLAN CONFIGURATIONS.
 - RAMP AND STAIR HANDRAIL EXTENSIONS SHALL RETURN TO A WALL, GUARD, FLOOR OR SHALL BE CONTINUOUS TO THE HANDRAIL OR AN ADJACENT STAIR FLIGHT.

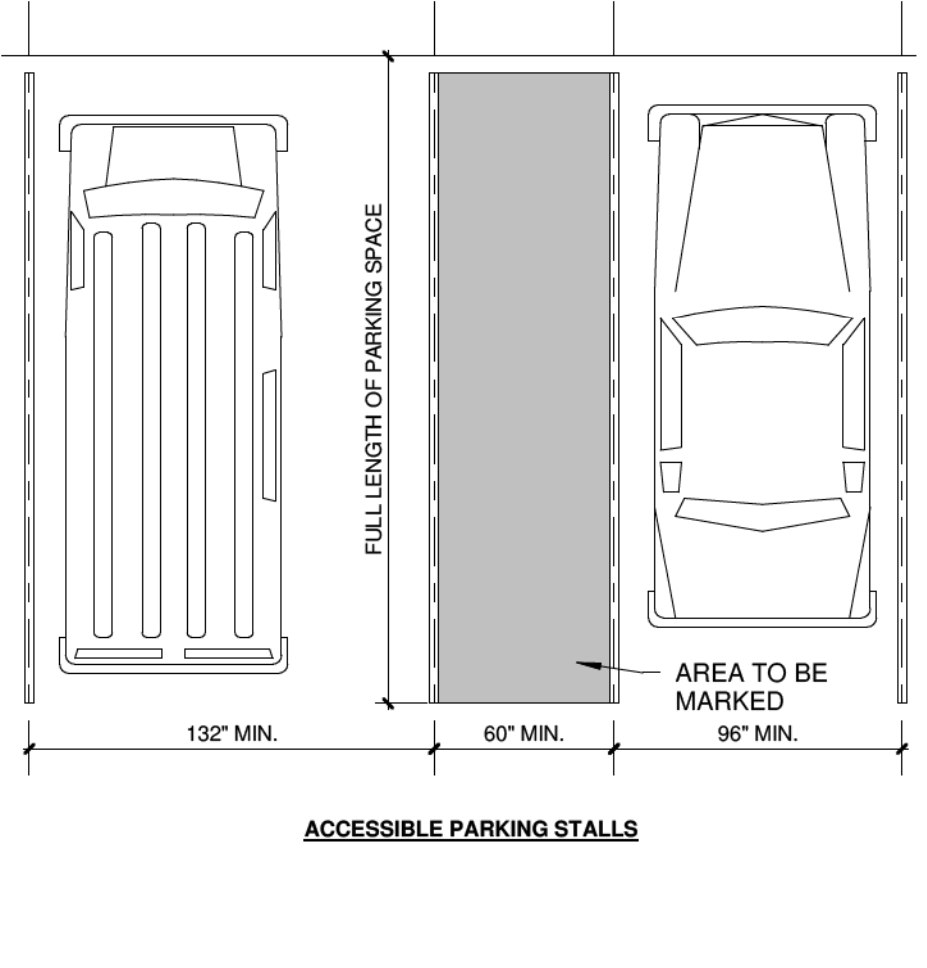
2 HANDRAILS - 505
1/4" = 1'-0"



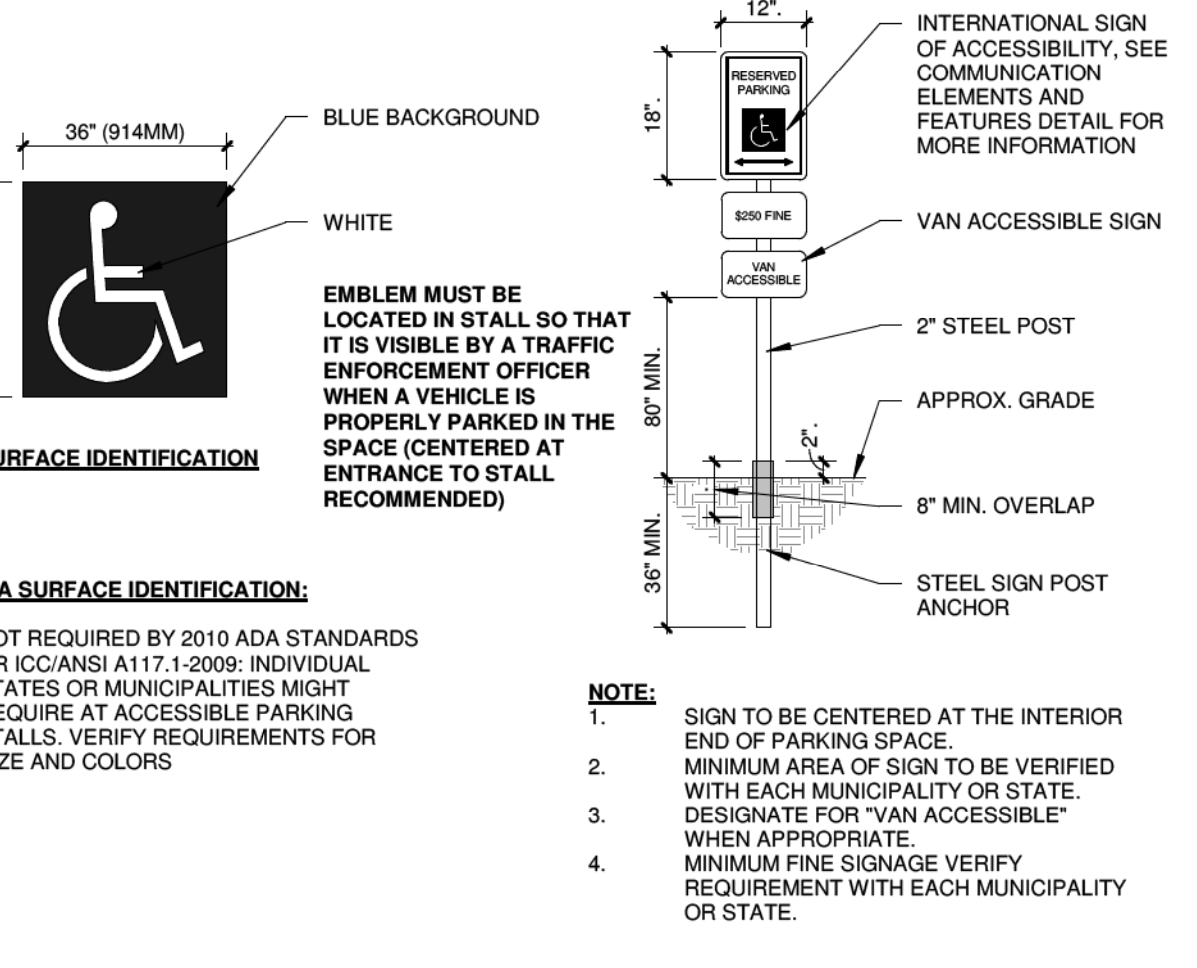
13 RAMP - 405
1/4" = 1'-0"

- NOTES:**
- RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12.
 - EXCEPTION:** IN EXISTING SITES, BUILDINGS, AND FACILITIES, RAMPS SHALL BE PERMITTED TO HAVE RUNNING SLOPES STEEPER THAN 1:12 COMPLYING WITH THE FOLLOWING TABLE WHERE SUCH SLOPES ARE NECESSARY DUE TO SPACE LIMITATIONS.
 - CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48.
 - RAMP RUNS SHALL COMPLY WITH FLOOR SURFACES.
 - THE CLEAR WIDTH OF A RAMP RUN SHALL BE 36 INCHES MINIMUM. WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
 - THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM.
 - LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 1:48 AND SHALL COMPLY WITH FLOOR SURFACES.
 - RAMPS THAT CHANGE DIRECTION AT RAMP RUNS, SHALL PROVIDE A TURNING SPACE.
 - WHERE DOORWAYS ADJACENT TO A RAMP LANDING, DOOR MANEUVERING CLEARANCE SPACE SHALL BE PROVIDED, AND SHALL BE PERMITTED TO OVERLAP THE LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO LOOKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A TURNING SPACE.
 - RAMP RUNS WITH A RISE GREATER THAN 5 INCHES SHALL HAVE COMPLYING HANDRAILS.
 - EDGE PROTECTION NOT REQUIRED FOR RAMP LANDINGS HAVING A VERTICAL DROP-OFF OF 1/2 INCH MAXIMUM WITHIN 10 INCHES HORIZONTALLY OF THE MINIMUM LANDING AREA.
 - LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER.

MAXIMUM ALLOWABLE RAMP SLOPE AND RISE FOR EXISTING SITES, BUILDINGS, AND FACILITIES		
SLOPE	MAXIMUM RISE	
STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8	3 INCHES	
STEEPER THAN 1:12 BUT NOT STEEPER THAN 1:10	6 INCHES	

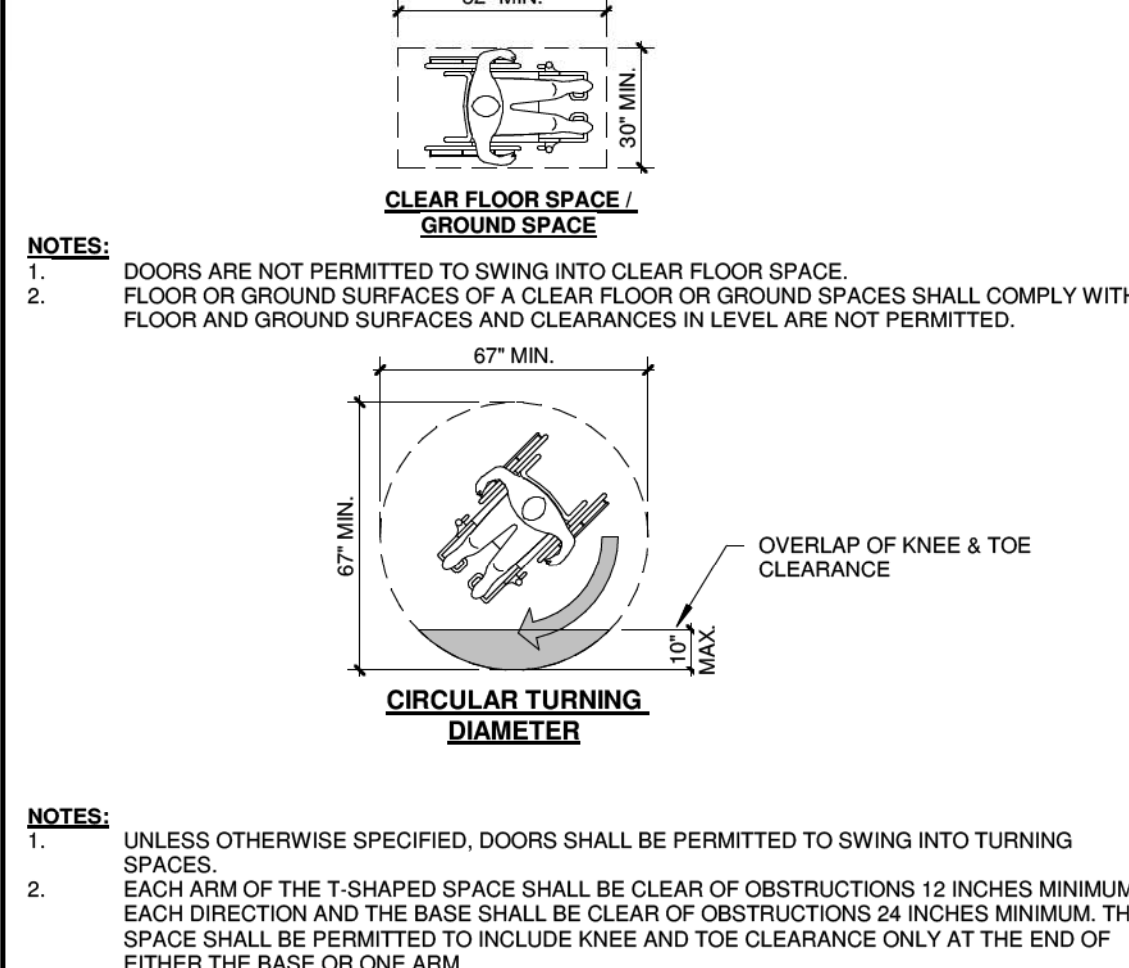


3 ACCESSIBLE PARKING - 208 / 502
3/16" = 1'-0"

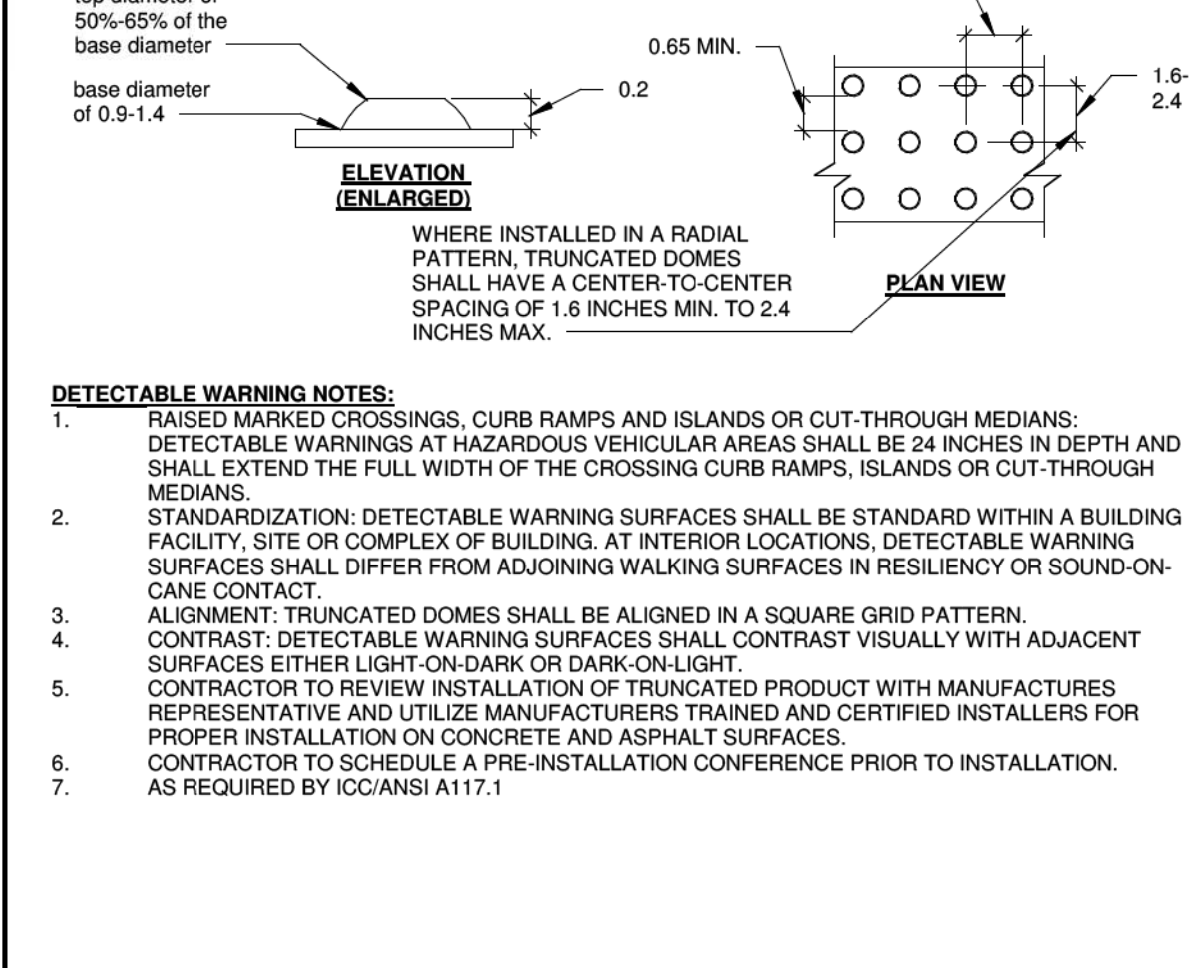


- NOTES:**
- WHEN PARKING SPACES ARE MARKED WITH LINES, WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.
 - EXCEPTION:** WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
 - CAR PARKING SPACES SHALL BE 96 INCHES WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 132 INCHES WIDE MINIMUM.
 - EXCEPTION:** VAN PARKING SPACES SHALL BE PERMITTED TO BE 96 INCHES WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES WIDE MINIMUM.
 - ACCESS AISLES SERVING PARKING SPACES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE.
 - ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
 - ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
 - GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED. SLOPES SHALL NOT BE GREATER THAN 1:48.
 - PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF 98 INCHES MINIMUM.
 - PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE 60 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.
 - PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT CARS AND VANS, WHEN PARKED, CANNOT OBSTRUCT THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES.

TOTAL PARKING IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1-10	1
11-20	2
21-30	3
31-40	4
41-50	5
51-60	6
61-70	7
71-80	8
81-90	9
91-100	10
101-150	15
151-200	20
201-250	25
251-300	30
301-400	40
401-500	50
501-1000	5% PLUS 1 FOR EVERY 100 OVER 1000



11 CLEAR FLOOR SPACE / TURNING - 304 (NEW BLDG.)
1/4" = 1'-0"



12 DETECTABLE WARNING SURFACES - 705
1/4" = 1'-0"

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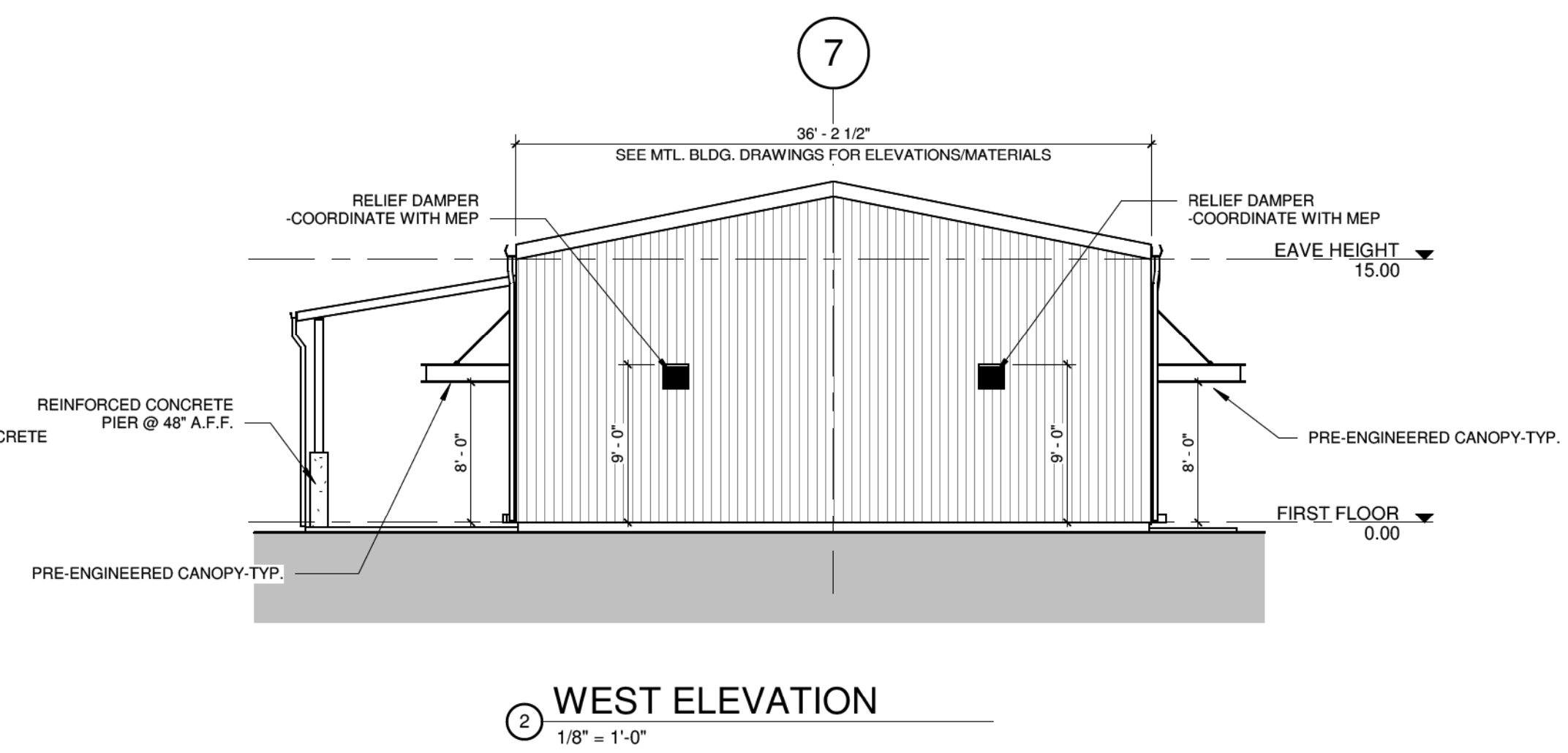
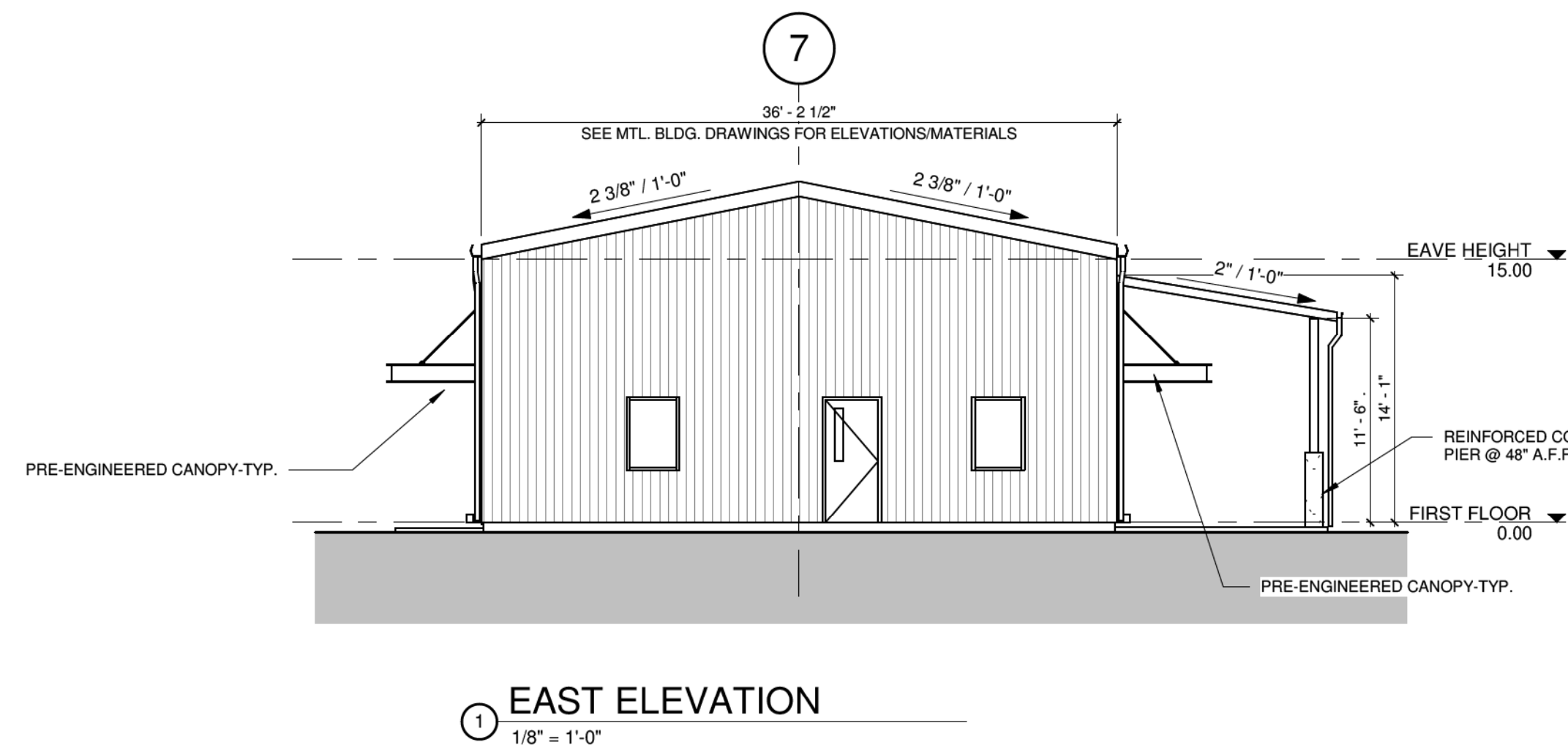
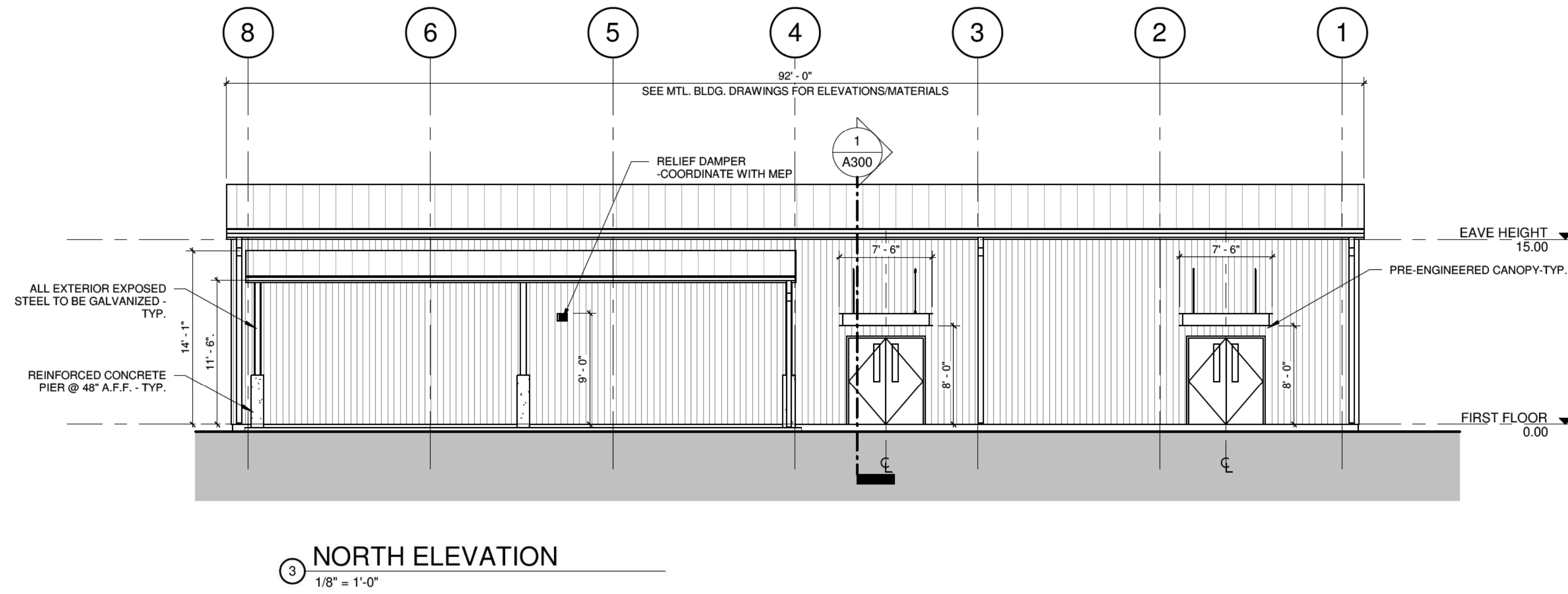
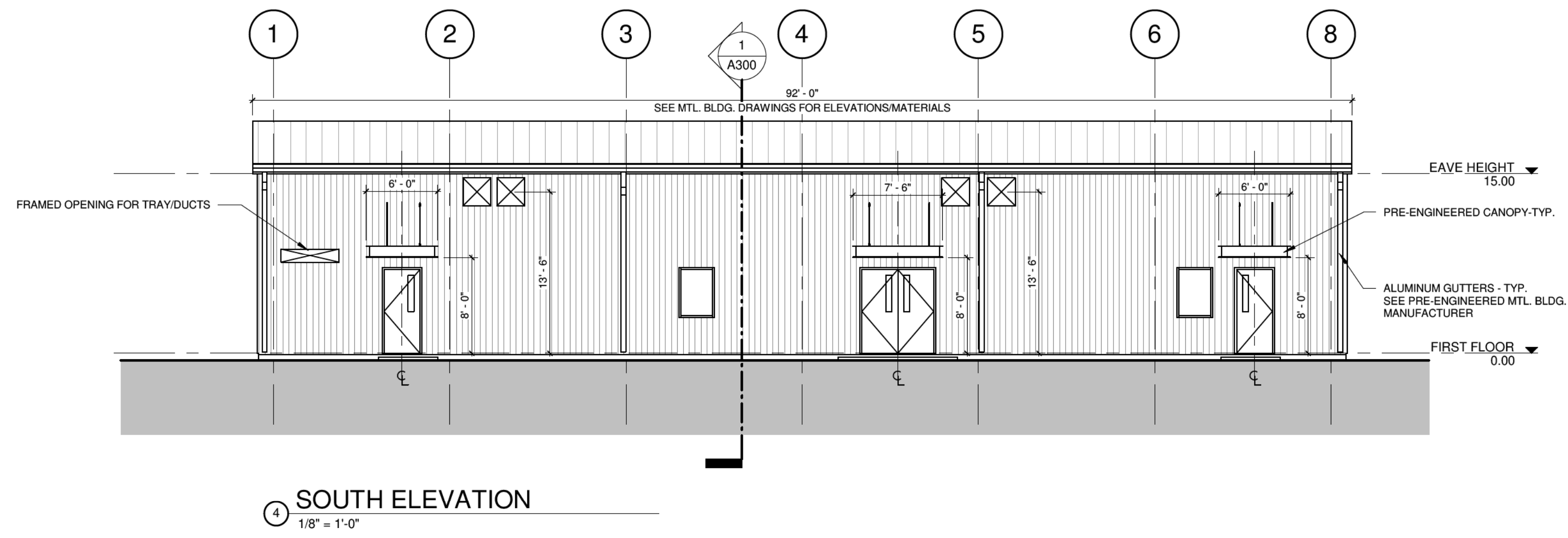
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Worcester Resiliency Upgrade
Eastern Shore Natural Gas Company
BISHOPVILLE LNG STORAGE FACILITY

A.D.A. REQUIREMENTS

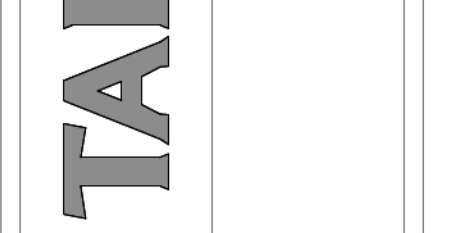
PROJECT NUMBER: 24-171
SHEET NUMBER: A003



NO.	DATE	DESCRIPTION	BY

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 REVIEWED BY: [Blank]
 PROJECT MGR: [Blank]
 PIC: [Blank]
 DATE: 10/26/21

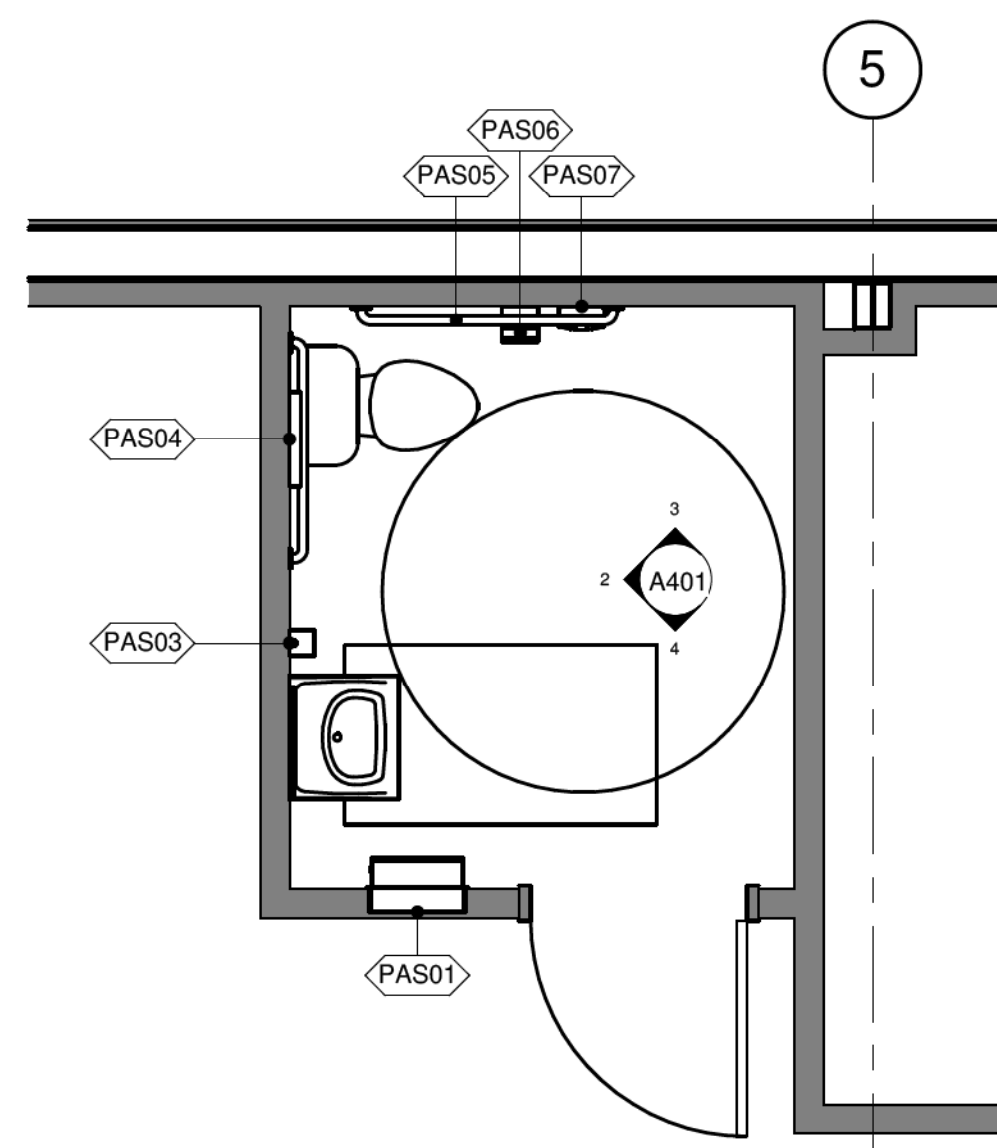
PROGRESS
 NOT FOR
 CONSTRUCTION

WORCESTER RESILIENCY UPGRADE
 EASTERN SHORE NATURAL GAS COMPANY
 BISHOPVILLE LNG STORAGE FACILITY

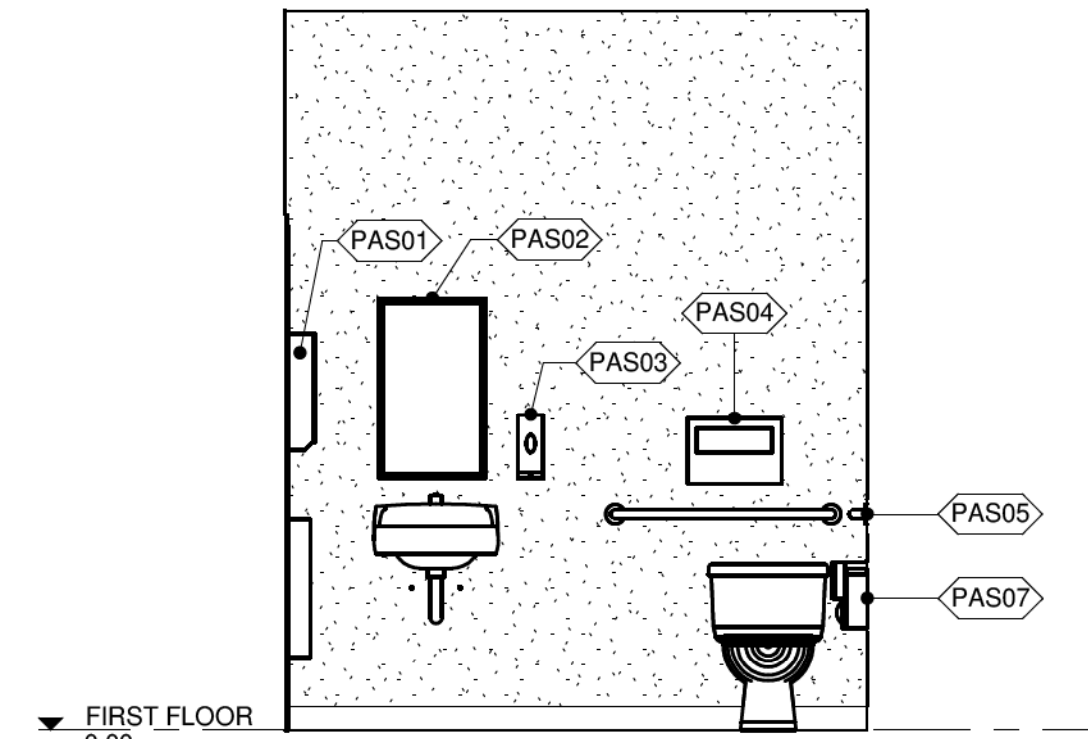
ELEVATIONS

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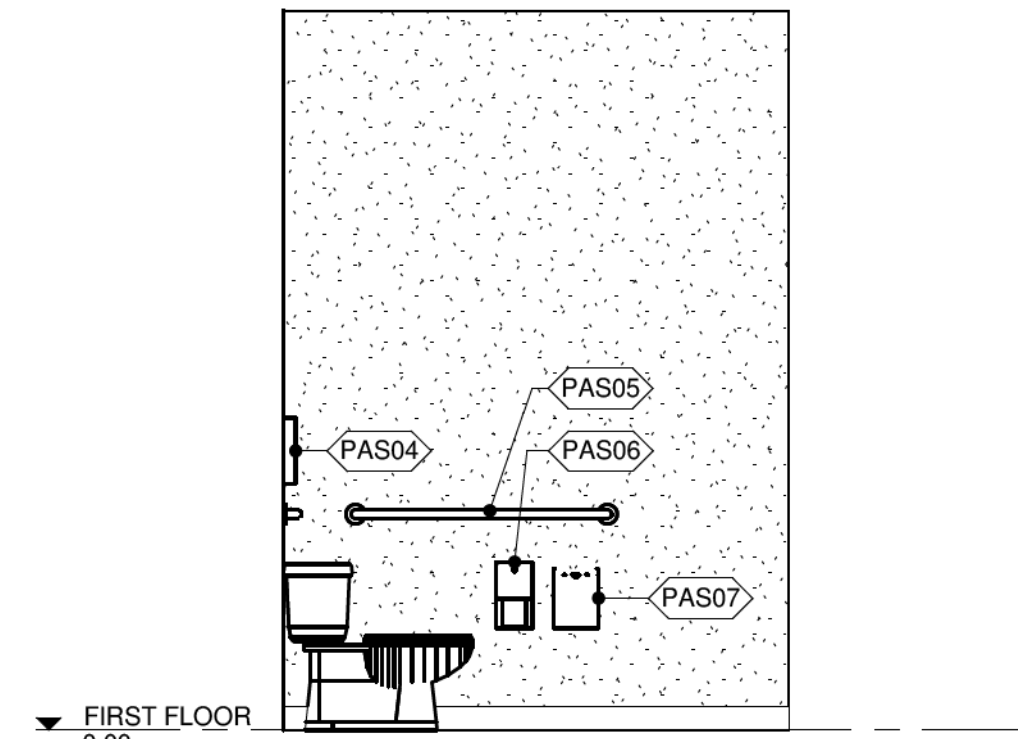
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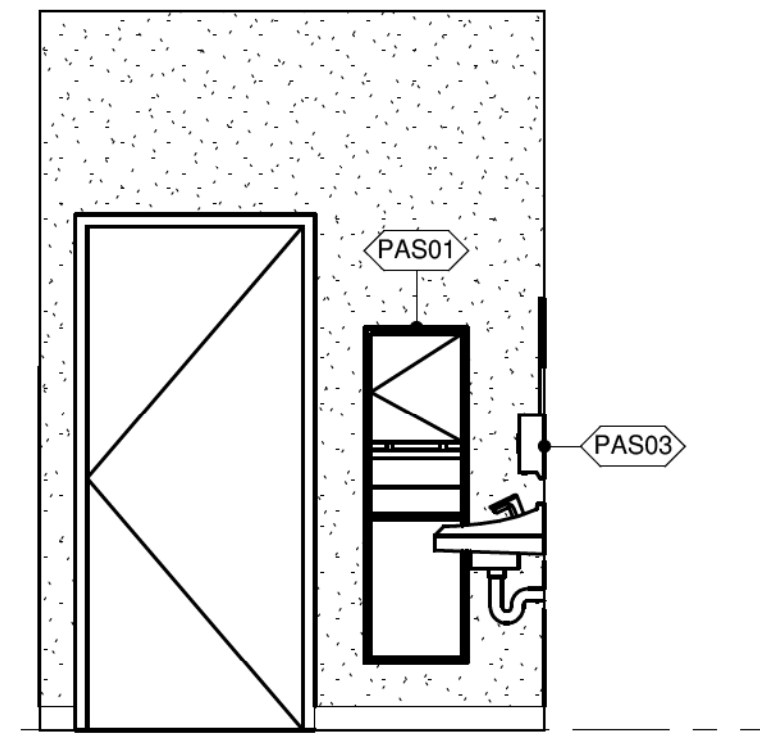
1 ENLARGED TOILET ROOM
3/8" = 1'-0"



2 TOILET RM. - WEST ELEVATION
3/8" = 1'-0"

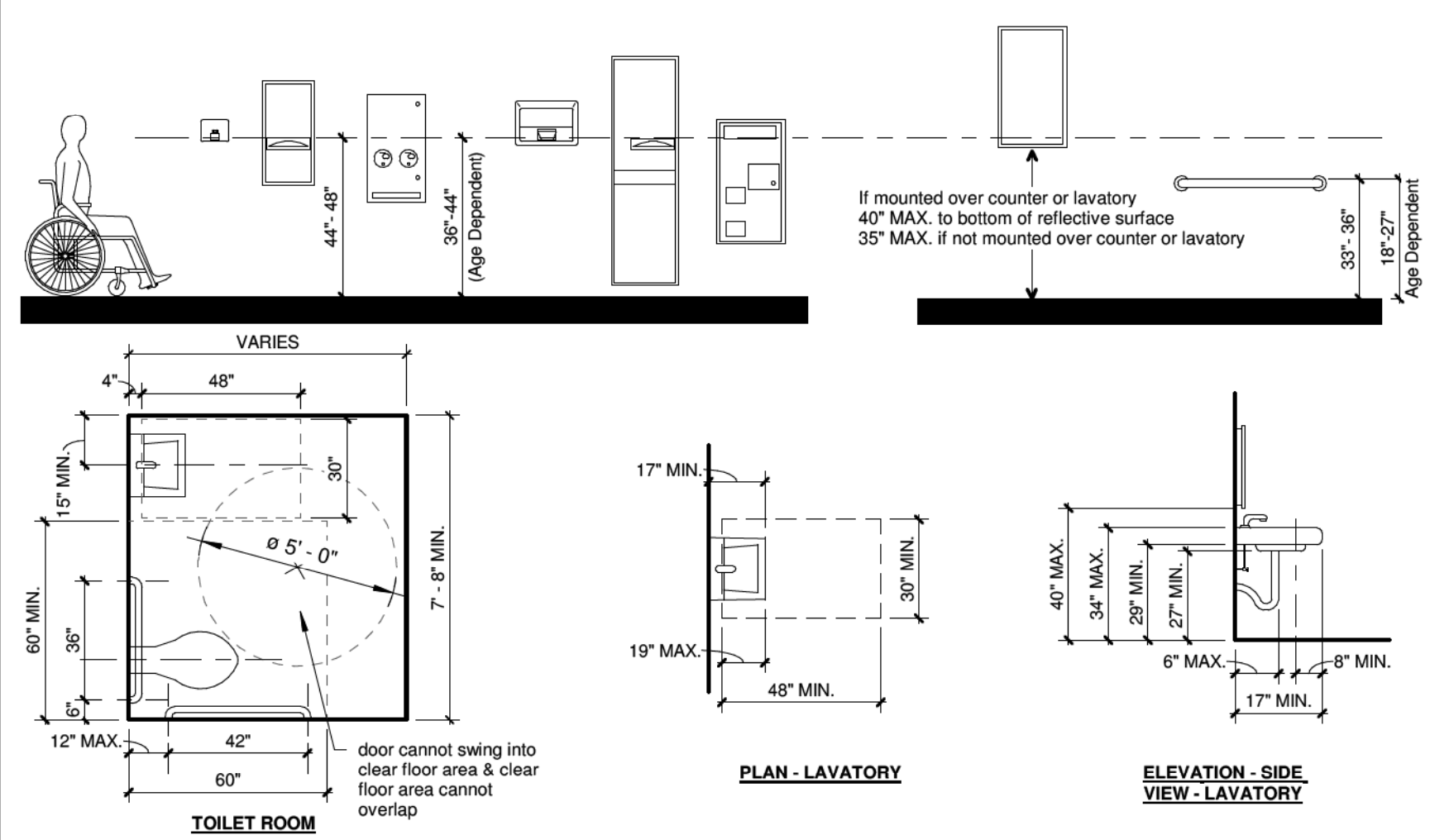


3 TOILET RM. - NORTH ELEVATION
3/8" = 1'-0"

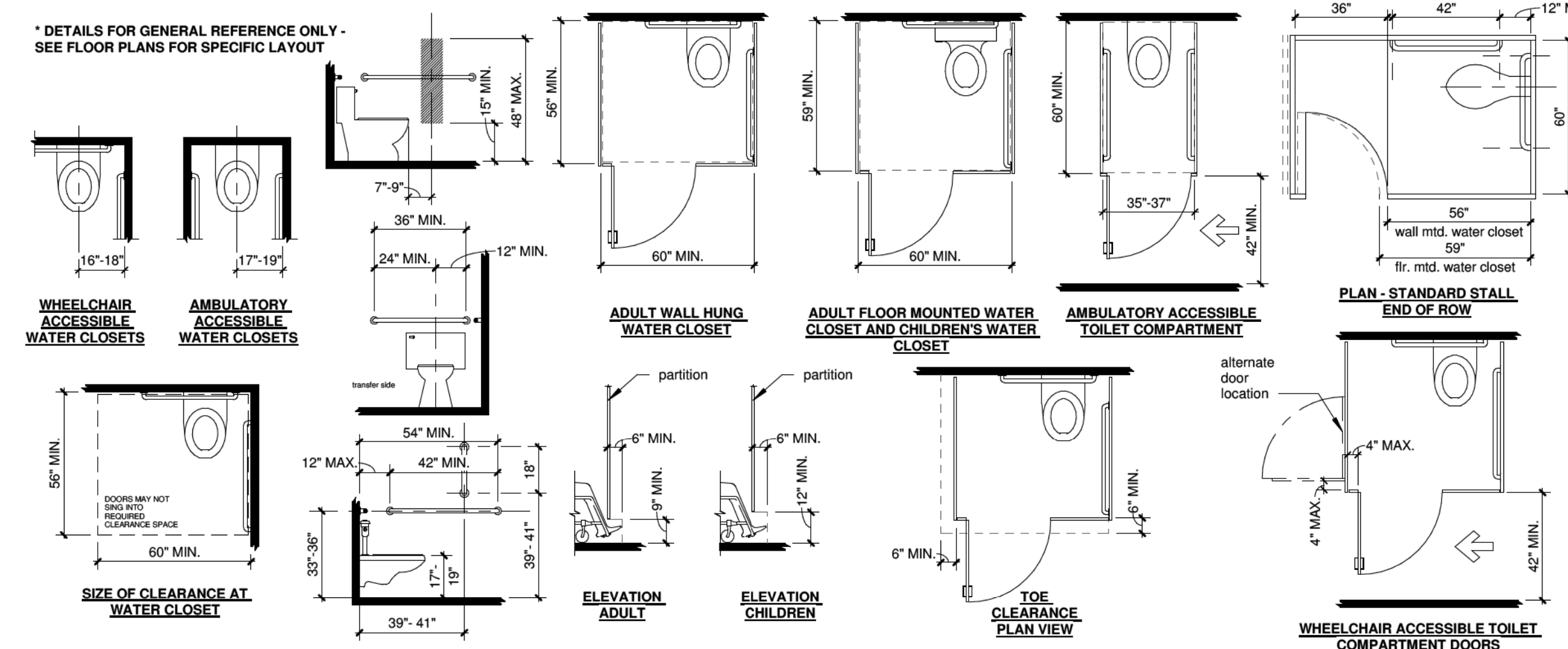


4 TOILET RM. - SOUTH ELEVATION
3/8" = 1'-0"

Plumbing Accessory Schedule					
Type Mark	Count	Manufacturer	Model	Description	Type Comments
PAS01	1	Bobrick Washroom Equipment, Inc.	B-3974	Bobrick B-3974 Classic Series Recessed Convertible Combination Automatic Towel and Waste Unit	
PAS02	1	Bobrick	B-165	Bobrick B-165 - 24"x36" Wall Mounted Mirror with Stainless Steel Channel Frame	
PAS03	1	Bobrick Washroom Equipment, Inc.	B-2012	Bobrick Automatic Wall Mounted Liquid Soap Dispenser - B-2012	
PAS04	1	Bobrick Washroom Equipment, Inc.	B-221	Bobrick B-221 Classic Series Surface Mounted Seat Cover Dispenser	
PAS05	1	AMERICAN SPECIALTIES	3100	36" long (back) & 48" long (side) CORNER TOILET GRAB BARS WITH CONCEALED MOUNTING	
PAS06	1	Bobrick Washroom Equipment, Inc.	B-2888	Bobrick B-2888 Classic Series Surface Mounted Multi-roll Toilet Tissue Dispenser	
PAS07	1	Bobrick Washroom Equipment, Inc.	B-270	Bobrick B-270 Contura Series Surface Mounted Sanitary Napkin Disposal	



5 TOILET FIXTURES / TOILET COMPARTMENTS / ACCESSORIES - 604
1/4" = 1'-0"



- TOILET AND BATHING ROOMS:**
- TOILET AND BATHING ROOMS SHALL PROVIDE TURNING SPACE.
 - REQUIRED CLEAR FLOOR SPACES, CLEARANCE AT FIXTURES AND TURNING SPACE SHALL BE PERMITTED TO OVERLAP.
 - DOOR SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE. DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE. DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE PROVIDED THE SWING OF THE DOOR CAN BE REVERSED TO COMPLY.
 - WHERE THE TOILET ROOM OR BATHING ROOM IS FOR INDIVIDUAL USE AND A COMPLYING CLEAR FLOOR SPACE IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING, DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FIXTURE.
 - MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES MAXIMUM ABOVE THE FINISHED FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FINISHED FLOOR OR GROUND.
 - COAT HOOKS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES. SHELVES SHALL BE LOCATED 40 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
- WATER CLOSETS AND TOILET COMPARTMENTS:**
- THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER CLOSET, ASSOCIATED GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNITS, COAT HOOKS, SHELVES, ACCESSIBLE ROUTES, CLEAR FLOOR SPACE, AND CLEARANCES REQUIRED AT OTHER FIXTURE, AND THE TURNING SPACE.
- FLUSH VALVES:**
- FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH REACH RANGES AND NOT REQUIRE TIGHT GRASPING, FINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET EXCEPT IN AMBULATORY ACCESSIBLE COMPARTMENTS.
 - WHERE AN ADMINISTRATIVE AUTHORITY REQUIRES FLUSH CONTROLS OR FLUSH VALVES TO BE LOCATED IN A POSITION THAT CONFLICTS WITH THE LOCATION OF THE REAR GRAB BAR, THEN THE REAR GRAB BAR SHALL BE PERMITTED TO BE SPLIT OR SHIFTED TO THE OPEN SIDE OF THE TOILET AREA.
- DISPENSERS:**
- DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROLS DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW.
 - IF TOILET PAPER DISPENSERS ARE INSTALLED ABOVE THE SIDE WALL GRAB BAR, THE OUTLET OF THE TOILET PAPER DISPENSER SHALL BE 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR AND THE TOP OF THE GRIPPING SURFACE OF THE GRAB BAR SHALL BE INSTALLED 33 INCHES MINIMUM AND 36 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
- UNISEX TOILETS:**
- IN ASSEMBLY AND MERCANTILE OCCUPANCIES, AN ACCESSIBLE UNISEX TOILET ROOM SHALL BE PROVIDED WHEN AN AGGREGATE OF SIX OR MORE MALE AND FEMALE WATER CLOSETS ARE REQUIRED. IN BUILDINGS OF MIXED OCCUPANCY, ONLY THOSE WATER CLOSETS REQUIRED FOR THE ASSEMBLY OR MERCANTILE OCCUPANCY SHALL BE USED TO DETERMINE THE UNISEX INSTALLED TOILET ROOM REQUIREMENT.
- AMBULATORY COMPARTMENTS:**
- WHERE TOILET COMPARTMENTS ARE PROVIDED, AT LEAST ONE SHALL BE ACCESSIBLE, AND ONE SHALL BE AMBULATORY, WHEN THE COMBINED TOTAL WATER CLOSET COMPARTMENTS AND URINALS PROVIDED IN A TOILET ROOM IS SIX OR MORE.
- BABY CHANGING TABLES:**
- SHALL COMPLY WITH WORK SURFACES, AND OPERABLE PARTS SHALL COMPLY WITH CLEAR FLOOR SPACE, HEIGHT AND REACH RANGES. THEY SHALL NOT OBSTRUCT THE REQUIRED WIDTH OF AN ACCESSIBLE ROUTE BY MORE THAN 4 INCHES, AND SHALL NOT BE LOCATED IN ACCESSIBLE TOILET COMPARTMENTS WITHIN A MULTIPLE ACCOMMODATION TOILET FACILITY.

Rev A 11/14/24 Issued for ESNG Review

Engineers - Managers - Technical Services
600 Reed Brook Blvd., Suite 300
Owings Mills, MD 21117
T. 410 556 3108
F. 410 556 3109

TAI

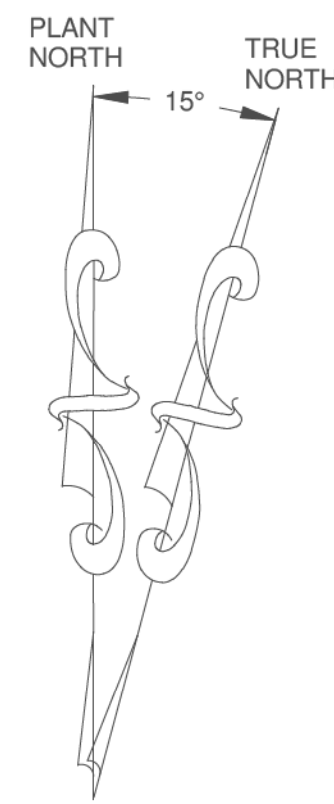
Author: XXXXXXXX
Designer: XXXXXXXX
Checker: XXXXXXXX
Project MGR: XXXXXXXX
PIC: XXXXXXXX
DATE: XXXXXXXX

Worcester Resiliency Upgrade
Eastern Shore Natural Gas Company
Bishopville LNG Storage Facility

PROGRESS NOT FOR CONSTRUCTION

PROJECT NUMBER: 24-171
SHEET NUMBER: A401

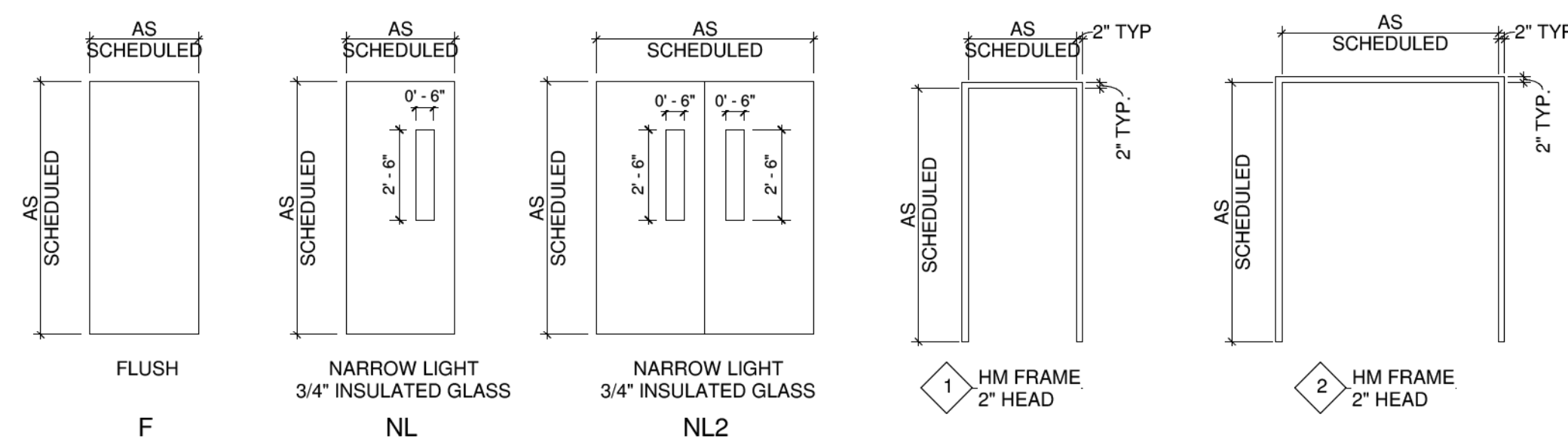
ISSUED FOR: XXX
DESCRIPTION: XXX



DOOR TYPES:

- ALL DOOR FRAMES SHALL BE FLUSH W/ MAS WALL CONSTR UNLESS MAS WALL CONSTR EXCEEDS 8" (IF WALL EXCEEDS 8" USE 7 3/4" FRAME DEPTH UNO).
- ALL EXT HM FRAMES AND ALL EXT HM DOORS SHALL BE GALVANIZED

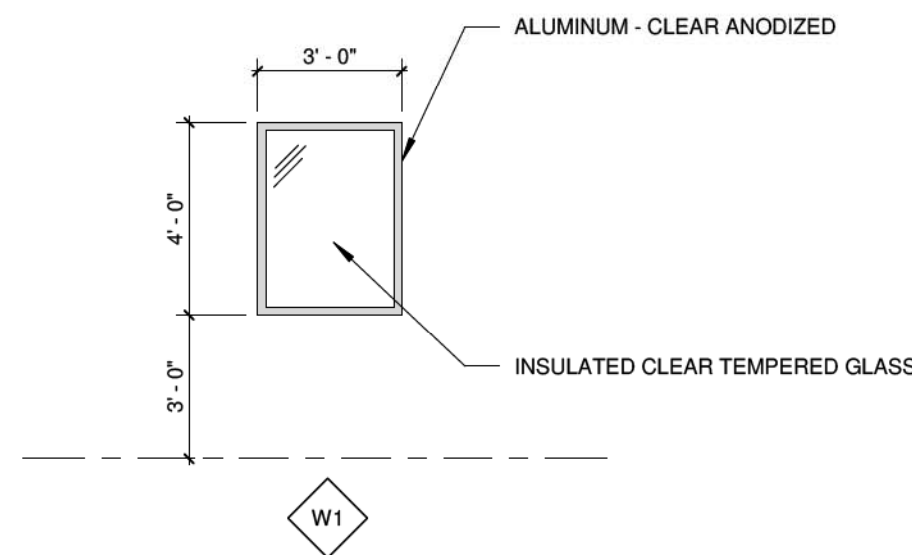
DOOR AND FRAME TYPES:



NO.	ROOM NAME	DOOR PANEL				FRAME		COMMENTS	
		WIDTH	HEIGHT	MATERIAL	TYPE	HARDWARE SET	MATERIAL		TYPE
01	MCC ROOM	6'-0"	7'-0"	HM	NL2	2	HM	2	
02	UTILITY ROOM	6'-0"	7'-0"	HM	NL2	2	HM	2	
03	CONTROL ROOM	3'-0"	7'-0"	HM	F	1	HM	1	
04	CONTROL ROOM	3'-0"	7'-0"	HM	F	1	HM	1	
05	UTILITY ROOM	6'-0"	7'-0"	HM	NL2	2	HM	2	
06	MCC ROOM	3'-0"	7'-0"	HM	F	1	HM	1	
100	UTILITY ROOM	3'-0"	7'-0"	HM	F	5	HM	1	
101	CONTROL ROOM	3'-0"	7'-0"	HM	F	3	HM	1	
102	SERVER ROOM	3'-0"	7'-0"	HM	F	4	HM	1	
103	TOILET	3'-0"	7'-0"	HM	F	6	HM	1	

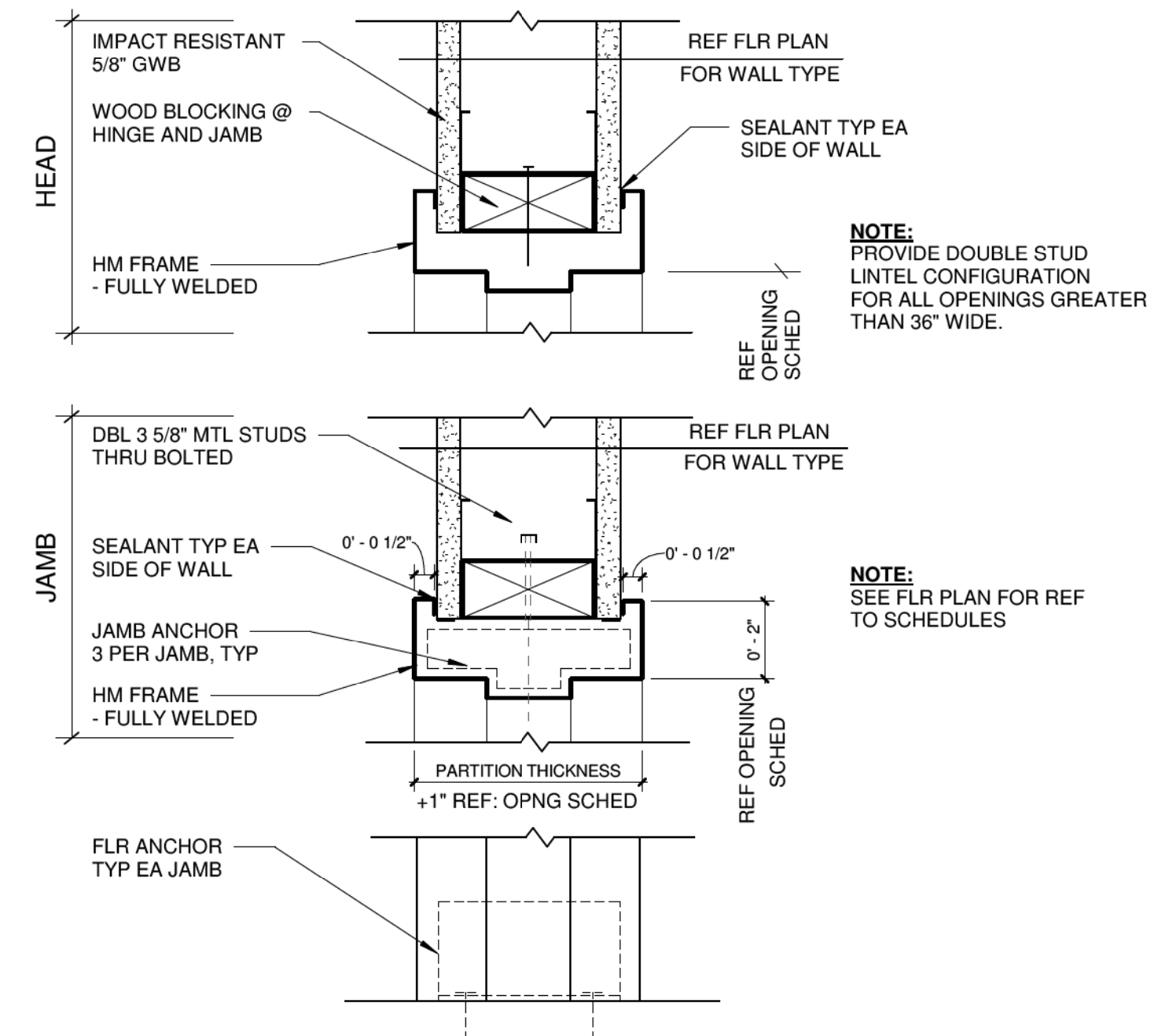
- NOTE:
 1. ALL DOORS TO REVIEW PRIMER AND 2 FINISH COATS SEMI-GLOSS LATEX PAINT
 2. COORDINATE LOCKSET KEYING WITH ESNG

WINDOW TYPES:



DOOR HARDWARE SCHEDULE

SET	DESCRIPTION	COMPONENTS
1	EXIT DOOR	3 STAINLESS STEEL TEMPLATE HINGES 1 - PANIC HARDWARE, FLUSH MOUNTED (VONDUPRIN 995/99NL/32D) 1 - ELECTRIC LATCH RELEASE (VON DUPRIN EPT2 OR EPT10) 1 - CLOSER 1 - ADA COMPLIANT THRESHOLD 1 - LOCKSET 1 - DOOR SWEEP 1 - SET WEATHERSTRIPPING 1 - SET SILENCERS 1 - DOOR SHALL BE PAINTED WITH MANUFACTURERS STANDARD FACTORY APPLIED PRIMER
2	EXIT DOOR (DOUBLE DOOR)	6 STAINLESS STEEL TEMPLATE HINGES 1 - PANIC HARDWARE, FLUSH MOUNTED ON ACTIVE LEAVE (VON DUPRIN 995/99NL/32D) TOP AND BOTTOM BOLTS ON INACTIVE LEAF 1 - CLOSER 1 - ADA COMPLIANT THRESHOLD 1 - LOCKSET 2 - DOOR SWEEP 1 - SET WEATHERSTRIPPING 1 - SET SILENCERS 1 - DOOR SHALL BE PAINTED WITH MANUFACTURERS STANDARD FACTORY APPLIED PRIMER
3	CONTROL ROOM	1 - 1/2 PAIR 5" HINGES, SS BUTTS 1 - HEAVY DUTY CYLINDRICAL LOCKSET WITH F88 FUNCTION, ADA LEVER, SATIN SS FINISH 1 - SET SILENCERS 1 - VINYL WEATHER STRIPPING ON FRAME AND AUTOMATIC DOOR BOTTOM (PEMCO 412-PKL OR EQUAL) 1 - WALL STOP
4	SERVER ROOM	1 - 1/2 PAIR 4 1/2" HINGES, SS BUTTS 1 - HEAVY DUTY CYLINDRICAL LOCKSET W/ F75 FUNCTION SATIN SS FINISH 1 - SET SILENCERS 1 - VINYL WEATHER STRIPPING ON FRAME AND AUTOMATIC DOOR BOTOM (PEMCO 412-PKL OR EQUAL) 1 - WALL STOP
5	UTILITY ROOM	1 - 1/2 PAIR 5" HINGES, SS BUTTS 1 - HEAVY DUTY MORTISE LOCKSET W/ F05 FUNCTION AND VON DUPRIN 98/99 SERIES PANIC DEVICE ADA LEVER, SATIN SS FINISH 1 - SET SILENCERS 1 - VINYL WEATHER STRIPPING ON FRAME AND AUTOMATIC DOOR BOTTOM (PEMCO 412-PKL OR EQUAL) 1 - WALL STOP
6	TOILET ROOM (SINGLE USE)	1 - 1/2 PAIR 4 1/2" HINGES, SS BUTTS 1 - HEAVY DUTY CYLINDRICAL LOCKSET W/ F76 FUNCTION SATIN SS FINISH 1 - SET SILENCERS 1 - WALL STOP



○ TYP. HM INTERIOR DOOR FRAME
 3" = 1'-0"

Rev. A 11/14/24 Issued for ESNG Review

NO.	DATE	DESCRIPTION
XIX/2020		ISSUED FOR XXX

Engineers - Managers - Technical Services
 600 Red Brook Blvd., Suite 300
 Owings Mills, MD 21117
 T. 410 956 3108
 F. 410 956 3109

TAI

Author: [Blank]
 Designer: [Blank]
 Checker: [Blank]
 PROJECT MGR: [Blank]
 PIC: [Blank]
 DATE: XXXXXXXX

PROGRESS NOT FOR CONSTRUCTION

WORCESTER RESILIENCY UPGRADE
 EASTERN SHORE NATURAL GAS COMPANY
 BISHOPVILLE LNG STORAGE FACILITY

SCHEDULES

PROJECT NUMBER: 24-171
 SHEET NUMBER: A604

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS



Date: November 14, 2024

Worcester County Department of Development Review and Permitting
One West Market Street, Room 1201
Snow Hill, MD 21863
Attention: Ms. Kristen Tremblay, AICP

Subject: ESNG Bishopville Facility

Dear Ms. Tremblay:

We have reviewed the comments provided by your office as part of the Technical Review Committee Meeting held on June 12, 2024 and respond as follows:

Comment 1 Please provide a vehicular travelway behind the proposed control building and generator location in accordance with §ZS1-319(c)(5).

Response: A vehicular travel way has been added to the design. Comment addressed.

Comment 2 Please show how parking was calculated on the site plan in accordance with §ZS1-320.

Response: Parking requirements are calculated at 1 space per 4,000 square feet of gross floor area as listed for "Transportation and distribution" use. This has also been added to the Site Analysis on the plan.

Comment 3 Please provide an ADA parking space in accordance with §ZS1-320(d).

Response: Due to the nature of this project and it being a private and secured facility, ESNG requests a waiver from this requirement.

Comment 4 The gravel travelway around the rear of the containment area will need to be either stabilized with a binding agent and subject to Planning Commission approval, or will need to be of a material that provides a hard and durable surface that precludes or limits particulate air pollution. Concrete, asphalt, tar and chip, brick, and interlocking paving blocks or stones, including those semi-pervious systems that retain space for vegetation are acceptable paving materials. Please see §ZS1-320(f)(1).

Response: We are requesting a waiver from this Code requirement.

Comment 5 Please include parking bumpers in accordance with ZS1-320(f)(5).

Response: Parking bumpers have been added to the plan.

111 Ruthar Drive, Newark, DE 19711 (302) 326-2200 www.mragta.com

Abingdon, MD (410) 515-9000 ♦ Baltimore, MD (443) 490-7201 ♦ Laurel, MD (410) 792-9792 ♦ Towson, MD (410) 821-1690 ♦ Georgetown, DE (302) 855-5734 ♦ Newark, DE (302) 326-2200 ♦ Purcellville, VA (703) 994-4047 ♦ Raleigh, NC (984) 200-2103 ♦ Wilmington, NC (910) 523-5065 ♦ Orlando, FL (407) 317-6288

- Comment 6 Additionally, the parking areas need to be curbed or buffered and the space between all parking areas, regardless of number of parking spaces and the road or lot line shall be landscaped and maintained. Please see ZS1-320(f)(9).
- Response:* *The proposed parking spaces are buffered from all adjoining lot lines and roads. Curbing is not practical for this facility and location. Additionally, the proposed parking spaces are greater than 700 feet from the nearest property line.*
- Comment 7 §ZS1-322(g). “Installation of landscaping: installation bond. Landscaping shall be installed in accordance with the approved landscape plan. Installation of the landscaping shall be complete or bonded in the same manner in which other site improvements are required to be installed or bonded prior to the approval of the subdivision plat or issuance of a zoning certificate or other approval. Prior to the occupancy of the structure or use requiring the landscaping a perpetual landscaping installation and maintenance agreement shall be executed and recorded among the land records of Worcester County to guarantee the planting material’s continued viability.”
- Response:* *Due to the nature of this facility, landscaping is not being proposed.*
- Comment 8 The ‘Transport Area’ is effectively a loading zone. Can you please include the language for ‘loading zone’ on the site plan in accordance with ZS1-321?
- Response:* *This facility is proposing less than 5,000 square feet of gross floor area and is proposing two loading spaces which is in compliance with ZS1-321. This has also been added to the Site Analysis on the plan.*
- Comment 9 Please note on site plans that existing vegetation is to be retained.
- Response:* *The site plan shows all proposed ground cover conditions. Any areas outside of the facility fence without clear ground cover labels are to remain as existing.*
- Comment 10 All commercial or industrial development shall be subject to the provisions of the Worcester County “Design Guidelines and Standards for Commercial Uses.” §ZS1- 317(a)(1).
- Response:* *Comment acknowledged.*
- Comment 11 Schematic elevations and floor plans drawn to scale for all buildings and structures including but not limited to building height, number of stories, type of construction, finish materials, colors, awnings, roof style and materials, architectural tradition or style, mechanical equipment, and the size and location of any on-building signs. The information provided in

the elevations shall be of sufficient detail to assess compliance with the Worcester County “Design Guidelines and Standards for Commercial Uses.” §ZS1-325(e)(T).

Response: Architectural information is included in this submission.

Comment 12 Plan notes that the proposed Kepler Lane crossing references DOT Crossing Plan Number 516334L for reference. Can you please explain what this means? Is there a safety bar at this particular crossing?

Response: A safety bar is not proposed. The improvements to the existing Kepler Lane crossing are regulated by Norfolk Southern Railroad and the crossing plan is currently under review by the railroad. The note on the site plan references that plan.

Other Agency Approvals:

Comment 1 Written confirmation that the water and sewer requirements have been met will be required to be provided from the Department of Environmental Programs prior to the Department granting signature approval.

Response: Documentation from Worcester County for the septic area is included in this submission. We are currently installing the wells shown on the plan.

Comment 2 Written confirmation will also be required from the Department of Environmental Programs Natural Resources Division relative to Critical Area and Stormwater Management requirements prior to the Department granting signature approval.

Response: The Stormwater Management submission is currently under review and we anticipate receiving approval soon. Correspondence regarding this will be submitted under separate cover.

Comment 3 Written confirmation of approval from the County Roads Division and/or State Highway Administration regarding the existing, proposed, or modified commercial entrances on all parcels shall be provided to the Department prior to granting signature approval.

Response: This confirmation was received on 6/20/2024 and is included in this submission.

We trust that this letter sufficiently addresses all the referenced comments. Revised plans have been submitted for your review and submittal to Planning Commission for the December 5, 2024 meeting. If you should you require additional information, please contact me to discuss at 302-326-2200.

Very Truly Yours,
MORRIS & RITCHIE ASSOCIATES, INC.



Charlie Barnett
Principal

Encl.: Bishopville Facility Major Site Plan (10 sets)
Architectural Plans for the proposed buildings
Worcester County DEP Soil Evaluation Approval
SHA Entrance approval via 6/20/2024 email
Keplar Lane access deed
Birch Branch MOU letter
Forest Conservation Plan approval letter

cc: File (22013)
Mr. Charles Howell, ESNG



Worcester County
Department of Environmental Programs

July 23, 2024

Clinton Davidson
10228 Bishopville Rd
Bishopville, Maryland 21813

**Re: Tax Map 9 Parcel 47
Soil Evaluation
Worcester Hwy / Keplar Ln**

Mr. Davidson,

The sewage area location survey for the above referenced property has been received by this office. The soil evaluation has been given final approval. Please contact me if I can be of any further assistance.

Sincerely,

Trey Harman L.E.H.S.

Citizens and Government Working Together



NOTES:

- 1) SEWAGE RESERVE AREA (SRA) IS ON THE RESPECTIVE PROPERTY AND NO PROPERTY LINES ARE WITHIN 100' OF THE SRA.
- 2) NO WATER SUPPLY WELLS ARE LOCATED WITHIN 100' OF THE SRA.
- 3) PER USGS SOIL SURVEY THE SOIL TYPES "RoB" AND "KsA" ARE NON-HYDRIC SOILS.
- 4) THE PROPOSED SEWAGE RESERVE AREA (SRA) WAS REFERRED TO AS POTENTIAL SEPTIC AREA #4 IN PREVIOUS PLANS.

Preliminary Plan Approval
 Wastewater: County Environmental Programs
Robert E. Hamm III
 Date 7/25/24

SEPTIC RESERVE LOCATION		
POINT #	NORTHING	EASTING
SRA-1	279,442.93	1,821,368.96
SRA-2	279,383.21	1,821,150.79
SRA-3	279,418.89	1,821,141.02
SRA-4	279,490.55	1,821,332.74

LEGEND

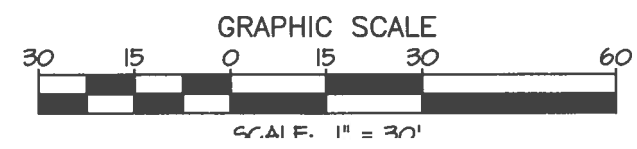
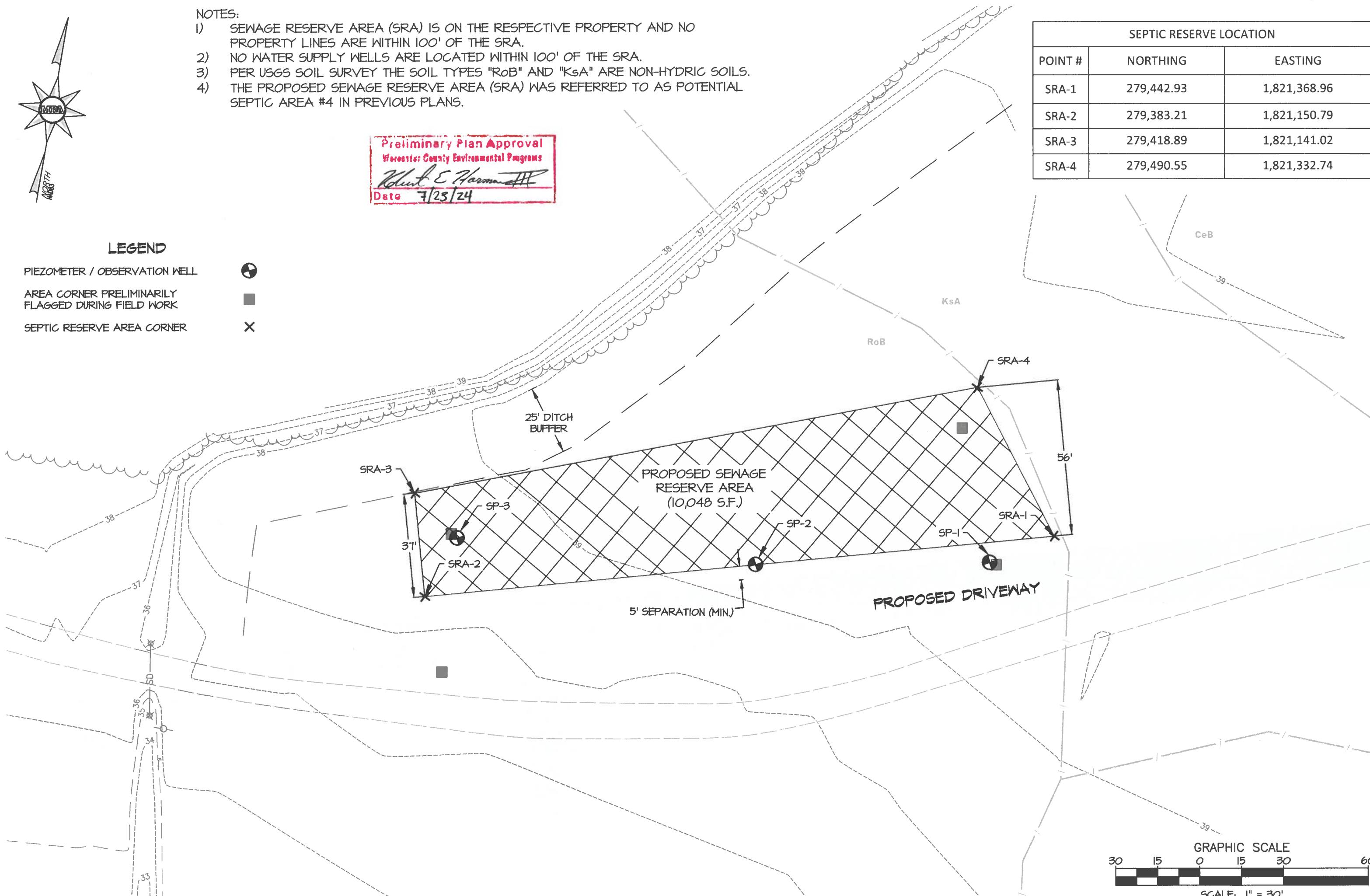
PIEZOMETER / OBSERVATION WELL



AREA CORNER PRELIMINARILY FLAGGED DURING FIELD WORK



SEPTIC RESERVE AREA CORNER



From: [Jeffrey Fritts](#)
To: [Charles Barnett](#)
Cc: [Howell, Charles](#); [Justin Ham](#); [Stuart White](#)
Subject: RE: Eastern Shore Natural Gas project
Date: Thursday, June 20, 2024 9:58:41 AM
Attachments: [image002.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

Charles,

Eastern Shore Natural Gas (ESNG) will have no negative impact to SHA roadways at Keplar Lane and US 113.

Thanks,



roads.maryland.gov

Jeff Fritts
Inspector
Access Management
410.677.4039 **office**
443.397.5063 **mobile**
Jfritts@mdot.maryland.gov
Maryland Department of Transportation
660 West Road, Salisbury, MD
21801

From: Charles Barnett <CBarnett@mragta.com>
Sent: Wednesday, June 19, 2024 8:46 AM
To: Jeffrey Fritts <JFritts@mdot.maryland.gov>
Cc: Howell, Charles <chowell@chpk.com>; Justin Ham <JHam@mragta.com>
Subject: Eastern Shore Natural Gas project

You don't often get email from cbarnett@mragta.com. [Learn why this is important](#)

Good morning Mr. Fritts,

I am reaching out to you on behalf of Eastern Shore Natural Gas (ESNG), who has a project that went before the Worcester County Technical Review Committee (TRC) last week. This project proposes to construct a facility on Tax Map 9, Parcel 47, which is located on Keplar Lane near Bishopville, MD. In May, Stu White emailed you about the project to which you replied via email with the statement "Eastern Shore Natural gas will need to use Kepler Lane for their access to US 113." That is the intent of the project. Eastern shore may improve portions of Keplar Lane between the subject parcel and US 113, but they do not intend to improve the intersection with US 113 or make any improvements within the State ROW.

During the TRC meeting last week, Worcester County Zoning stated that the project would need concurrence from your office prior to our submission to Planning Commission. With the above information in mind, is there a Letter of No Objection, or Letter of Non-Applicability that you would typically provide to satisfy the County requirement in this situation?

I'm happy to discuss the project with you further. Please feel free to call me at your convenience if there are any details you'd like to discuss or if you have any questions.

Thank you,

Charlie Barnett | Principal



MORRIS & RITCHIE ASSOCIATES, INC.

111 Ruthar Drive, Newark, DE 19711

Tel: 302-326-2200 | Cell: 302-319-0395 | www.mragta.com

-
Services: Planners • Architects • Landscape Architects
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CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CONDITIONAL AGREEMENT FOR PROPOSED EASEMENTS

This is a legally binding agreement. If not understood, seek competent legal advice.

THIS CONDITIONAL AGREEMENT FOR PROPOSED EASEMENTS (the “Agreement”) made this 15th day of July, 2024, by and between **Allan Myers MD, Inc.**, a Maryland Corporation, formerly known as American Infrastructure-MD, Inc., a Maryland Corporation, 2011 Belair Road, Fallston, MD 21047, (hereinafter called “SELLER”), and **Eastern Shore Natural Gas Company**, a Delaware corporation, 500 Energy Lane, Suite 200, Dover, DE 19901, its successors and permitted assigns (hereinafter called “BUYER”).

1. PROPOSED EASEMENT DESCRIPTION:

a. Subject to the terms of this Agreement, upon settlement, SELLER desires to grant to BUYER and BUYER desires to purchase from SELLER the following four easements:

(1) an Access Easement to be used for a cross access area consisting of approximately 28,760.00 square feet (0.66+/- acres), all as further described in the Easement Agreement attached as Exhibit A, the Shared Roadway and Maintenance Agreement attached as Exhibit B and the metes and bounds description attached as Exhibit C-1 (the “Access Easement”), and

(2) a Utility Easement to be used for a gas pipeline, consisting of approximately 10,567.00 square feet (0.24+/- acres), all as further described in the Easement Agreement attached as Exhibit A and the metes and bounds description attached as Exhibit C-2 (the “Utility Easement 1”), and

(3) a Utility Easement to be used for a gas pipeline consisting of approximately 1,027.00 square feet (0.02+/- acres), all as further described in the Easement Agreement attached as Exhibit A and the metes and bounds description attached as Exhibit C-3 (the “Utility Easement 2”); and

(4) a Temporary Workspace area consisting of 49,221.00 square feet (1.13+/- acres) as described in the Temporary Workspace Agreement attached as Exhibit D (the “Temporary Workspace Area”).

Execution Version

The Access Easement, Utility Easement 1, Utility Easement 2 and Temporary Workspace Area shall collectively be referred to in this Agreement as the "Proposed Easements". The Proposed Easements are part of the lands of SELLER being situated near the town of Bishopville, in Worcester County, MD, in and for the State of Maryland, as more fully described in Deed Book Volume 5953, Page 417 and recorded in the Office of the Clerk of Court, in and for Worcester County, in and for the State of Maryland, known as Tax ID Number 05-017548 (the "Property").

Execution Version

SELLER:
Allan Myers MD, Inc.,
a Maryland Corporation

By: 
Authorized Signatory

Dated: 7/30/24

BUYER:
Eastern Shore Natural Gas Company,
a Delaware Corporation

By: 
Authorized Signatory

Dated: 7/15/2024

Birch Branch Public Drainage Association
Bishopville, Worcester County, Maryland

Memorandum of Understanding (MOU)

Birch Branch PDA and Eastern Shore Natural Gas Company
Bishopville LNG Storage Facility

Background

Eastern Shore Natural Gas Company, a Delaware Corporation, is proposing to build a liquefied natural gas storage facility adjacent to Sub1 of Prong 4 of the Birch Branch Public Drainage Association. ESNG requested Sub1 of Prong 4 be eliminated, removed, or shortened so that it ends before the impacts of improvements.

A site visit was conducted on May 17, 2024, by MDA and Worcester County Department of Environmental Programs to determine the impact of the request. MDA also met with Birch Branch PDA managers on June 5, 2024, to discuss the findings and receive input on the request. It was determined that no other properties are impacted or benefit above this property.

The results of those meetings are listed in the actions items below.

Actions Agreed to Conditioned upon ESNG Purchasing the Property:

- Managers of the Birch Branch PDA will continue to maintain Sub 1 for approximately 1100' beginning at the intersection with Prong 4.
- Managers of the Birch Branch PDA agree to allow ESNG to modify as necessary Sub 1 of Prong 4 beginning at approximately 00+1100 from the intersection with Prong 4 to the terminus.
- The said property known as Map 9/Parcel 47; Acct. 05-006619 shall remain on the Birch Branch PDA tax roll since it is determined that the parcel will continue to benefit from the outlet provided by the Birch Branch PDA. The property is currently assessed for 29 acres cropland and 30 acres woodland per the Worcester County Treasurers Office, Snow Hill MD.
- The Birch Branch PDA will continue scheduled maintenance per its Operation and Maintenance Plan, which is approved by MDA, DNR and MDE on an annual basis.

This MOU and the attached map shall be recorded with the Instrument of Declaration Encumbering and Affecting Property: Stormwater Management Inspection and Maintenance Agreement between Worcester County Environmental Programs and ESNG. This has been agreed to by the Birch Branch PDA and ESNG.

Clifford C Murray
Mr. Clifford Murray, Birch Branch PDA Chairman

9.30.24
Date

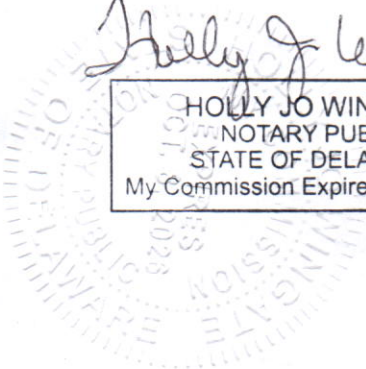
Charles Howell
Mr. Charles Howell, ESNG Engineer

9-30-2024
Date

Holly Jo Wingate

9/30/2024

HOLLY JO WINGATE
NOTARY PUBLIC
STATE OF DELAWARE
My Commission Expires 10/08/2026



Birch Branch PDA & Eastern Shore Natural Gas MOU Map
Bishopville, Worcester County, MD
AOI: Sub 1 of Prong 4

Kopler

Terminus

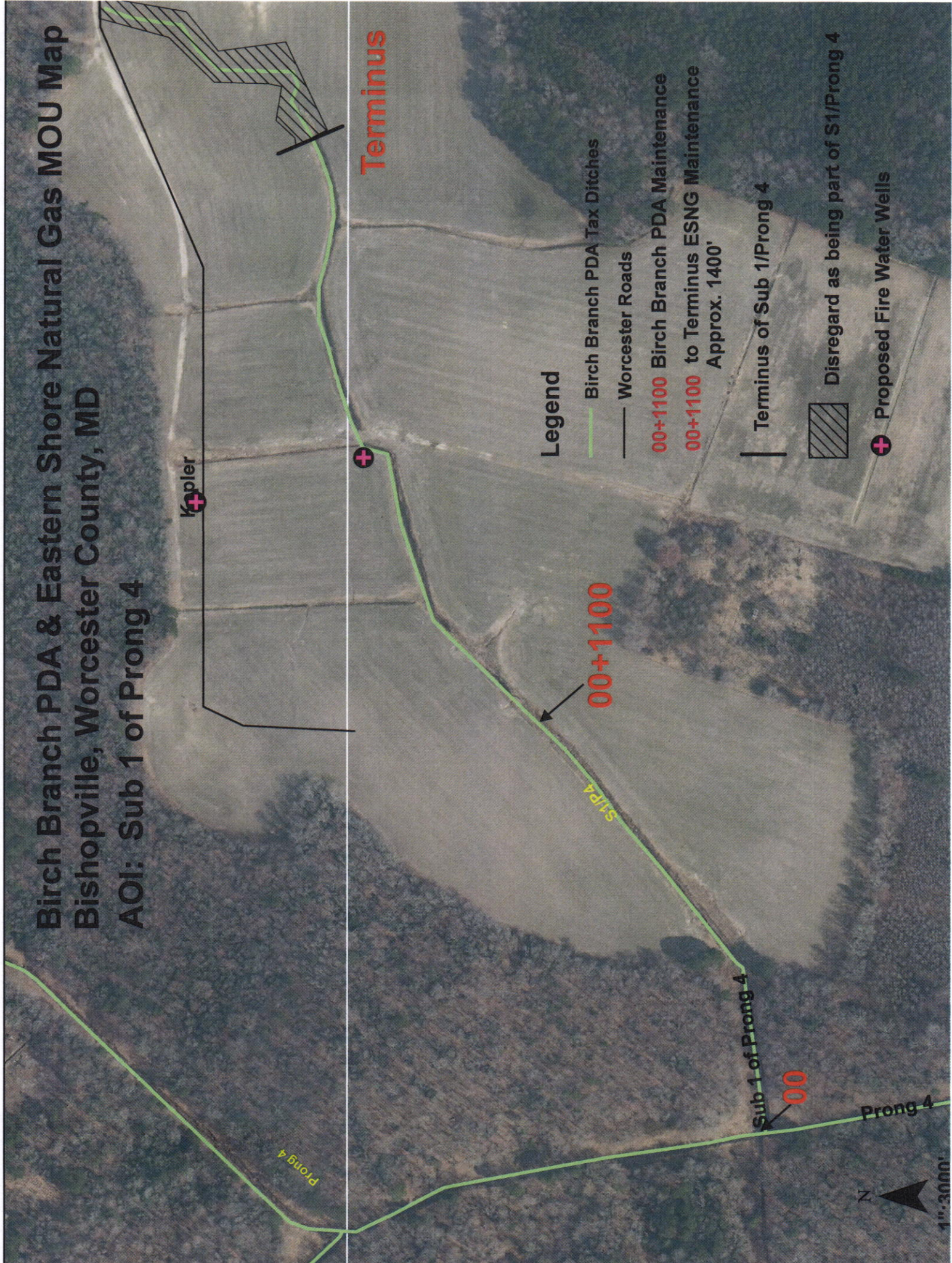
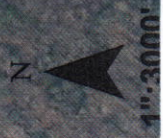
Legend

- Birch Branch PDA Tax Ditches
- Worcester Roads
- 00+1100 Birch Branch PDA Maintenance
- 00+1100 to Terminus ESNG Maintenance Approx. 1400'
- Terminus of Sub 1/Prong 4
- Disregard as being part of S1/Prong 4
- Proposed Fire Water Wells

00+1100

Sub 1 of Prong 4

Prong 4





DEPARTMENT OF
ENVIRONMENTAL PROGRAMS

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1306
SNOW HILL, MARYLAND 21863
TEL: 410.632.1220 / FAX: 410.632.2012

November 4, 2024

LAND PRESERVATION PROGRAMS
STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL
SHORELINE CONSTRUCTION
AGRICULTURAL PRESERVATION
ADVISORY BOARD

WELL & SEPTIC
WATER & SEWER PLANNING
PLUMBING & GAS
CRITICAL AREAS
FOREST CONSERVATION
COMMUNITY HYGIENE

Joshua Riding
Geo-Technology Associates, Inc
3445-A Box Hill Corporate Center Drive
Abingdon, Maryland 21009

RE: Worcester County Forest Conservation Plan Review – Eastern Shore Natural Gas Company,
Tax Map: 9, Parcel: 47

Mr. Riding,

I have reviewed and approved the Forest Conservation Plan (FCP) for the above referenced project. This approval is valid for a five year period, or until November 4, 2029. The following items will be needed prior to plat recordation:

1. Please submit a spatial file of the easement area in GIS or AutoCAD in MD State Plane Coordinate Datum NAD 1983. Send file to Tess Wimbrow, her email address is: twimbrow@co.worcester.md.us. She will check the location on the County Map since this information will need to be reported to the State each year
2. Need to provide a completed Perpetual Protective Agreement (PPA) signed and notarized by the owner and their lien holders. There is an associated fee of \$60.00 to record this agreement. Please provide cash or a check made out to Clerk of Court
3. Please provide three mylars and one paper plat, signed by all involved parties, along with a recording fee of \$5.00 per sheet. Please provide cash or check made out to Clerk of Court
4. Need to provide the Department with a Certificate of Title, that is not more than three months old, prepared by a licensed Attorney in the State of Maryland for the property which is going to be encumbered with a Forest Conservation Easement Area

5. Install the forest protection signs and call for an inspection

If you have any questions concerning this matter, please don't hesitate to contact me at 410-632-1220, ext. 1146.

Sincerely,

David Mathers
Natural Resources Planner

Attachment: PPA, Title Certificate

Cc: Brian Soper, NR